



Architectural Review Committee | Agenda

Thursday, August 13, 2026 – 3:00 PM

City Hall – Council Chambers
2309 15th Street, Gulfport

- A. Prayer**
- B. Pledge of Allegiance**
- C. Call to Order**
- D. Determination of a Quorum**
- E. Confirmation of Agenda**
- F. Announcements**

F1. If you are aggrieved by a vote of the Architectural Review Committee, see below.

Any person or any officer, department or agency of the City aggrieved by a decision of the Architectural Review Committee may, within fifteen (15) days thereafter, appeal therefore to the Gulfport City Council by submitting to the Department of Urban Development – Planning Division a written notice of appeal specifying the decision from which the appeal is taken.

F2. Speaker Card

Please provide the completed card at the time you speak to the Architectural Review Committee. City staff personnel can assist in any questions you may have or in completing the card. This public meeting is open to all for comment.

G. Adoption of Minutes

G1. Architectural Review Committee - 07/09/26

H. Hearing of Cases

H1. Signs

H2. Architectural Review Committee Permits

1. Architectural Review Committee 2608ARC016:

Architectural Review Committee 2608ARC016, by owners Kirk & Vanessa Wasson, seeking approval for metal siding for a proposed accessory structure, Tax Parcel 0911A-02-018.000, 223 Milner Ave, Zoned T4L (General Urban Zone "Limited"), Ward 2

2. Architectural Review Committee 2608ARC017:

Architectural 2608ARC017, by agent Mark Lishen, seeking approval for metal siding for a commercial structure, Tax Parcel 0811F-04-060.000, 2517 17th Street, Zoned T6 (Urban Core Zone), Ward 3

I. Reports

J. Unfinished Business

K. Other Business

L. Adjournment

MINUTES

GULFPORT ARCHITECTURAL REVIEW COMMITTEE MEETING

Thursday, July 9, 2026, 3:00 P.M.

Hardy Building Conference Room

- A. **Prayer**: The ARC Board led a prayer.
- B. **Pledge of Allegiance**: The Pledge of Allegiance was recited.
- C. **Call to Order**: The meeting of the ARC board was called to order at **3:07 P.M.**
- D. **Determination of a Quorum**: A Roll Call was conducted, and a quorum was determined.

BOARD MEMBERS PRESENT:

LEE PALERMO
DANIELLE COTTON
JOHNNY OLSEN
KENNY MCNAIR
BRENT FRENCH

BOARD MEMBERS ABSENT:

NONE

STAFF MEMBERS PRESENT

SAMUEL SWEETING
BRYCE CLUGH

COURT REPORTER:

E. Confirmation of Agenda:

F. Approval of Minutes:

Motion by **Mr. Olsen** and seconded by **Ms. Cotton** to approve Minutes of the **June 11, 2026** ARC meetings was carried unanimously.

G. Hearing of cases:

G1. The declaration of appeal process was read by the Chairman of the Architectural Review Committee: Any person or any officer, department, or agency of the city aggrieved by any decision of the Architectural Review Committee may confirm by filing a written notice of appeal within fifteen (15) calendar days after the date of the Architectural Review Committee hearing. Any appeal shall be in writing and submitted to the Department of Urban Development – Planning Division stating what decision is being appealed and detailing how you are aggrieved. This Architectural Review Committee notice of appeal shall be forwarded as part of the record with the record and decision from the Architectural Review Committee to the Planning Commission. The Planning Commission shall make a final decision based upon the record as submitted. No new evidence may be presented at the meeting. Please contact this office for further details on the appeal process.

G2. The Chairman asked all individuals speaking at today's meeting to complete a speaker's card.

G3. Routine Agenda:

1. Architectural Review 2607ARC015:

Architectural Review Committee 2607ARC015, by agent Jon Storonskyj, seeking approval for a new freestanding ground sign, Tax Parcel 0908O-04-100.001, 205 Jackson Street, Zoned R-3 (General Residence), Ward 6

Speaking for the Petition: Jon Storonskyj

Speaking against the Petition: None

Motion: Mr. Olsen – to approve the request with landscaping in lieu of decorative buttress

Second: Ms. Cotton

Lee Palermo	- Chairman
Danielle Cotton	- Yea
Kenny McNair	- Yea
Brent French	- Yea
Johnny Olsen	- Yea

Action: Motion carries unanimously

Adjournment:

Motion by **Ms. Cotton** to adjourn the meeting was seconded by **Mr. Olsen** and carried unanimously. The meeting adjourned at **3:15 P.M.**

THESE MINUTES WERE APPROVED BY A VOTE OF THE ARCHITECTURAL REVIEW COMMITTEE.

Danielle Cotton, Secretary

Date: _____



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, August 13, 2026

Signs



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ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, August 13, 2026

Architectural Review Committee Permits



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ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, August 13, 2026

Architectural Review Committee 2608ARC016: Architectural Review Committee 2608ARC016, by owners Kirk & Vanessa Wasson, seeking approval for metal siding for a proposed accessory structure, Tax Parcel 0911A-02-018.000, 223 Milner Ave, Zoned T4L (General Urban Zone "Limited"), Ward 2

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2608ARC016

Hearing Date: August 13, 2026

Current Zoning/Use: T4L / Single-Family Home

Legal: Architectural Review Committee 2608ARC016, by owners Kirk & Vanessa Wasson, seeking approval for metal siding for a proposed accessory structure, Tax Parcel 0911A-02-018.000, 223 Milner Ave, Zoned T4L (General Urban Zone "Limited"), Ward 2

TECHNICAL DETAILS

The applicant requests a waiver not to meet the required design standard for Appendix A, Sec. IV Supplementary Regulations A, 2, (g)

(2) Accessory buildings.

(g) The appearance and construction of an accessory building must be consistent or harmonious to the primary building and surrounding areas. Any review will be subject to the appeals process outlined in Appendix A-Sec IV (E)(1).

(E) Supplementary design standards.

1. *Application & review process:* For projects subject to review as defined below, applicants will be required to submit proposed site plans, landscape plans, building elevations, photographs of adjacent and surrounding properties, and information regarding proposed building materials. Such information will be used as the basis for a determination of compliance or non-compliance with applicable design standards.

EXECUTIVE SUMMARY

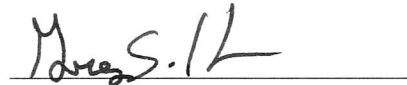
The applicant is seeking approval for metal siding for a proposed accessory structure behind their single-family home. The applicant has stated that they will be using the proposed structure for personal woodworking and lawn equipment storage. In the application, the proposed shed is noted to have a grey color to blend with the existing color of the home and the surrounding yard. The applicant notes that the property is well protected by live oaks surrounding the property and a metal building on the Meadows Discovery Center property directly abutting the property. Upon staff review of the subject site and the surrounding area, staff noted that the property is bounded by large trees along the rear of the property and does have a metal building directly behind a boundary fence south of their property. Staff noted the house to be painted a dark blue-grey with white trim. Upon review of other residential properties in the surrounding area, staff noted an

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

existing accessory structure with metal siding directly on the property to the north of the subject site. From staff's review this structure appears to be pre-existing non-conforming.

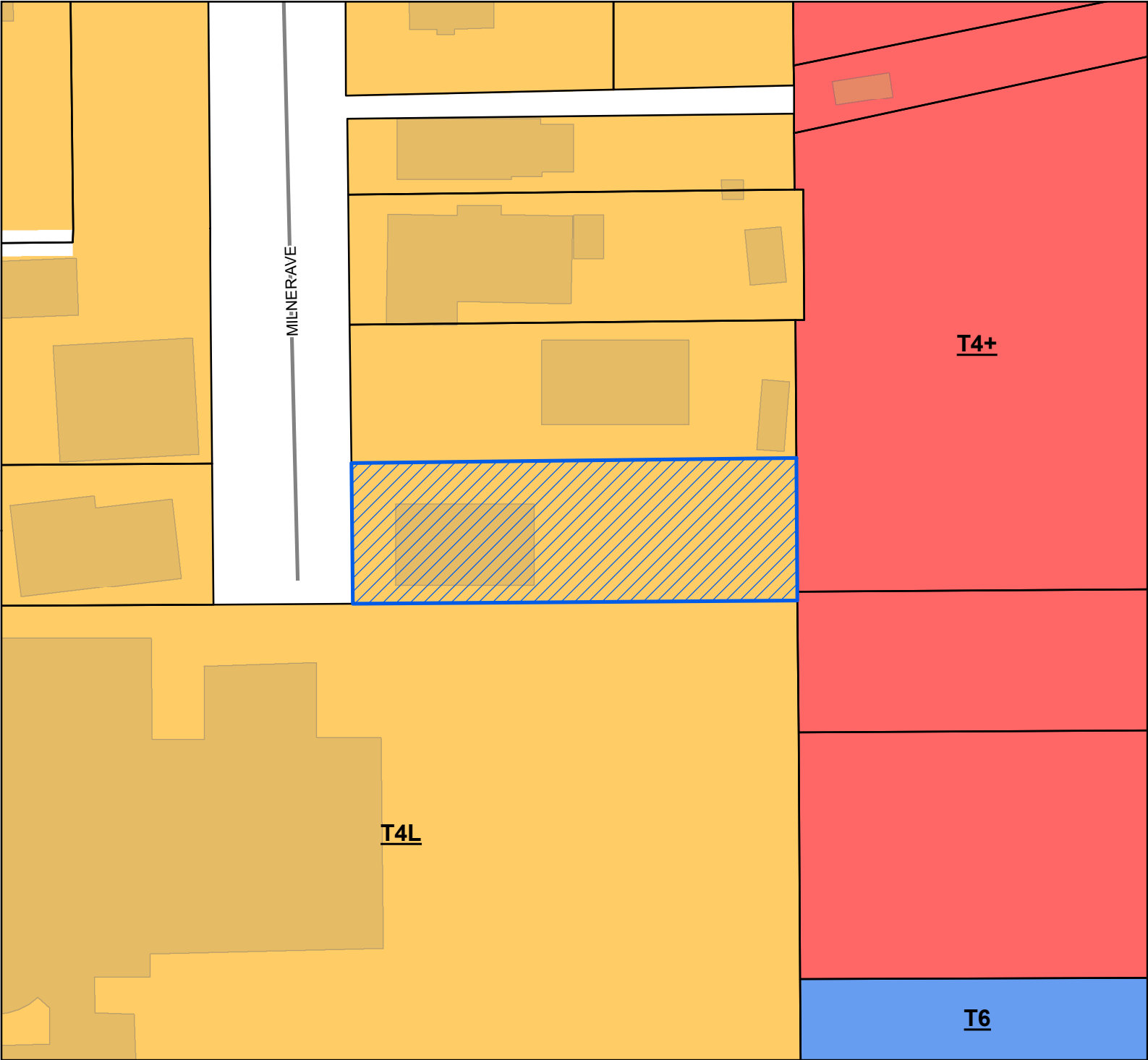
DIRECTOR APPROVAL

This report has been reviewed and approved by:

A handwritten signature in black ink, appearing to read "Greg S. Holmes", is written over a horizontal line.

Greg Holmes

Director of Urban Development Department



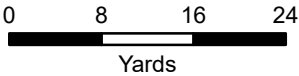
- Site
- Street
- Parcels
- Buildings
- City Limit

Smart Code

- T6
- T4+
- T4L

Site Information

0911A-02-018.000
 Zoning: T4L 9general urban Zone
 "Lite")
 Size: 8158.23 sqft
 Flood: X



1 inch = 50 feet



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CASE NUMBER

2608ARCDIC
BC 7/23/2024

Urban Development - Planning Division
1410 24th Avenue | Gulfport, MS 39501 | (228) 868-5710

ARCHITECTURAL REVIEW

REQUESTED ACTION BY THE Architectural Review Committee
(A separate submission form is required for each request)

- ☐ Architectural Design Review
☐ Signs

TAX PARCEL NUMBERS

09	1A	-02	-018	.000															

Property Address:

223 Milner Ave

Property Address:

Lot(s) 12 13 Block(s) 1 Subdivision Hill And Dolan

General Description of Request:

Metal Building 24' x 35' x 13'

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct.

I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request. We can only accept applications with original signatures.



Covenant Affidavit

I, Kirk Wasson, being owner or agent of the property 223 Milner Ave
PRINT NAME PRIMARY ADDRESS OR PARCEL

which is the subject of this application, hereby state that this request is not in violation of any restrictive or protective covenants.

Kirk O Wasson
Signature

7/22/26
Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 22nd day of July, 2026
8-10-29

Wm R
Notary Public

Commission Expiration



KIRK WASSON & VANESSA WASSON

**218 MILVER AVE. | GULFPORT, MS 39507
513-678-9983 | KWASSON@YAHOO.COM**

7 JULY, 2026

To Whom It May Concern,

We would like to put a steel building in the backyard of our property at 223 Milner Ave., Gulfport, MS, 39507. This building is for the purpose of personal woodworking, crafting, & lawn equipment storage.

Of all the material options for this building, we chose steel for ease of installation, cost, appearance, wind rating, and upkeep. We chose a grey color for aesthetics, to blend with the existing color of the home and surrounding yard. The building could also be used as a traditional garage for the existing home, if so desired by future property owners. Please refer to the plans provided by the manufacturer for measurements, ratings, and installation.

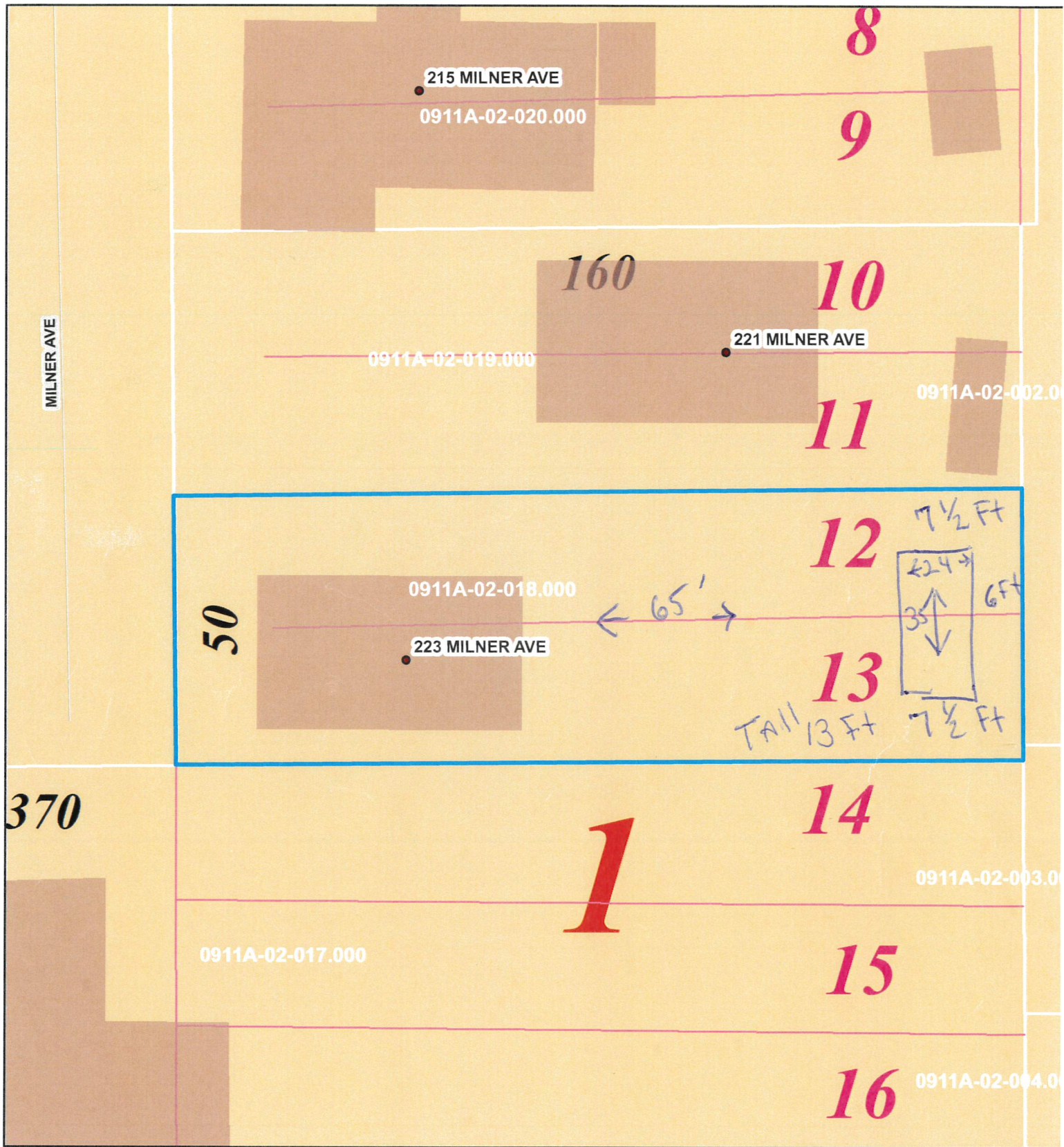
We would locate the building at the back of the property, six feet from the property line, per city code. It is well protected by the live oaks and steel building on the property belonging to Lynn Meadows Discovery Center, to our south. There are currently trees at the back of the empty lot, east of our property, which faces Teagarden.

If there is any information we haven't provided, please let us know so we can get that for you.

Warm regards,

A handwritten signature in black ink, reading "Vanessa Wasson". The signature is written in a cursive, flowing style.

KIRK D. WASSON & VANESSA WASSON



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1 inch = 25 feet

Area Map

Parcels

Printed 6/22/2026

Our copies

Contract # ODR-004500

P.O. Box 1263 / 187 Cardinal Ridge Trail
Dobson, N.C. 27017
Email: cci@carolinacarports.com
Website: www.carolinacarports.com



Toll Free: 1-800-670-4262
Local: (336) 367-6400
Fax: (336) 367-6410
Fax: (336) 367-6411

DEALER	American Metal Buildings - Amanda Vargas				DEALER PHONE NO.	(877) 277-3060		DATE	07/22/2026		
CUSTOMER NAME	Kirk Wasson				COUNTY	Harrison County		TAX	(Where Delivered)		7
ADDRESS	223 Milner Avenue				CITY	Gulfport		STATE	MS	ZIP	39507
PHONE	WORK				HOME	(513) 678-9983		OTHER			
ROOF STYLE	Regular				Boxed Eave			Vertical	☒	GAUGE	14 ☒ 12
UNIT SIZE	Width	24	Length	35	Height	10	POWER AVAILABLE	Yes	No		
COLOR	Top	Pewter Gray	Sides	Pewter Gray	Trim	Pewter Gray	Wainscot			UNCERTIFIED	☒ CERTIFIED
SURFACE TYPE	Ground				Cement	☒	Asphalt			Wood	Other

NOTE: EXCLUDES COMMERCIALS

All Orders C.O.D.

1	24X35' Vertical Roof (Roof 36' Ga : 14 3/12' Roof Pitch)	\$4,995.00	Price	\$12,987.00
1	10' Height	\$590.00		
1	170 MPH + 4ft Wind Load Certified	\$375.00	Tax	\$909.09
2	Ends - Closed Horizontal	\$2,870.00		
2	Sides - Closed Horizontal	\$1,225.00	Subtotal	\$13,896.09
1	Right - 16x8' Garage Door (Roll-Up) Certified, Chain Hoist	\$2,600.00		
1	Right - 36x80" Walk-in Door (6 Panel (High Wind Rated))	\$950.00		\$1,945.65
1	Right - 30x36" Window (6 Grid Window (High Wind Rated))	\$825.00		% Down Payment Before Tax
1	Manufacturer Discount & Free color screws	(\$1,443.00)		Any order over \$15,000 requires a 50% payment of the balance due at the time of scheduling.
	Permit Required : Yes			
			Total	\$13,896.09
			\$0.00	
			Additional Labor Charge	
			Manufacturing Surcharge	
			\$11,950.44	
			Balance Due at Installation	
			Payment Options:	☒ Cash
			Check	M.O. P.O.

↓ Please Provide Placement And Spacing Of Windows, Doors And/Or Openings. ↓

C.C./E-Check (with a 2% processing fee)

Front View (Width)	Left Side (Length)	Right Side (Length)	Back View (Width)

BINDING PURCHASE CONTRACT

LOT MUST BE LEVEL PRIOR TO INSTALLATION

CHECK WITH YOUR COUNTY/CITY TO SEE IF YOU NEED A ZONING AND/OR BUILDING PERMIT

This purchase agreement (the "Agreement") is made by and between Carolina Carports, Inc. ("CCI"), a North Carolina Corporation, and Kirk Wasson (the "Buyer"). Buyer agrees to buy, and CCI agrees to sell, pursuant to the terms listed in this Agreement, the item described above. Buyer has read and understands the terms of this Agreement, including the terms and conditions contained on the reverse side of this document and agrees to be bound by the same.

Kirk Wasson

Customer: Kirk Wasson
Email: vannajewl669@yahoo.com

CCI Representative: _____

Terms, Conditions, and Warranties

1) Products and Warranties. Buyer has been educated about CCI's various products and warranties.

2) Warranty Limitations.

a) Unlevel Installation Site Voids Warranty. Warranties shall be immediately void if the foundation is not level prior to installation. Units installed on an installation site that is not level will be installed "as is."

b) Modification of Structure Voids Warranty. Warranties shall be immediately void if the buyer alters the unit in any manner.

c) Baseraill Leaks. CCI does not seal under the base of the unit and is not responsible for leaks under the baseraill.

3) Pricing Terms.

a) Price Subject to Change. CCI's prices are subject to change without notice.

b) Additional Charges.

i) Labor Charge. Buyer will pay an additional labor charge of not less than fifty dollars (\$50.00) if the installation contractor is required to dig, level, carry installation materials further than a reasonable distance or install the unit on any wall, dock, or over any existing structure.

ii) Service Charge. Buyer will pay a service charge of not less than or limited to two hundred dollars (\$200.00) if the installation contractor must return to install an addition to an existing unit or if unit must be re-shipped due to customer error, unlevel jobsite or other similar issue.

iii) Taxes and Fees. Buyer agrees to pay all applicable sales or other taxes, unless exempt therefrom. Freight fees and surcharges may apply depending on location and size of order.

iiii) Right to Correct. CCI shall have the right to correct any pricing or tax errors made by the dealer. Prices for orders will only be guaranteed for a 90 calendar day period. If an order is on hold for more than 90 days, customer will be subject to a price increase that equals CCI's current pricing at the time of delivery/installation.

4) Payment Terms.

a) Down Payment. Buyer shall pay dealer a down payment equal to \$1,945.65 of the price at the time of the sale. Buyer shall not pay the dealer an amount exceeding the down payment. In the event Buyer pays dealer an amount exceeding the down payment, Buyer does so at his own risk with the understanding that Buyer is contractually obligated to remit payment of the remaining balance of the purchase price (the "Balance") as set forth below.

b) Balance. Buyer shall pay the balance to the installation contractor on the date of installation. Payment may be made by check, money order, ACH transfer or credit card. Payments made by credit card are subject to an additional fee equal to two percent (2%) of the balance paid by credit card.

c) Excess Down Payment. If Buyer pays more than the required Down Payment at the time of the sale, CCI must receive these funds from the Dealer prior to installation or CCI will not schedule installation without payment from the Buyer.

d) No Refunds. In the event Buyer cancels the order, Buyer shall receive no refund of the down payment.

e) Security Interest. Buyer expressly agrees that the unit shall remain property of CCI until the purchase price under the agreement is paid in full. CCI hereby retains a purchase money security interest in the unit as set forth in Section 9 of the Uniform Commercial Code as enacted in the state where the unit is being installed. Failure to pay the purchase price under the agreement will result in repossession of unit. Repossession does not relieve Buyer from liability for specific performance of the agreement and does not entitle the buyer to any reimbursement or monies paid to date.

5) Delivery and Installation: Limitation on Liability.

a) Delayed Delivery. CCI is not responsible for changes in delivery dates caused by circumstances out of CCI's control, including but not limited to inclement weather conditions, installation contractor running behind, accidents, mechanical issues and acts of God.

b) Buyer Responsible for Locating Underground Utilities. Buyer is responsible for informing installation contractors of any underground/overhead cables, gas lines, utility hazards, or relevant matters prior to installation. This may require Buyer to contact the utility company to request that the locations of the utilities be marked. **Buyer agrees to indemnify and hold CCI and contractors harmless for any damage done to lines, pipes, cables, or other utility instrumentalities during installation.**

c) Buyer Responsible for Permits. Buyer shall be solely responsible for, and shall obtain, any necessary city or county permits prior to commencement of installation. **Buyer agrees to indemnify and hold CCI harmless for violation of any city or county ordinance or code.**

d) Limitation on Liability. CCI or the contractor will not be liable to Buyer for punitive, indirect, incidental, special, or consequential damages resulting from any defect or deficiencies that may result from material concerns, installation, access to property or any other situational circumstances. CCI will not be liable for any misinformation provided by dealers during the sales process.

e) Lead Times. Lead times are for estimation purposes only. Lead times will vary based on location, size of order, orders within a certain area, weather and other factors. No lead time is guaranteed. Orders under \$5000 are considered work in orders and do not have an estimated lead time. CCI is not responsible for misinformation provided by the dealer regarding lead times.

6) Jurisdiction and Venue. The parties hereto: (i) consent to submit itself to the personal jurisdiction of any state or federal court sitting in the County of Surry, State of North Carolina, in any action or proceeding arising out of or relating to this Agreement, (ii) agree that all claims in respect of such action or proceeding may be heard and determined in any such court, (iii) agree that they shall not attempt to deny or defeat such personal jurisdiction by motion or other request for leave from any such court, and (iv) agree not to bring any action or proceeding arising out of or relating to this Agreement in any other court. Each of the parties here to waives any defense of inconvenient forum to the maintenance of any action or proceeding so brought and waives any bond, surety or other security that might be required of the other party with respect thereto.

7) Governing Law. This Agreement shall be interpreted and construed according to, and governed by, the laws of the State of North Carolina.

8) Cumulative Remedies. The rights and remedies under this Agreement are cumulative and are in addition to and not in substitution for any other rights and remedies available at law or in equity or otherwise.

9) Entire Agreement. The parties agree that this Agreement is the complete and exclusive statement of the agreement between the parties, and supersedes all prior written or oral communications, representations and agreements relating to the subject matter of this agreement.

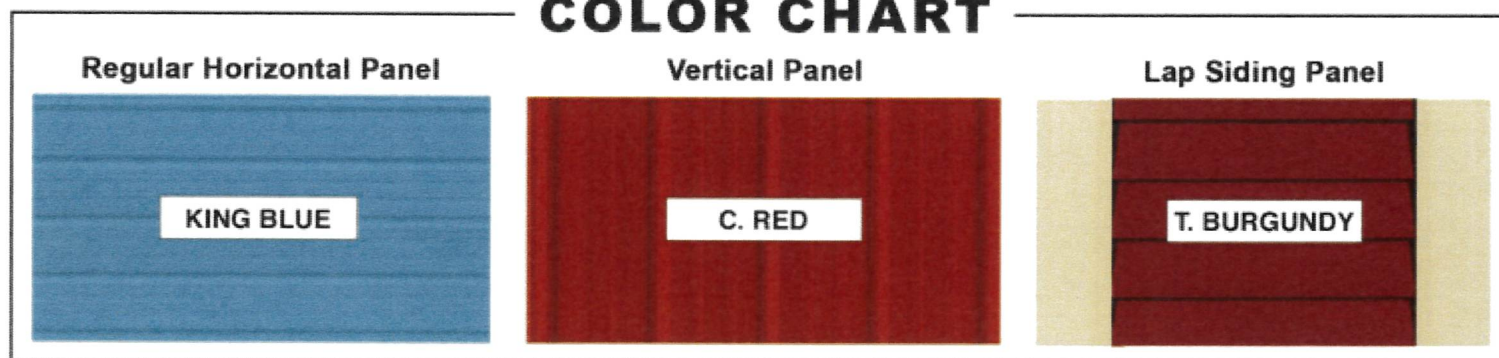
10) Modification. The terms of this Agreement, save and except the price term in the event of a pricing error/change order, may be modified or amended only by a written instrument executed by the parties hereto.

11) Waiver, Enforceability. The waiver by any party of a breach or a default of any provision of this Agreement by the other party shall not be construed as a waiver of any succeeding breach of the same or any other provision, nor shall any delay or omission on the part of any party to exercise or avail itself of any right, power or privilege that it has, or may have hereunder, operate as a waiver of any right, power or privilege by such party. If one or more provisions of this Agreement are held to be illegal or unenforceable under applicable law, such illegal or unenforceable portion shall be limited or excluded to the minimum extent required so that this Agreement shall otherwise remain in full force and effect and enforceable.

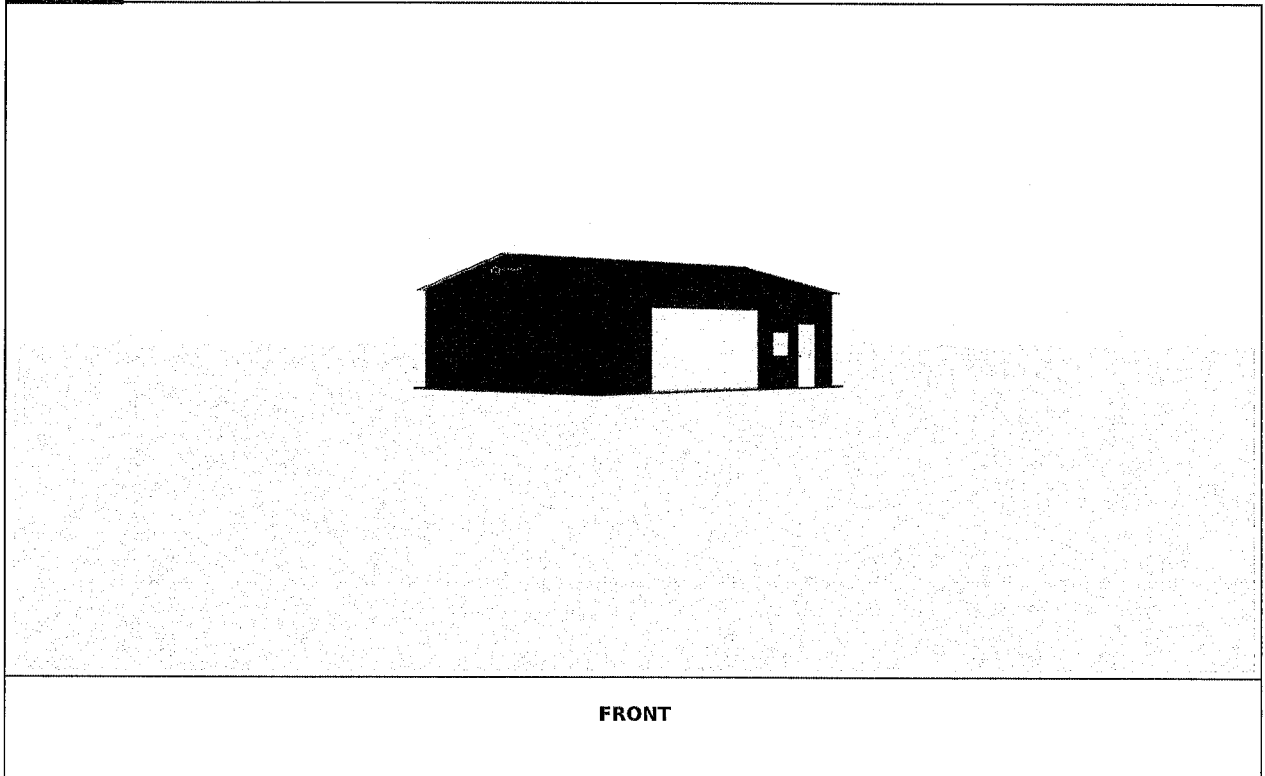
12) Survival. Provisions of this Agreement which by their nature should apply beyond their terms will remain in force after any termination or expiration of this Agreement including, but not limited to, the following provisions: Warranties, Indemnification, Governing Law, and Survival.

Kirk Wason

COLOR CHART

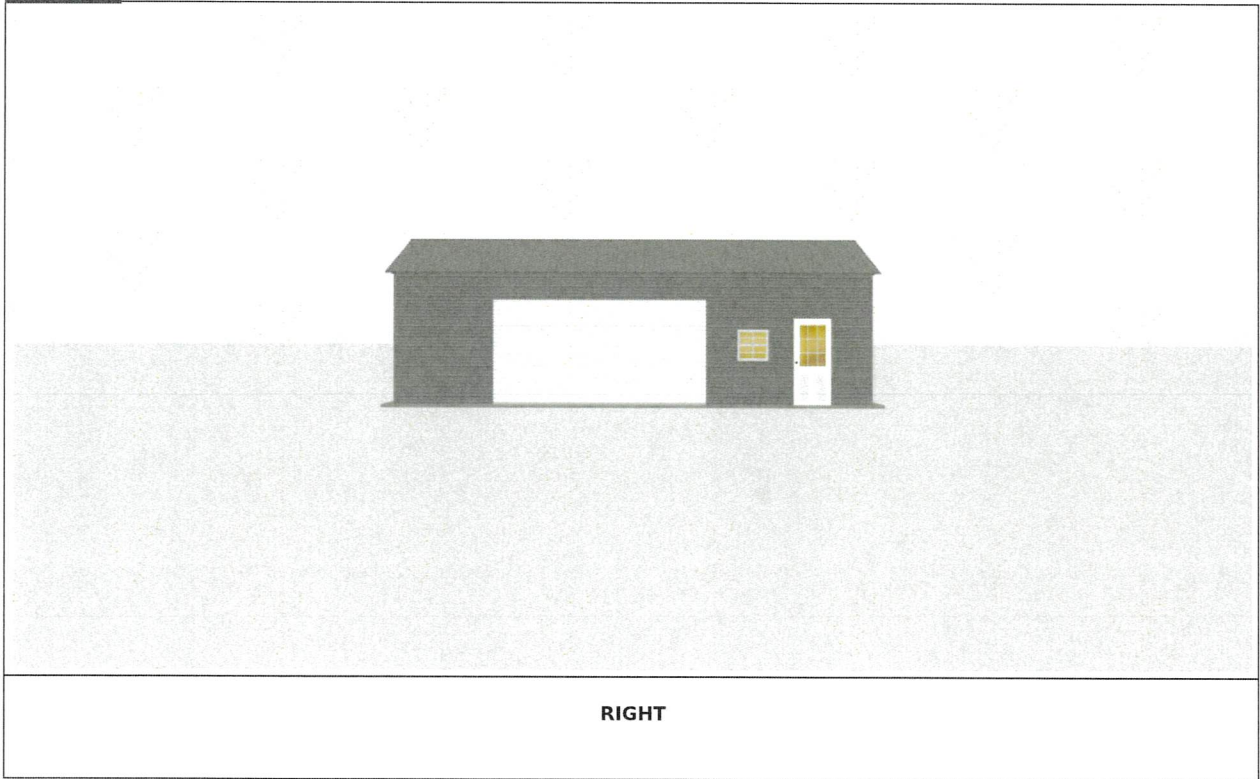


BUILDING VIEW



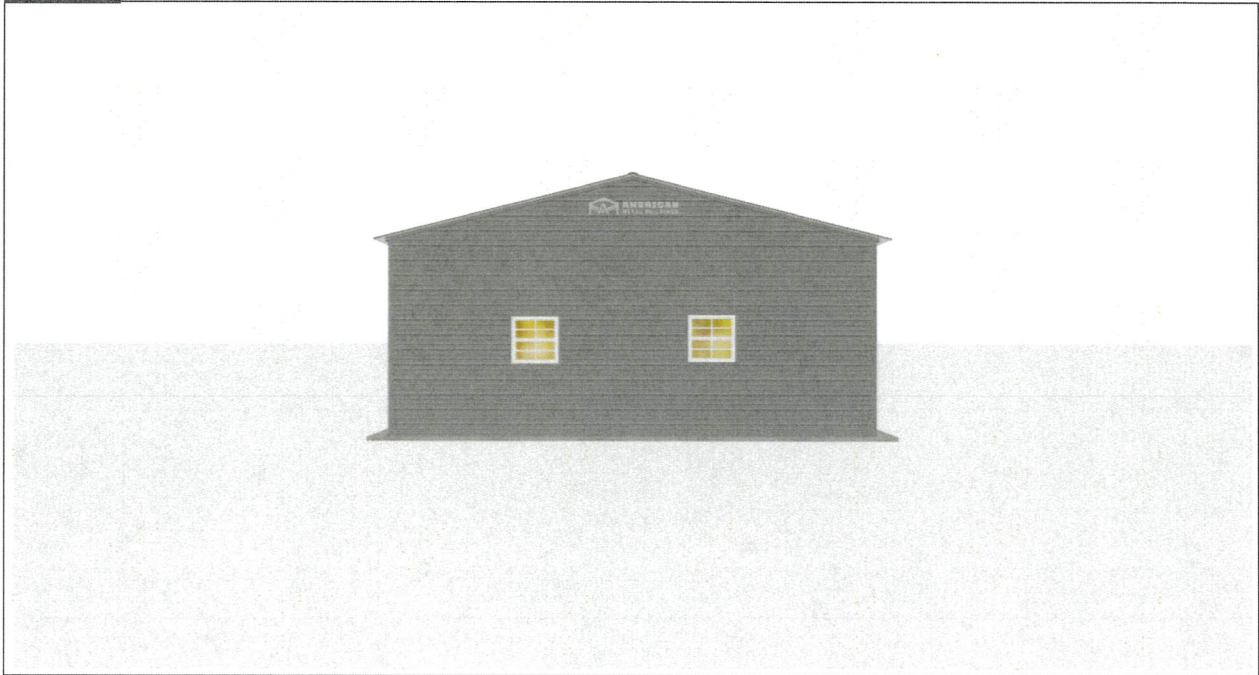
Kirk Warr

BUILDING VIEW



Kirk Warr

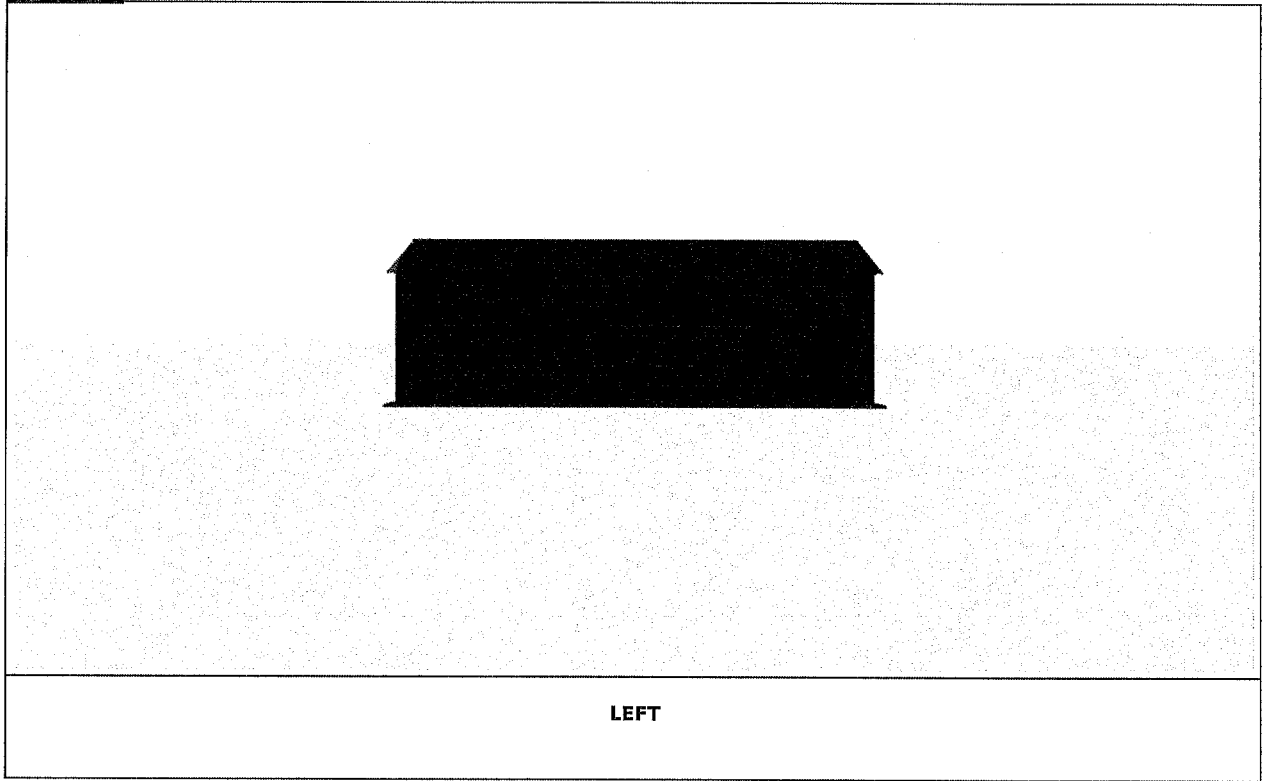
BUILDING VIEW



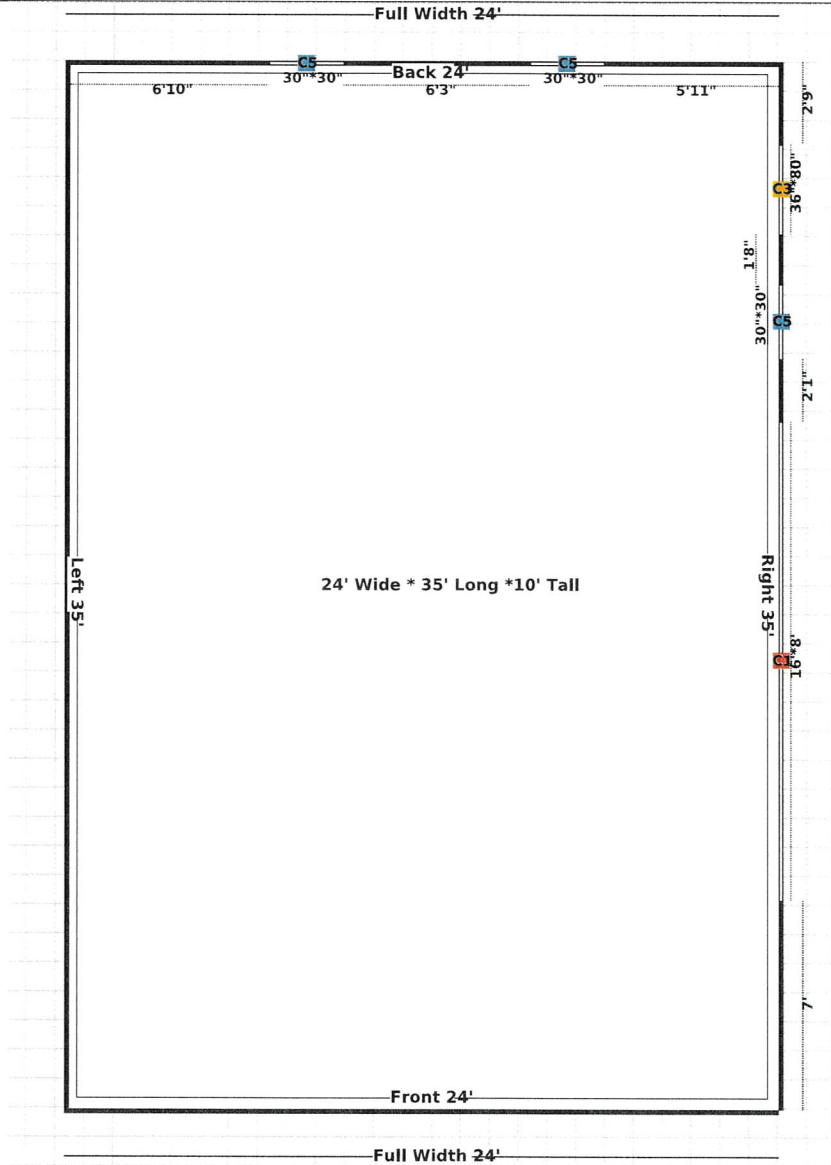
BACK

Kirk Warr

BUILDING VIEW



Kirk Warr



LEGENDS							
C1	Garage Door	C2	Garage Door Frameout	C3	Walk in Door	C4	Walk in Door Frameout
C5	Windows	C6	Windows Frameout	C7	Open Wall	C8	Close Wall
C9	Distance	C10	Storage Length (Utility)	C	Cupola		

Kirk Warr

Title	Kirk Wasson
File name	Contract___Carolina_Carports_NC_with_Lift_policy.pdf
Document ID	a29f4974cb18ffbb8cc48d4c810611a8
Audit trail date format	MM / DD / YYYY
Status	Signed

DOCUMENT HISTORY



SENT

07 / 09 / 2026
15:55:27 UTC

Sent for signature to Kirk Wasson (vannajewl669@yahoo.com)
From amanda@americanmetalbuildings.com
IP: 2603:6080:f104:46e5:9c5d:e6fe:bee1:7f28



SIGNED

07 / 09 / 2026
17:28:00 UTC

Signed by Kirk Wasson (vannajewl669@yahoo.com)
IP: 67.60.172.230



COMPLETED

07 / 09 / 2026
17:28:00 UTC

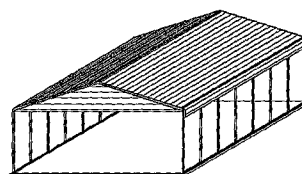
The document has been completed.

STANDARD BUILDING DETAILS 12 ft to 24 ft SPAN

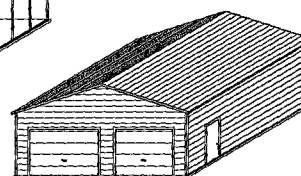
LIGHT FRAME CONSTRUCTION

NOTE: USE $\odot$ 2 1/2" x 2 1/2" 14 Ga.
 $\odot$ 2 1/2" x 2 1/2" 12 Ga.
STEEL TUBE FOR ALL FRAME AND BASE
RAIL MEMBERS UNLESS OTHERWISE SHOWN.

NOTE: THESE ARE STANDARD DETAILS THAT CAN BE
USED FOR A WIDE RANGE OF APPLICATIONS. IF SITE
SPECIFIC PLANS ARE REQUIRED, A SEPARATE SET OF
PLANS WILL NEED TO BE PREPARED.



ISOMETRIC



ISOMETRIC

CONCRETE FOUNDATION DESIGN RECOMMENDATIONS:

THE CONCRETE SLAB AND FOUNDATION ARE CONSTRUCTED BY OTHERS.
THE OWNER IS RESPONSIBLE FOR PROVIDING A SUITABLE SLAB AND
FOUNDATION FOR THE PROPOSED STRUCTURE. THE CONCRETE DETAILS
SHOWN ON THESE PLANS MAY BE USED, HOWEVER, THE LOCAL BUILDING
CODE OFFICIALS MAY HAVE MORE RESTRICTIVE REQUIREMENTS. THE
OWNER IS RESPONSIBLE FOR COORDINATING THE CONCRETE SLAB AND
FOUNDATION STRENGTH AND DEPTH REQUIREMENTS WITH THE LOCAL
BUILDING CODE OFFICIALS.

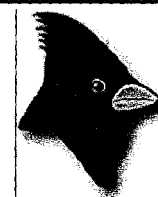
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF
3,000 PSI AT 28 DAYS OR AS REQUIRED BY LOCAL BUILDING CODE. THE
USE OF HIGHER STRENGTH CONCRETE IS ACCEPTABLE.

COVER OVER REINFORCING STEEL:
MINIMUM CONCRETE OVER REINFORCING BARS SHALL BE 3 INCHES WHERE
CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE
EARTH AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:
THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40. THE USE OF
FIBER REINFORCED CONCRETE (FRC) OR WELDED WIRE FABRIC (WWF) IS
ACCEPTABLE.

SOIL BEARING PRESSURE:
THE ALLOWABLE SOIL BEARING PRESSURE IS BASED ON A PRESUMPTIVE
ALLOWABLE BEARING PRESSURE OF 1,500 PSF IN ACCORDANCE WITH
TABLE 1806.2 OF THE INTERNATIONAL BUILDING CODE.

CAROLINA CARPORTS INC.
P.O. BOX 1263
DOBSON, NC 27017
TOLL FREE 1-800-670-4262
LOCAL 336-367-6400
FAX 336-367-6410



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these plans without the permission of Carolina Carports is prohibited.

METAL BUILDING INSTALLATION PLANS AND DETAILS AND FRAMING AND FASTENER SPECIFICATIONS

THE OWNER IS RESPONSIBLE FOR OBTAINING A
BUILDING PERMIT, IF NEEDED, AND FOR COMPLYING
WITH ALL LOCAL BUILDING CODE REQUIREMENTS.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS
HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL
ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF THE
2024 INTERNATIONAL BUILDING CODE AND THE MISSISSIPPI BUILDING
CODE 2024.

BUILDING CODE INFORMATION		
RISK CATEGORY	I	II
USE GROUP	U	S
CONSTRUCTION TYPE	IIB	

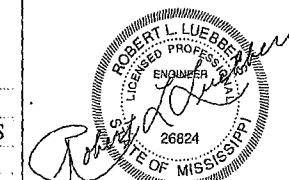
IMPORTANCE FACTORS		
WIND	1	1.0
SNOW	0.8	1.0
EARTHQUAKE	1	1.0

DESIGN LOADS		
MIN. DEAD LOAD	5	PSF
MIN. FLOOR LIVE LOAD	125	PSF
MIN. ROOF LIVE LOAD	20	PSF
MIN. GROUND SNOW LOAD	SEE TABLE 1	
MAX. GROUND SNOW LOAD		
MIN. ULTIMATE WIND SPEED		
MAX. ULTIMATE WIND SPEED		
EXPOSURE CATEGORY	D2	
MAX. SEISMIC DESIGN CATEGORY		

Project Location:

Name: Kirk Wasson
Address: 223 Milner Avenue
City: Gulfport State: MS
Zip: 39507

Use of these plans by anyone else or for
any other purpose is prohibited.



05/07/2026

SHEET 1 OF 4

TABLE 1
BOW/RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING
SPECIFICATIONS

WIND EXPOSURE CATEGORY	ULTIMATE WIND SPEED (MPH)	NOMINAL WIND SPEED (MPH)	MAXIMUM GROUND SNOW LOAD (PSF)	MAXIMUM POST/RAFTER SPACING (FEET)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS OR GIRTS (INCHES)	
					METAL PANELS	SPACING
B or C	105 TO 150	82 TO 117	35	5.0	29 Gauge	8
			40	4.0		
			50	4.0 (12 Ga.)		

NOTES: 1. Specifications applicable to 29 gauge metal panels fastened directly to 12 or 14
gauge steel tube bow frames.
2. Fasteners consist of #12 x 3" self-drilling screws without control seal washers.
3. Specifications applicable only for mean roof height of 24 feet or less and roof slopes
of 7 to 27 degrees (1.5:12 to 6:12 pitch). Spacing requirements for other roof
heights and/or slopes may vary.

TABLE 1 (HIGH WIND REGION)
BOW/RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING
SPECIFICATIONS

WIND EXPOSURE CATEGORY	ULTIMATE WIND SPEED (MPH)	NOMINAL WIND SPEED (MPH)	MAXIMUM GROUND SNOW LOAD (PSF)	MAXIMUM POST/RAFTER SPACING (FEET)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS OR GIRTS (INCHES)	
					METAL PANELS	SPACING
B or C	151 TO 170	118 TO 132	20	4.0	26 Gauge	6

NOTES: 1. Specifications applicable to 29 gauge and 26 gauge metal panels fastened directly to
12 or 14 gauge steel tube bow frames.
2. Fasteners consist of #12 x 3" self-drilling screws without control seal washer.
3. Specifications applicable only for mean roof height of 24 feet or less and roof slopes
of 7 to 27 degrees (1.5:12 to 6:12 pitch). Spacing requirements for other roof
heights and/or slopes may vary.

GENERAL NOTES:

THESE PLANS PERTAIN ONLY TO THE STRUCTURE, INCLUDING MAIN WIND FORCE RESISTING SYSTEM (MWFRS), COMPONENTS
AND CLADDING, AND BASE RAIL ANCHORAGE. OTHER DESIGN ISSUES, INCLUDING, BUT NOT LIMITED TO, PLUMBING, ELECTRICAL,
INGRESS/EGRESS, PROPERTY SET-BACKS, OR OTHER LOCAL ZONING REQUIREMENTS ARE THE RESPONSIBILITY OF OTHERS.

THESE STRUCTURES ARE DESIGNED AS UTILITY/STORAGE BUILDINGS CAPABLE OF SUPPORTING THE DEAD LOAD OF THE
STRUCTURE AND APPLICABLE LIVE AND WIND LOADS. IMPROVEMENTS NOT SPECIFICALLY ADDRESSED HEREIN, WHICH EXERT
ADDITIONAL LOADS ON THE STRUCTURE SHALL BE AT THE OWNER'S RISK. CAROLINA CARPORTS SHALL NOT BE RESPONSIBLE
FOR STRUCTURAL DAMAGE OR FAILURE DUE TO THE APPLICATION OF ADDITIONAL LOADS.

THE SPACING INDICATED IN THE ABOVE TABLE IS THE MAXIMUM SPACING FOR THE MAIN WIND FORCE RESISTING SYSTEM. A
CLOSER SPACING MAY BE NEEDED TO MEET LOCAL BUILDING CODE AND/OR SITE SPECIFIC REQUIREMENTS.

ALL STEEL TUBING SHALL BE 55 KSI STEEL OR BETTER. ALL METAL PANELS SHALL BE 80 KSI STEEL OR BETTER.

FASTEN METAL ROOF AND WALL PANELS TO FRAMING WITH #12 x 3" SELF DRILLING FASTENERS WITH CONTROL SEAL
WASHERS AT AN AVERAGE SPACING OF 8" FOR 29 GAUGE PANELS AND 6" FOR 26 GAUGE PANELS.

ALL FIELD CONNECTIONS SHALL BE #12 x 3" SELF DRILLING FASTENERS (SDF) UNLESS NOTED OTHERWISE.

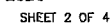
ALL WELDED CONNECTIONS SHALL BE SHOP WELDED UNLESS NOTED OTHERWISE.

GROUND ANCHOR REQUIREMENTS: INSTALL HELICAL ANCHORS ALONG SIDE BASE RAIL WITHIN 6" OF EACH CORNER POST AND
AT A MAXIMUM SPACING OF 25' ALONG THE BASE RAIL. INSTALL GROUND ANCHORS (#4 THREADED REBAR) BETWEEN THE
HELICAL ANCHORS WITHIN 6" OF EACH POST ALONG THE BASE RAIL. HELICAL ANCHORS AND GROUND ANCHORS ARE NOT
REQUIRED FOR CONCRETE FOOTING AND/OR CONCRETE SLAB CONSTRUCTION.

INSTALL CONCRETE ANCHORS WITHIN 6" OF EACH VERTICAL POST ALONG SIDE AND END BASE RAILS. USE ITW RAMSET/
REDHEAD TRIBOLT OR SIMPSON STRONG-TIE STRONG BOLT-2 WEDGE ANCHORS, OR ITW REDHEAD TAPCON+ OR TITEN HD
SCREW ANCHORS OR AN APPROVED EQUAL.

POST/RAFTER BRACING: BRACE ON EVERY POST/RAFTER CONNECTION, EXCEPT FOR END WALLS AND HEADERS.

GALVANIZATION: METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT DIRECTLY EXPOSED TO THE
WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS
AND NAILS EXPOSED DIRECTLY TO THE WEATHER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.



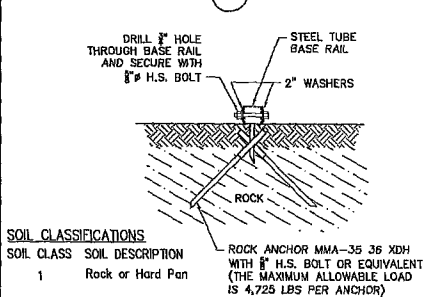
SOIL CLASSIFICATIONS

SOIL CLASS	SOIL DESCRIPTION
2	Very dense &/or cemented sands, coarse gravel and cobbles, caliche, preloaded silts, and clays.
3	Medium dense coarse sands, sandy gravels, very stiff silts, and clays.
4	Loose to medium dense sands, firm to stiff clays and silts alluvial fill, very loose to medium dense sands, firm to stiff clays and silts, alluvial fill.

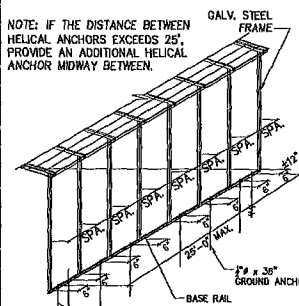
THE HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

* Taken from HUD "Standard for Installation of Mobile Homes"

1 SOIL BASE RAIL ANCHOR DETAIL

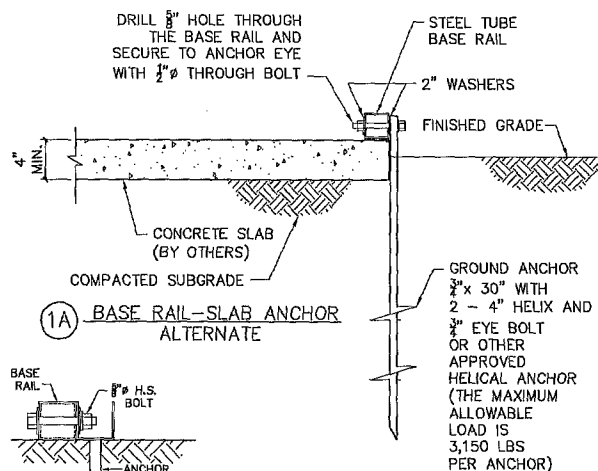


1C ROCK BASE RAIL ANCHOR DETAIL

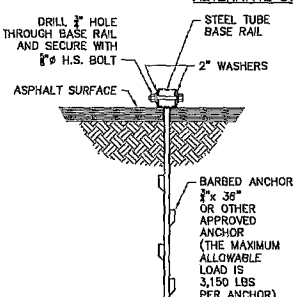


HELICAL GROUND ANCHORS

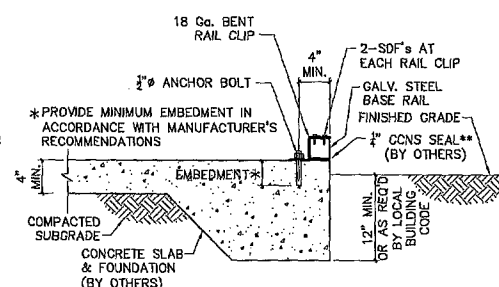
ANCHOR BOLTS



ALTERNATE DETAIL

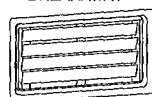


1B ASPHALT ANCHOR DETAIL



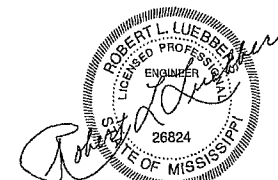
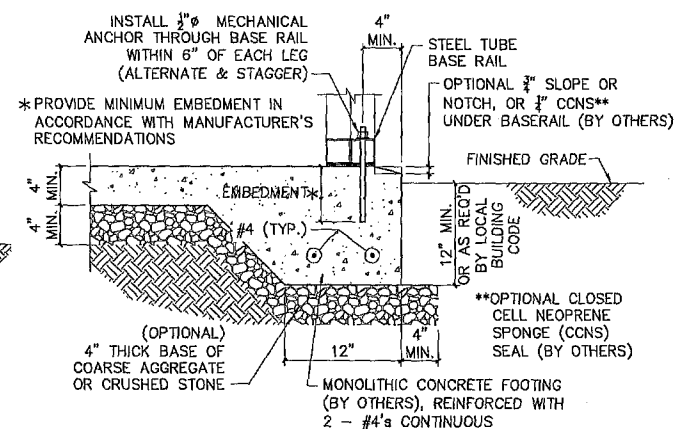
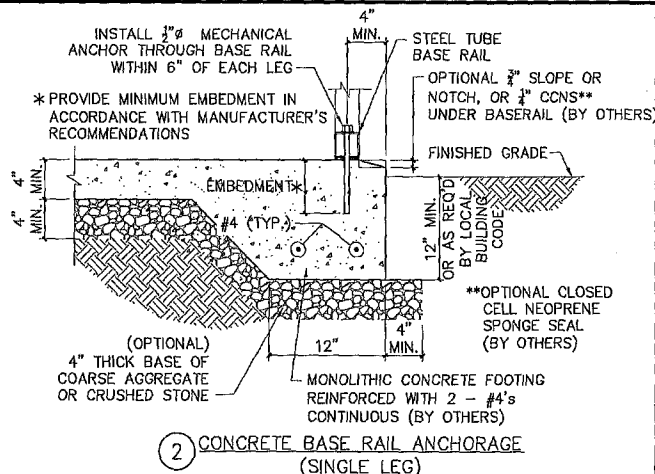
2C ALTERNATE BASE RAIL ANCHORAGE

BREAKAWAY



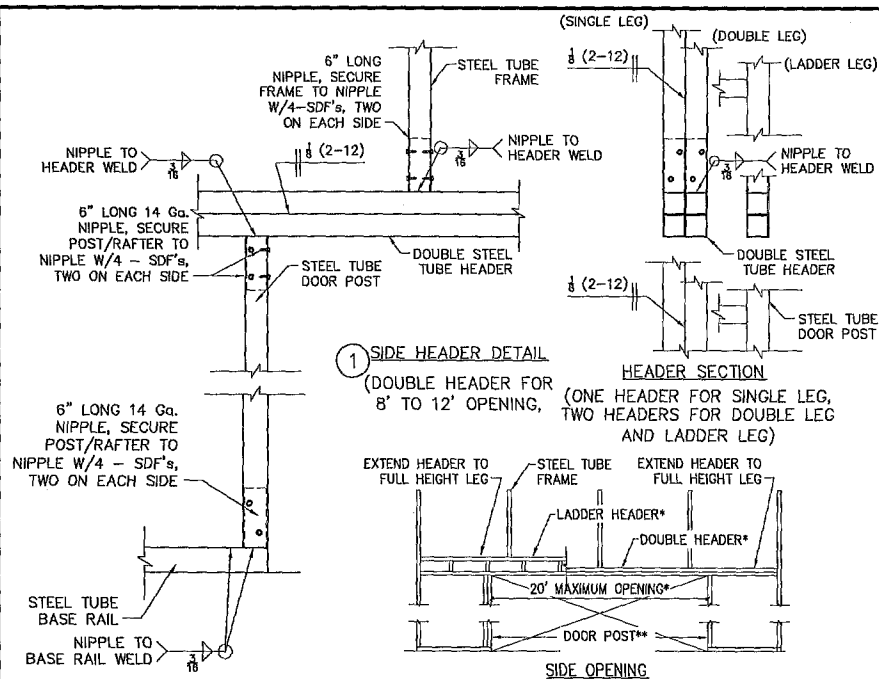
CRAWL SPACE DOOR SYSTEMS, INC.
5741 Bayside Road, #105
Virginia Beach, VA 23455
Engineered Flood Vent
Model CSB816

OR Approved Equal
FLOOD VENTS



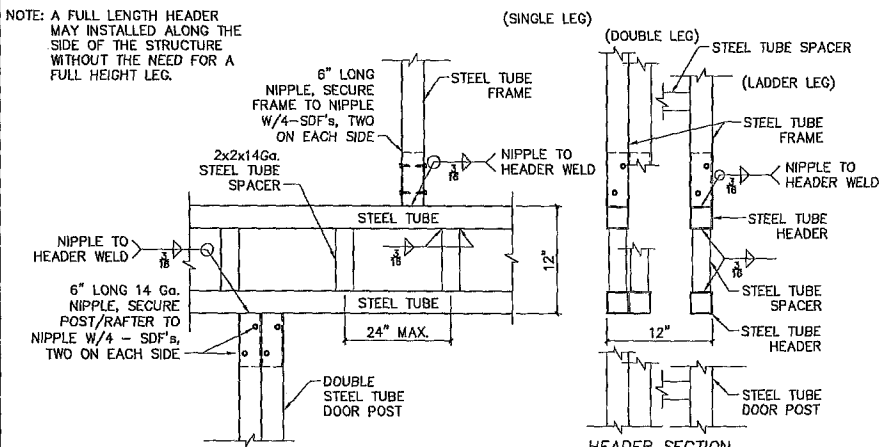
05/07/2026

SHEET 3 OF 4



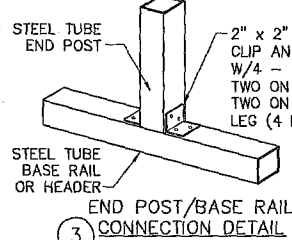
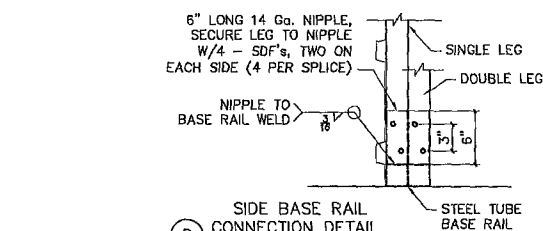
5 POST/BASE RAIL DETAIL

NOTE: A FULL LENGTH HEADER MAY BE INSTALLED ALONG THE SIDE OF THE STRUCTURE WITHOUT THE NEED FOR A FULL HEIGHT LEG.

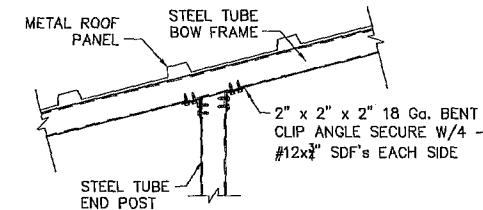
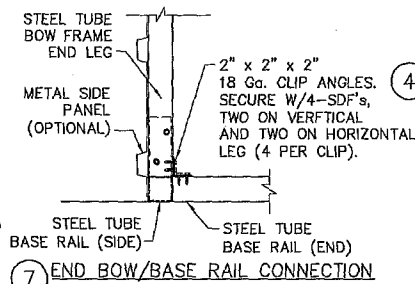


6 SIDE HEADER DETAIL
(LADDER STYLE FOR 13' TO 20' OPENING)

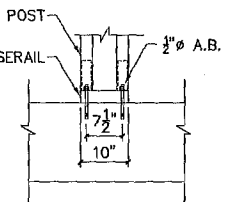
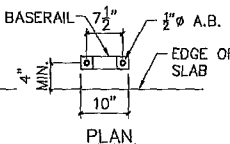
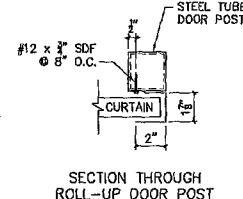
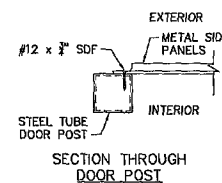
(ONE HEADER FOR SINGLE LEG, TWO HEADERS FOR DOUBLE LEG AND LADDER LEG)



NOTE: FRAME-OUTS FOR DOORS AND WINDOWS MAY BE ADJUSTED AS NEEDED TO ACCOMMODATE DOOR AND WINDOW CASINGS AND HARDWARE TO ENSURE A PROPER FIT.

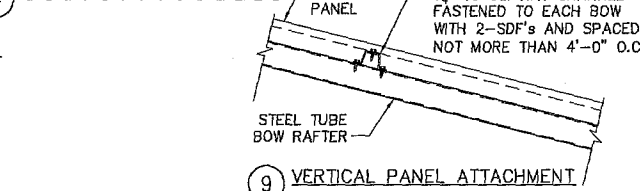


8 END POST TO BOW FRAME CONNECTION



(12" MINIMUM IS PREFERRED, 10" MINIMUM IS ACCEPTABLE.)

4 ENDWALL TO HEADER AND GIRT TO POST CONNECTION



05/07/2026

SHEET 4 OF 4



1st JUDICIAL DISTRICT
INSTRUMENT 2024-0010749-D-J1
FILED/RECORDED 6/7/2024 3:50:01 PM
TOTAL FEES \$26.00
4 PAGES RECORDED

PREPARED BY:

Law Offices of
LAURA F. PAULK, PLLC
16127 Orange Grove Road
Gulfport, MS 39503
228-831-1818
LFP File No.: 2408223
MS Bar No.: 10733

Return To:

Law Offices of
LAURA F. PAULK, PLLC
16127 Orange Grove Road
Gulfport, MS 39503
228-831-1818
LFP File No.: 2408223

STATE OF MISSISSIPPI
COUNTY OF HARRISON

WARRANTY DEED

For and in consideration of the sum of Ten Dollars (\$10.00), cash in hand paid this date, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged,

James M. Carter and spouse, Rosset Carter, Grantors
223 Milner Ave., Gulfport, , MS 39507, 818-402-5490

do hereby sell, convey and warrant unto

Kirk Wasson and spouse, Vanessa Edwards Wasson, Grantees
218 Milner Ave., Gulfport , MS 39507, 228-297-2286,

as joint tenants with full rights of survivorship and not as tenants in common, the following described land and property being located in Harrison County, Mississippi, more particularly described as follows:

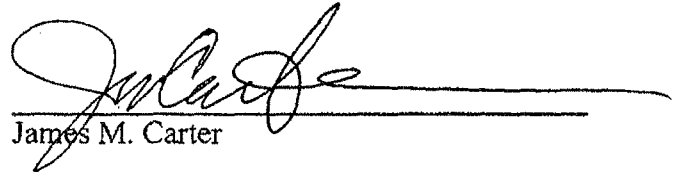
(See Exhibit A attached)

INDEXING INSTRUCTIONS: EXEMPT

It is agreed and understood that the taxes for the current and subsequent years assumed by the Grantees.

This conveyance is made expressly subject to any and all restrictive covenants, rights-of-way, easements, and mineral reservations and any other rights now of record which effect the above described property.

WITNESS MY SIGNATURE, this the 7th day of June, 2024.


James M. Carter

STATE OF MISSISSIPPI

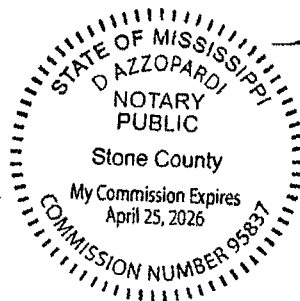
COUNTY OF HARRISON

Personally appeared before me, the undersigned Notary Public in and for the above named jurisdiction, the within named, James M. Carter, who acknowledged that he/she/they signed and delivered the foregoing instrument on the day and year therein stated.

Given under my hand and seal, this the 7th day of June, 2024.

My Commission Expires:

APRIL 25, 2026




NOTARY PUBLIC

WITNESS MY SIGNATURE, this the 7 day of June, 2024.



Rosset Carter

STATE OF MISSISSIPPI

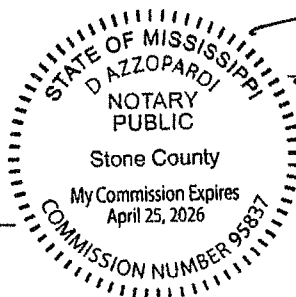
COUNTY OF HARRISON

Personally appeared before me, the undersigned Notary Public in and for the above named jurisdiction, the within named, Rosset Carter, who acknowledged that he/she/they signed and delivered the foregoing instrument on the day and year therein stated.

Given under my hand and seal, this the 7 day of June, 2024.

My Commission Expires:

APRIL 25, 2026





NOTARY PUBLIC

EXHIBIT A

LEGAL DESCRIPTION

Lot Twelve (12) and Thirteen (13), Block One (1), Hill & Dolan's Survey also known as Hill & Dolan Survey also known as Hill & Dolan Addition, a subdivision according to the official map or plat thereof on file and of record in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi, in Plat Book 4 at Page 13. (Copy Book 2A at Page 139)

For further identification this property is located at the municipal address of 223 Milner Ave., Gulfport, MS 39507, and its Ad Valorem Tax Parcel Number is 0911A-02-018.000

SATISFACTION AND RELEASE OF DEED OF TRUST

Prepared by:

James M. Carter
1151 John Evans Dr.
Gulfport, MS 39507

Date: July 20, 2026

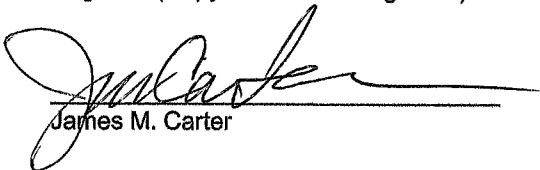
I, **James M. Carter**, the holder of the Promissory Note dated June 7, 2024, executed by **Kirk Wasson** and **Vanessa Edwards Wasson** in the original principal amount of **\$60,000.00**, hereby acknowledge that the indebtedness has been fully paid and satisfied. Accordingly, I release, satisfy, and discharge the Deed of Trust securing said Promissory Note and authorize its cancellation in the land records of Harrison County, Mississippi.

Property: 223 Milner Ave., Gulfport, MS 39507

Tax Parcel: 0911A-02-018.000

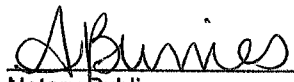
Legal Description

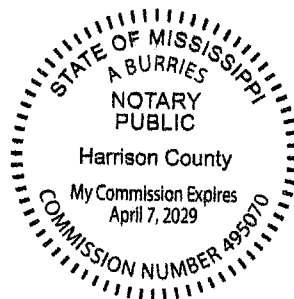
Lot Twelve (12) and Thirteen (13), Block One (1), Hill & Dolan's Survey also known as Hill & Dolan Addition, a subdivision according to the official map or plat thereof on file and of record in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi, in Plat Book 4 at Page 13. (Copy Book 2A at Page 139).


James M. Carter

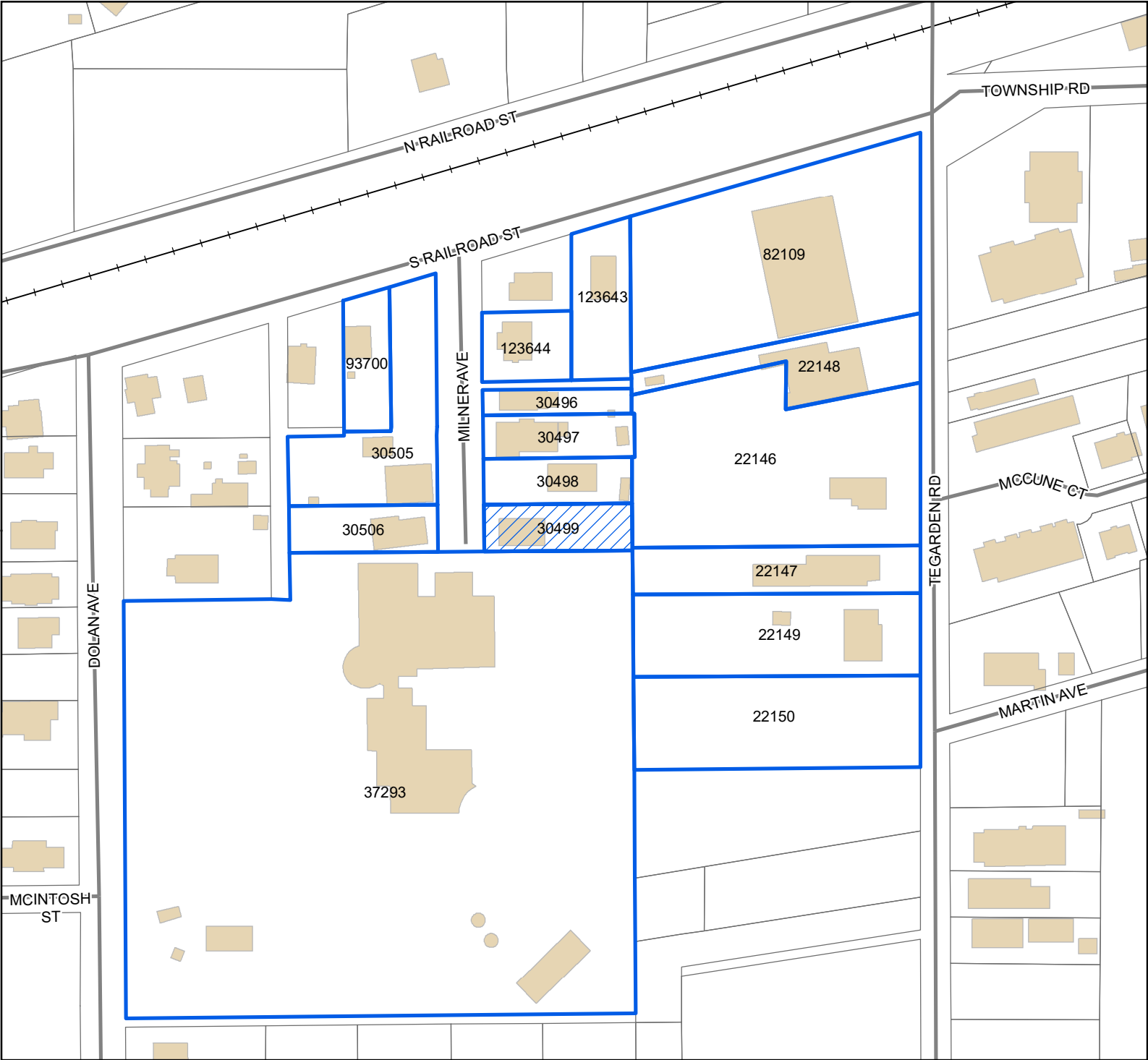
**STATE OF MISSISSIPPI
COUNTY OF HARRISON**

Subscribed and sworn before me on this 21st day of July, 2026.


Notary Public
My Commission Expires: April 7, 2029

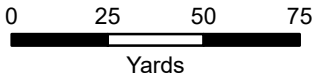


Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		0908O-04-100.001	KIRK & VANESSA WASSON (OWNERS)	223 MILNER AVE	GULFPORT	MS	39507
			Adjacent Property Owners (2607ARC015)				
	22147	0911A-02-003.000	PHAM SUSIE N -TRUSTEE-	167 TEGARDEN ROAD	GULFPORT	MS	39507
N	30506	0911A-02-026.000	EDWARDS VANESSA	218 MILNER AVE	GULFPORT	MS	39507
	30499	0911A-02-018.000	CARTER JAMES M	223 MILNER AVE	GULFPORT	MS	39507
	30498	0911A-02-019.000	SUFI MOHSON	1839 LEXINGTON ST	HOUSTON	TX	77098
	30496	0911A-02-021.000	PEACOCK JOANN S -L/E-	211 MILNER AVENUE	GULFPORT	MS	39507
	82109	0911A-02-001.001	SKEETERS LLC	388 BIG LAKE ROAD	BILOXI	MS	39531
	30497	0911A-02-020.000	GRAYSON AMY	215 MILNER AVE	GULFPORT	MS	39507
	22149	0911A-02-004.000	PHAM SUSIE N -TRUSTEE-	167 TEGARDEN ROAD	GULFPORT	MS	39507
	22148	0911A-02-001.000	MORALES JOSE OSCAR	187 TEGARDEN RD	GULFPORT	MS	39507
	22150	0911A-02-005.000	EASTWOOD TOWNHOUSES LLC	1804 BEACH DR	GULFPORT	MS	39507
	22146	0911A-02-002.000	WARR PROPERTIES II LLC	1804 BEACH DRIVE	GULFPORT	MS	39507
	93700	0911A-02-024.001	DUPONT SANDRUS S	747 S RAILROAD ST	GULFPORT	MS	39507
	123643	0911A-02-022.001	RIVERA NOEMI	755 S RAILROAD AVE	GULFPORT	MS	39507
	123644	0911A-02-022.002	MILNER VACATION RENTALS LLC	2100 18TH ST	GULFPORT	MS	39501
	30505	0911A-02-025.000	EDWARDS VANESSA	218 MILNER AVE	GULFPORT	MS	39507



Legend

- Site
- Street
- Railroad
- Buildings



1 inch = 150 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, August 13, 2026

Architectural Review Committee 2608ARC017: Architectural 2608ARC017, by agent Mark Lishen, seeking approval for metal siding for a commercial structure, Tax Parcel 0811F-04-060.000, 2517 17th Street, Zoned T6 (Urban Core Zone), Ward 3

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2608ARC017

Hearing Date: August 13, 2026

Current Zoning/Use: T6 / Commercial Structure

Legal: Architectural 2608ARC017, by agent Mark Lishen, seeking approval for metal siding for a commercial structure, Tax Parcel 0811F-04-060.000, 2517 17th Street, Zoned T6 (Urban Core Zone), Ward 3

TECHNICAL DETAILS

The applicant requests a waiver not to meet the required design standard for Appendix A, Sec. IV Supplementary Regulations (E)(3)(a)(2.7)(ii)

Design Standards

2.7 Materials and finishes.

- ii. Predominant exterior building material surfaces should be high quality materials, including, but not limited to, architectural block, brick, concrete with an architectural finish, stucco, glass, wood, sandstone, or other native stone and tinted/textured concrete masonry units. Exterior building materials should not include unfinished or unpainted concrete panels, metal panels or smooth face concrete block.

EXECUTIVE SUMMARY

The applicant is seeking approval for metal siding on a commercial structure in a T6 zoning district (Urban Core Zone) that is proposed to be renovated, which ordinance requires the exterior to be off high quality materials such as architectural block, brick, stucco, glass, sandstone, or other native stone and tinted/textured concrete masonry units and not include unpainted concrete panels, metal panels, or smooth face concrete blocks. The applicant states that the commercial structure was around the 1950's as a metal building with a combination of metal panels and masonry siding. The applicant further iterates that the property lines coincide with portions of the exterior walls leaving no space for thick supplemental wall assemblies or additional foundations for new masonry veneers and has provided an unstamped survey to show the location of the building sides in relation to the property lines. While this survey cannot be treated as a legally binding description of the property, due to it not being signed, stamped and sealed, it is the most accurate depiction of the property lines available in lieu of a signed, stamped and sealed survey. The applicant does note in their application that the portion along 17th Street will utilize retained and refinished brick along with the new refaced entrance along 26th Avenue, new canopies, signage, lighting and landscaping will work together to soften the building's industrial form in the T6 zoning district.

While the applicant has made note of the parking requirements for commercial properties not being allowed to back into the right-of-way, this board does not have the jurisdiction to rule on matters of parking requirements, furthermore the subject site is within the Central Business

Technical Report

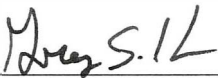
ARCHITECTURAL REVIEW COMMITTEE

District overlay in downtown Gulfport which exempts the property from off-street parking requirements of the City of Gulfport's Off-Street Parking ordinance. This exemption does not include requirements for ADA compliance regarding parking for handicap parking spaces.

From staff's review of the subject site, staff noted that the existing structure has mostly metal panel siding with brick siding on the northern elevation facing 17th Street. In addition, from staff's review of the surrounding area staff noted that there are multiple commercial structures nearby that have metal panel siding. The surrounding structures and the subject structure have existed prior to the current architectural standards. Should the surrounding structures have been constructed under the current design standards, they would have required approval from this board as well. The proposed siding is similar in nature to what is in the surrounding area, and what is existing on the structure currently. However, due to the renovations the current design standards for commercial projects, which restrict the usage of metal panels as exterior siding, require approval from this board for metal panel siding to be utilized. Without approval from the Architectural Review Committee, the applicant will have to façade the structure with allowable exterior material listed in the ordinance above.

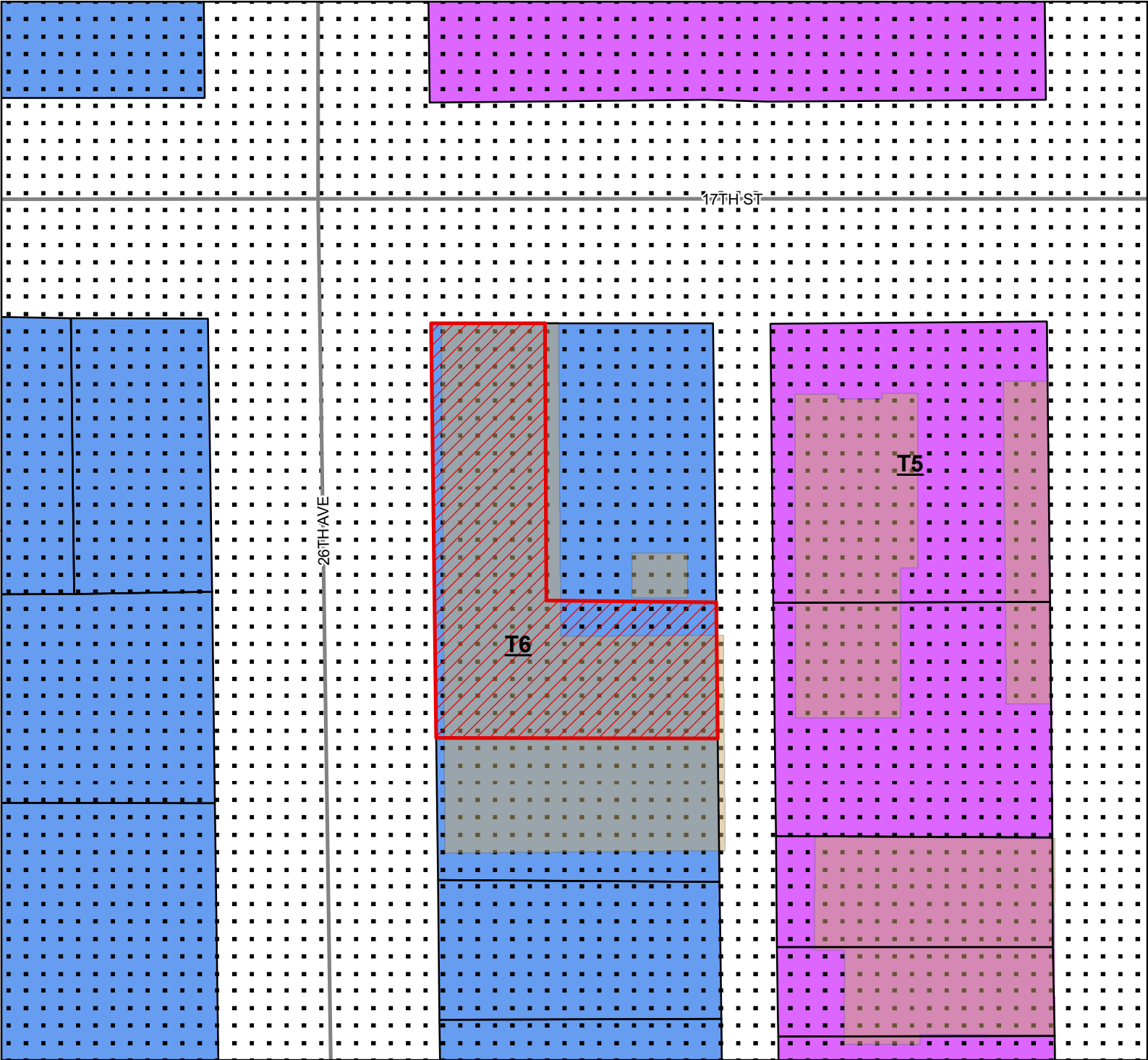
DIRECTOR APPROVAL

This report has been reviewed and approved by:



Greg Holmes

Director of Urban Development Department



 Site

 Street

 Parcels

 Buildings

Smart Code

 T6

 T5

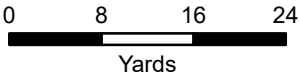
Site Information

0811F-04-060.000

Zoning:T6 (Urban Core Zone)

Size: 9075.49 sqft

Flood: X



1 inch = 50 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

July 31, 2026

Mr. Greg Holmes
Director of Urban Development
1410 24th Avenue
Gulfport, MS 39501

RE: 2517 17th Street Renovation
Gulfport, MS 39501
Tax Parcel #: 0811F-04-060.000
Authority to Act as Agent

Dear Mr. Holmes:

EGH Architects being the Architect of Record on the 2517 17th Street Building Renovation – Anchor & Rail Building - has asked that I provide them the following authorization on behalf of me, Margart Murdock to act as my agent during the Architectural Review Committee meeting where my building renovation project will be discussed.

As the owner of the property located at 2517 17th Street, I hereby authorize Mark Lishen, AIA – Principal with EGH Architects to act as my agent and representative at the Architectural Review Committee meeting scheduled for August 13, 2026.

Mr. Lishen is authorized to discuss, submit, and address any and all matters pertaining to the request submitted for my property. He is also empowered to make decisions and respond to any questions or requirements set forth by the Committee on my behalf.

Please extend to him the same courtesy and consideration you would offer me. If you require any additional information or verification, please do not hesitate to contact me at 228-596-4828.
Thank you for your attention to this matter.

Sincerely,



Ms. Margaret Murdock

State of Mississippi County of Harrison
The foregoing instrument was acknowledged before me this 31st
day of July, 2026.

By Bryce G Clugh Notary Public.
My Commission expires 08/10/2029



IMPORTANT NOTICE:

1. Please be advised that failure to submit a complete application, with all supporting documents, could delay your **hearing date**. The Architectural Review Committee will not consider a request until all information is submitted and accurate.
2. Please be advised that the application deadline dates posted are designed to allow the staff time to review the application and receive required comments from coordinating agencies. The application is not considered complete until all required information from the applicant is available for review by the staff and coordinating agencies.
3. All boxes will need to be **initialed by applicant with required documentation** before application can be accepted.

Submission Requirements:

Page one of this application, completed and signed.

Site plan. Please note that approval of your request, in part, is based on your **11" by 17"** site plan.

SEE ATTACHED EGH DOCUMENT OFFERING FURTHER EXPLANATION FOR EACH OF THESE SUBMITTAL REQUIREMENTS.

- The property lines and dimensions have been provided on the drawing.
- All buildings and structures located on the property have been identified.
- All dimensions of buildings and structures have been noted on the site plan.
- All distances from the property lines to all the buildings and structures have been identified and noted on the site plan.
- Street names have been provided which about the property.
- Traffic flow, parking and driveways have been identified.
- If required buffer strips have been identified
- Other pertinent information as needed to pictorially demonstrate the proposed development/use.

Proof of ownership (Copy of deed i.e., Warranty Deed or Quitclaim Deed). See attached documentation.

SEE ATTACHED TITLE DOCUMENTS.

If applicable, notarized proof of **authority to act as agent** for owner (board resolution, etc.).

DROPPED OFF AT CODE OFFICE UNDER SEPARATE COVER BY MARGARET MURDOCK.

The City of Gulfport Planning Division Staff will notify, by letter, property owners adjacent to the requested action identified in this application using the Land Roll database from the County Tax Office. If you would like to have additional persons or property owners notified, please provide a list of **additional persons to be notified**.

THERE ARE NO ADDITIONAL PROPERTY OWNERS THAT WE WISH TO BE NOTIFIED.

An **affidavit** stating the request is not in violation of restrictive or protective.

SEE ATTACHED AFFIDAVIT LETTER.

State hardship of why design standards cannot be met individually and thoroughly as a separate attachment

SEE ATTACHED EGH LETTER TO MR. GREG HOLMES DATED AUGUST 3, 2026.

I the owner/agent acknowledge this is a complete application

ACKNOWLEDGED BY MARK LISHEN, AUTHORIZED AGENT FOR MARGARET MURDOCK.

July 31, 2026

Mr. Greg Holmes
Director of Urban Development
1410 24th Avenue
Gulfport, MS 359502

RE: Affidavit Letter
2517 17th Street
Gulfport, MS 39501
Tax Parcel #: 0811F-04-060-000

Dear Mr. Holmes:

The purpose of this letter is to state that our request included with the attached Architectural Review Committee Application to the best of my knowledge is not in violation of restrictive or protective covenants.

Please let me know if I need to provide any further information you may need.

Sincerely,

EGH ARCHITECTS, PA



Mark Lishen, AIA, LEED AP
Principal Architect

State of MISSISSIPPI County of HARRISON
The foregoing instrument was acknowledged before me this 31st
day of July, 2026.

By Kacey Williams Notary Public.
My Commission expires January 28, 2027.



BILOXI OFFICE
1091 Tommy Munro Drive
Biloxi, MS 39532
228.594.2323 P

JACKSON OFFICE
329 East Capitol Street
Jackson, MS 39201
601.354.2572 P

www.egh.ms

July 31, 2026

**RE: Architectural Review Committee
Required Attachments
2517 17th Street Renovation
Gulfport, MS 39501
Tax Parcel #0811F-04-060.000**

The following supplemental documents are required to complete the Architectural Review Application:

- **The property lines and dimensions have been provided on the drawing.**
 - Refer to attached Site Plan. The property lines and building dimensions are one in the same.
- **All buildings and structures located on the property have been identified.**
 - Refer to attached Site Plan.
- **All dimensions of buildings and structures have been noted on the site plan.**
 - Refer to attached Site Plan. The property lines and building dimensions are one in the same.
- **All distances from the property lines to all the buildings and structures have been identified and noted on the site plan.**
 - Refer to attached Site Plan. The property lines and building dimensions are one in the same.
- **Street names have been provided which abut the property.**
 - Refer to attached Site Plan.

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www.egh.ms

- **Traffic flow, parking and driveways have been identified.**
 - Refer to attached Site Plan. Two-way traffic exists on both 17th Street and 26th Avenue. New parking is being provided on 26th Avenue.
- **If required buffer strips have been identified**
 - No buffer strips are required.
- **Other pertinent information as needed to pictorially demonstrate the proposed development/use.**
 - We have provided additional building renderings for your review. See attached renderings.

End of Document

July 31, 2026

Mr. Greg Holmes
Director of Urban Development
1410 24th Avenue
Gulfport, MS 39501

**RE: 2517 17th Street Renovation
Gulfport, MS 39501
Tax Parcel #: 0811F-04-060.000**

Dear Mr. Holmes:

The purpose of this letter is to address the exterior building materials for the 2517 17th Street building renovation. This project consists of the renovation of a 1950's era building on the southeast corner of 17th Street and 26th Avenue. The property is located in a T6 Urban Core Transect and B2 General Business area.

The information provided below summarizes our position and gives insight as to why we believe the Architectural Review Committee should grant approval of our request.

1. Request for Approval of Exterior Building Material

The existing building is a 1950s-era pre-engineered metal building constructed with a combination of pre-finished metal wall panels and masonry. The proposed renovation retains and elevates that established material character through the use of a high-quality, factory-finished architectural metal wall-panel system.

The proposed metal panels are not intended to create the appearance of a conventional utilitarian or industrial metal building. They will be incorporated into a comprehensive architectural composition that includes retained masonry, new glazing, clearly defined entrances, projecting surrounds and canopies, dimensional signage, integrated exterior lighting, accessible sidewalks, and new landscaping. The panels will have a refined architectural profile, coordinated trim and flashing, and a durable factory-applied finish.

The renovation repositions the existing building as a contemporary and welcoming annex for the Gulfport Historical Society while respecting the straightforward industrial character of the original structure. Rather than concealing the building behind materials unrelated to its construction, the proposed design acknowledges its history and transforms the existing metal-building form into a more deliberate, unified, and civic-minded facility.

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1091 Tommy Munro Drive
Biloxi, MS 39532
228.594.2323 P

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www.egh.ms

A new principal public entrance will be created on the 26th Avenue elevation. The entrance will be emphasized by a deep, blue-finished surround and full-height glazing, creating a clearly recognizable point of arrival and improving the building's visibility, accessibility, and relationship to the street. Transparency at the entrance will help the Annex appear open and welcoming rather than closed or institutional.

The remaining portions of the 26th Avenue elevation will be intentionally simple and rhythmic. Vertically oriented metal panels will unify the existing building, conceal irregularities in the present exterior, and establish an orderly background for the Historical Society's emblem, building identification, windows, and exterior lighting. The vertical panel orientation will also improve the apparent proportions of the relatively low and elongated building.

The existing brick along the 17th Street elevation will be retained, cleaned, repaired as required, and painted in a dark charcoal color coordinated with the metal-panel palette. Retaining the masonry preserves the texture, visual weight, and substance of the original construction while preventing the renovated building from appearing to be entirely clad in metal. New architectural metal panels above the masonry will visually integrate the upper wall and gable with the remainder of the renovated exterior.

Projecting masonry elements, dimensional building identification, the Historical Society emblem, and coordinated lighting will create depth, shadow, and visual interest along the 17th Street frontage. Together, the retained brick and new metal panels will read as a unified architectural composition rather than as unrelated existing and new materials.

The architectural metal wall-panel system is also particularly appropriate because of the physical constraints of the property. Portions of the existing exterior wall lines coincide with the property lines. These conditions leave little or no space for exterior projections, thick supplemental wall assemblies, new masonry veneers requiring additional foundations, or other treatments that would extend beyond the existing building footprint. The proposed panel system allows the exterior envelope to be upgraded and visually transformed while respecting these limitations.

The panel system provides additional advantages appropriate to the Gulf Coast environment, including durability, resistance to moisture, limited maintenance, and a long-lasting factory-applied finish. Properly detailed, the system will provide a clean and weather-resistant exterior enclosure and will allow individual components to be repaired or replaced as necessary.

The design does not rely on metal panels alone to provide architectural character. The new 26th Avenue entrance, retained and refinished brick along 17th Street, glazing, projecting surrounds, canopies, signage, lighting, sidewalks, and landscaping work together to soften

the building's industrial form and establish an appropriate pedestrian and civic presence within the T6/B2 district.

Approval of the proposed architectural metal wall panels will allow the renovation to preserve the authentic material character of the existing building while substantially improving its appearance, durability, accessibility, and relationship to the surrounding district. The proposed material represents a considered architectural treatment integral to the overall design rather than a purely economical or utilitarian cladding selection.

Summary

The proposed architectural metal wall panels are compatible with the original construction and established material character of the existing building. When combined with the retained and refinished masonry, new public entrance, glazing, canopies, signage, lighting, sidewalks, and landscaping, the panels will form part of a cohesive architectural renovation that significantly improves the building's appearance and civic presence within the T6/B2 district.

The architectural metal wall-panel system is also well suited to the physical limitations of the property, where existing exterior walls coincide with the property lines. The proposed system allows the building envelope to be upgraded without extending beyond the existing footprint or requiring exterior assemblies that cannot reasonably be accommodated.

We respectfully request Architectural Review Committee approval of the proposed architectural metal wall panels as illustrated in the accompanying architectural renderings. Thank you for considering our requests. We look forward to your positive response and are available to provide any further information you may need.

Sincerely,

EGH ARCHITECTS, PA



Mark Lishen, AIA, LEED AP
Principal Architect

Sec. VI. - Off-street parking and off-street truck loading.

(A) *Off-street parking.*

(1) *Provision for off-street parking required.* The off-street parking facilities herein required shall be provided in at least the amount and maintained in the manner herein set forth; provided, however, that off-street parking facilities in excess of the amounts heretofore required by law, need be neither provided nor maintained for land actually used or for structures actually existing (whether occupied or vacant) on the effective date of this ordinance unless, after the effective date of this ordinance such land, structures or uses are enlarged, expanded or changed in which event, the land, structures, and uses hereby excluded shall not be used, occupied or operated unless there is provided for the increment only of such land, structures, and uses, and maintained as herein required, at least the amount of off-street parking facilities that would be required hereunder if the increment were a separate land, structure, or use. The central business district of Gulfport, as shown on the official zoning map, as well as all parcels that front on the north side of 11th Street between the center line of 31st Avenue to the center line of 36th Avenue are exempt from these off-street parking requirements.

(2) *Size and location.* Each off-street parking space, which shall be at least nine (9) feet wide and eighteen (18) feet long, exclusive of access or maneuvering area, ramps and other appurtenances, shall be located off the street right-of-way, and except for one-family and two-family dwellings, facilities shall be so planned that vehicles do not back into the roadway. All required spaces and access thereto must be paved.

(a) Parking in transect zones:

- i. For one- and two-family dwellings located in zones T2, T3, T4L and T4+, parking areas shall be located beyond the front façade of the principal structure except that driveway aprons and drop-offs may be located within the front yard setback. Garages (attached or detached) that open to the primary street and are flush with the front façade shall have a garage door that is in harmony with the design of the primary structure and the surrounding neighborhood. Attached garages that open to a secondary street or alley can be flush with the front façade as long as the side of said garage is designed to look like the rest of the house (e.g. windows, articulation, etc.). View of parking areas and parking structures shall be masked from the frontage by a streetscreen. Parking accessed by alley or rear lane when such are available is optional as a primary or secondary access.
- ii. For all other uses in T2, T3, T4L, T4+, T5 and T6 zones, parking can be located flush with the front façade of the principal structure. View of parking lots and parking garages shall be masked from the primary frontage by a liner building, other building, or streetscreen. Parking accessed by alley or rear lane when such are available is optional as a primary or secondary access. Bicycle parking areas can be provided in the front provided it meets applicable design review standards and does not block required pedestrian access.

SURVEY PLAT FOR
MARGARET MURDOCK
HARRISON COUNTY, MS
GEORGE "RICK" MOONEY
PROFESSIONAL LAND SURVEYOR
190A SELLERS STREET
WIGGINS, MS 39577



SCALE: 1"=30'
MISSISSIPPI STATE PLANE
EAST ZONE (2301)
NAD83-2011
EARL DUDLEY GPS NETWORK
GRID NORTH
CONVERGENCE: -00°07' 54"
SCALE FACTOR: 0.99995773
COMBINED: 0.99995876

POINT OF BEGINNING:
THE NW CORNER OF
LOT 37, BLOCK 151,
BLOCKS 109-161
COPY PLAT BOOK 4A
PAGE 328
P.K. NAIL FOUND
N:316923.85 E:902101.58

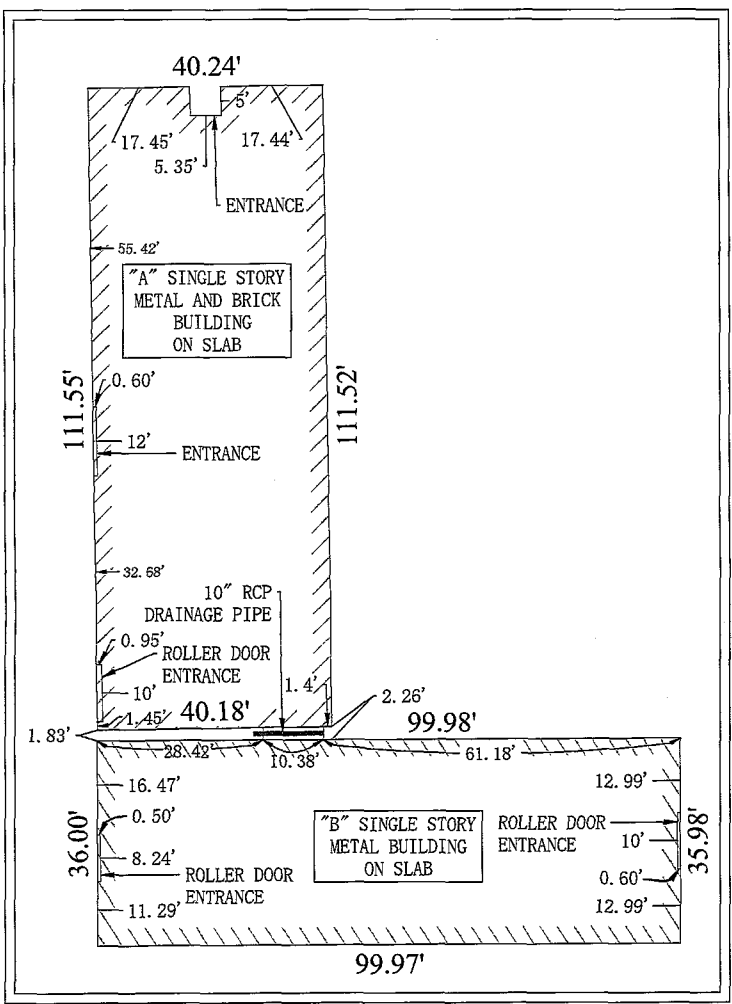
26TH AVENUE

17th STREET

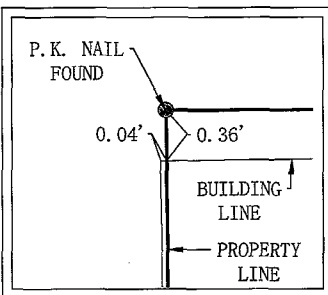
20' ALLEY

LEGEND	
(R) = AS PER RECORD	● = MONUMENT (TYPE NOTED)
(M) = MEASURED	
IRF = IRON ROD FOUND	-OHE = OVERHEAD ELECTRIC
IRS = IRON ROD SET	⊗ = UTILITY POLE
IPF = IRON PIPE FOUND	▨ = CONCRETE
PKF = P.K. NAIL FOUND	▩ = ASPHALT
PKS = P.K. NAIL SET	

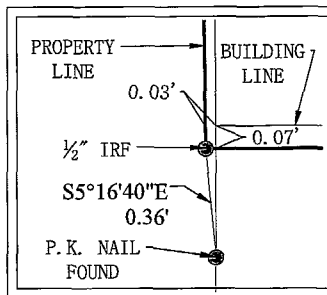
REFERENCE MATERIALS
PLAT OF "ORIGINAL GULFPORT"
COPY PLAT BOOK 4A PAGE 368
DEED INSTRUMENT 2016 740-D-J1
DEED INSTRUMENT 2017 8130-DJ1
DEED INSTRUMENT
2021-0027145-D-J1
COURTHOUSE RECORD DEEDS
HARRISON COUNTY TAX MAPS
USGS QUAD MAP
GENERAL LAND OFFICE MAP



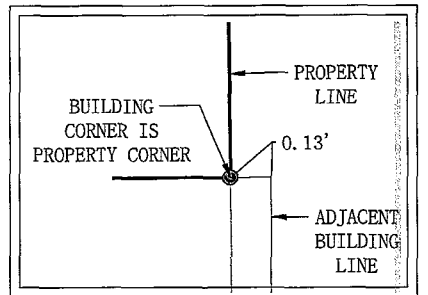
BUILDING DETAIL
NOT TO SCALE



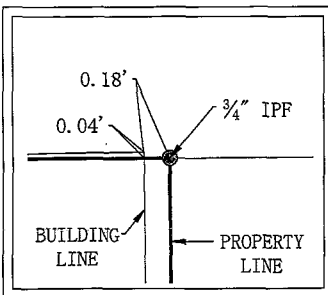
NW CORNER OF
BUILDING "A"
NOT TO SCALE



SW CORNER OF
BUILDING "B"
NOT TO SCALE



SE CORNER OF
BUILDING "B"
NOT TO SCALE



NE CORNER OF
BUILDING "A"
NOT TO SCALE

NOTES:

- 1) PROPERTY IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, AND/OR RESTRICTIONS ON RECORD.
- 2) NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES.
- 3) THIS SURVEY DOES NOT REFLECT THE PRESENCE NOR THE ABSENCE OF WETLANDS WITHIN THE SURVEYED AREA. CONSULT WITH A WETLANDS DELINEATOR OR ENVIRONMENTAL SCIENTIST FOR MORE INFORMATION.
- 4) ALL BEARINGS ON THIS PLAT ARE BASED ON GPS OBSERVATIONS, GRID NORTH NAD 83, MISSISSIPPI STATE PLANE EAST ZONE 2301.
- 5) NO TITLE REPORT WAS FURNISHED TO SURVEYOR

LEGAL DESCRIPTION:
SEE ATTACHMENT

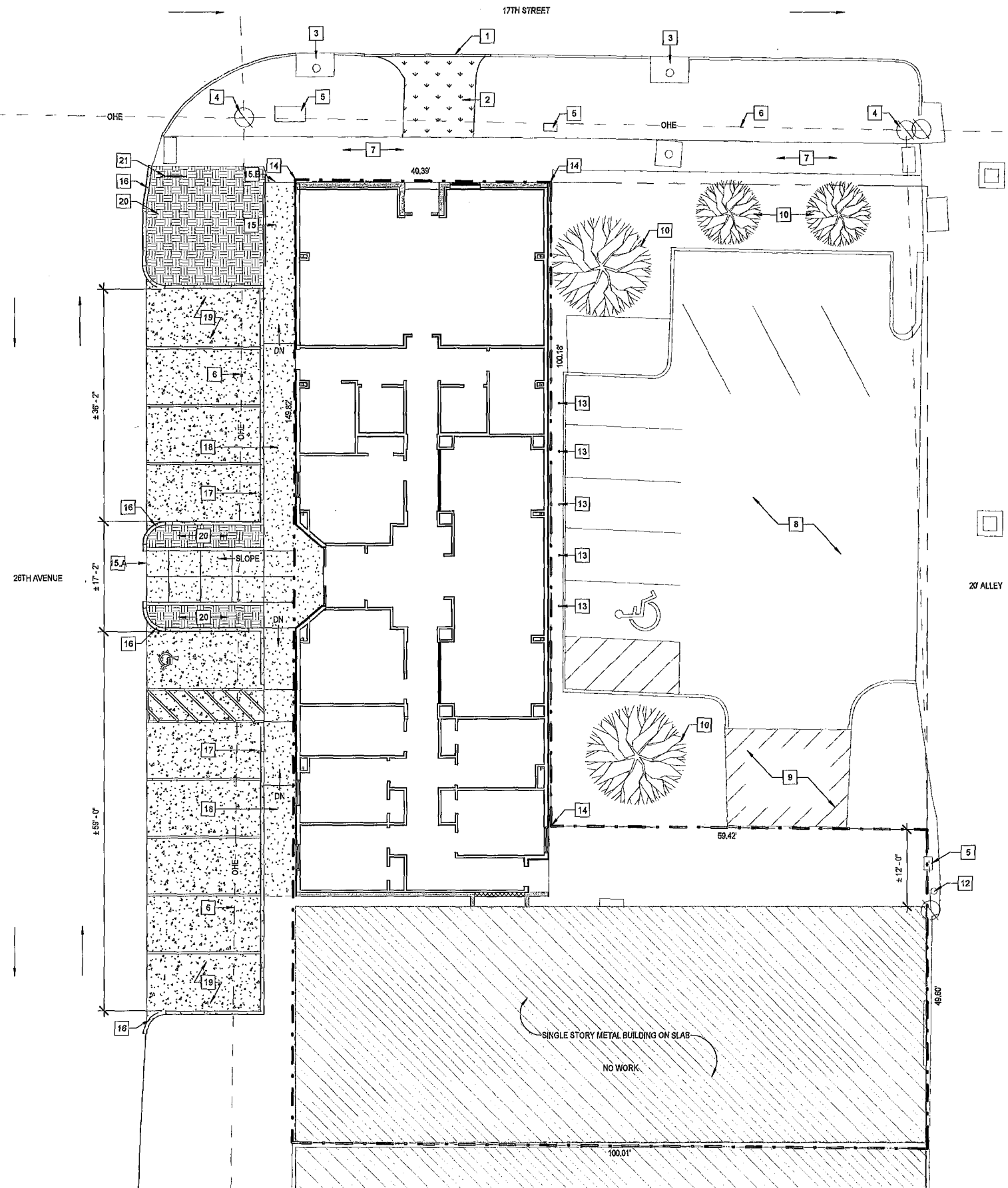
GEORGE R. MOONEY
PROFESSIONAL SURVEYOR
MS. LICENSE #2797
CLASS "C" SURVEY

This is to certify that I have surveyed the
property/easement described and delineated
hereon; and that the measurements and
other data indicated are correct to the best
of my knowledge and belief.

DRAWN BY: CRT
CHECKED BY: GRM
DATE: 08/16/2024

SITE PLAN KEY NOTES:

- 1 PROVIDE NEW CONCRETE CURB AS INDICATED. MATCH EXISTING CURB WIDTH, HEIGHT, PROFILE, ALIGNMENT, AND FINISH. DOWEL INTO EXISTING CURB WHERE NEW CURB ABUTS EXISTING, UNLESS NOTED OTHERWISE. COORDINATE WITH ADJACENT PAVING, GRADING, AND DRAINAGE.
- 2 PROVIDE NEW TOPSOIL MIX AND SOD WITHIN DISTURBED AREA AS INDICATED. PROVIDE 4" MINIMUM TOPSOIL DEPTH, UNLESS NOTED OTHERWISE. GRADE TO PROVIDE A FLUSH, STABLE, AND UNIFORM FINISHED CONDITION WITH POSITIVE DRAINAGE TO ADJACENT PAVING, CURBS, AND SITE FEATURES.
- 3 EXISTING CURB STORM INLET TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES.
- 4 EXISTING POWER POLE TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES.
- 5 EXISTING FIBER OPTIC PULL BOX TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES.
- 6 EXISTING OVERHEAD ELECTRIC POWER LINE TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES.
- 7 EXISTING CONCRETE SIDEWALK TO REMAIN. REMOVE WEEDS, GRASS, VEGETATION, DIRT, AND DEBRIS FROM SIDEWALK JOINTS, EDGES, AND AREAS ADJACENT TO BUILDING. POWER WASH AS REQUIRED TO PROVIDE A CLEAN, UNIFORM APPEARANCE.
- 8 EXISTING PARKING LOT ON ADJACENT PROPERTY TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO MATCH EXISTING CONDITIONS.
- 9 EXISTING DUMPSTER ENCLOSURE ON ADJACENT PROPERTY TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO MATCH EXISTING CONDITIONS.
- 10 EXISTING TREE ON ADJACENT PROPERTY TO REMAIN. PROTECT TREE, TRUNK, BRANCHES, AND ROOT ZONE FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. DO NOT STORE MATERIALS, PARK EQUIPMENT, OR PLACE DEBRIS WITHIN TREE PROTECTION AREA. DO NOT TRIM, CUT, OR DISTURB TREE WITHOUT PRIOR AUTHORIZATION FROM OWNER AND ADJACENT PROPERTY OWNER. NOTIFY ARCHITECT IMMEDIATELY IF DAMAGE OCCURS.
- 11 NOT USED
- 12 EXISTING TELEPHONE PEDESTAL TO REMAIN. PROTECT IN PLACE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- 13 EXISTING PARKING SIGNAGE ON ADJACENT PROPERTY TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL REPLACE ANY SIGNAGE DAMAGED BY CONSTRUCTION OPERATIONS.
- 14 EXISTING IRON PINS, NAILS, AND SURVEY MARKERS TO REMAIN. PROTECT IN PLACE. DO NOT DISTURB, REMOVE, OR RELOCATE. NOTIFY ARCHITECT IMMEDIATELY IF DAMAGED OR DISTURBED.
- 15 PROVIDE SLOPED CONCRETE SIDEWALK TRANSITIONS WHERE REQUIRED BETWEEN HIGHER AND LOWER SIDEWALK ELEVATIONS. TRANSITIONS SHALL MAINTAIN ADA COMPLIANT SLOPES, CROSS SLOPES, LANDINGS, CLEAR WIDTHS, AND SMOOTH CONNECTIONS TO BUILDING ENTRANCES, ACCESSIBLE PARKING, ACCESS AISLES, CURBS, AND ADJACENT PAVING.
- 15A WHERE NEW CONCRETE SIDEWALK MEETS EXISTING ASPHALT PAVEMENT, PROVIDE A SMOOTH, FLUSH TRANSITION. SAWCUT EXISTING ASPHALT AS REQUIRED TO PROVIDE A CLEAN EDGE, AND PATCH / FEATHER ASPHALT PAVEMENT AS REQUIRED TO ELIMINATE ABRUPT CHANGES IN ELEVATION AND MAINTAIN ADA COMPLIANT SLOPES AND CROSS SLOPES.
- 15B PROVIDE SMOOTH, FLUSH TRANSITION WHERE NEW CONCRETE SIDEWALK MEETS EXISTING CONCRETE SIDEWALK. SAWCUT EXISTING CONCRETE AS REQUIRED TO PROVIDE A CLEAN, STRAIGHT EDGE, AND PATCH / ADJUST AS REQUIRED TO PROVIDE A CLEAN, STABLE, ADA COMPLIANT CONNECTION WITH NO ABRUPT CHANGE IN ELEVATION.
- 16 PROVIDE NEW CONCRETE CURB AT PLANTING BED AS INDICATED. MATCH EXISTING CURB WIDTH, HEIGHT, PROFILE, AND FINISH WHERE CURB ABUTS EXISTING. PROVIDE SLOPED TRANSITIONS TO NEW SIDEWALKS AS REQUIRED TO MAINTAIN FLUSH, ADA COMPLIANT PEDESTRIAN ROUTES, POSITIVE DRAINAGE, AND SMOOTH TRANSITIONS BETWEEN PLANTING BED CURBS, SIDEWALKS, AND ADJACENT PAVING.
- 17 PROVIDE NEW CONCRETE WHEEL STOPS AT PARKING SPACES AS INDICATED. SECURE EACH WHEEL STOP TO PAVEMENT WITH GALVANIZED STEEL PINS OR ANCHORS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. POSITION WHEEL STOPS TO MAINTAIN REQUIRED CLEARANCES, ACCESSIBLE ROUTES, AND ADA COMPLIANT ACCESS AISLES.
- 18 PROVIDE NEW 4" THICK, 5'-0" WIDE, 4000 PSI CONCRETE SIDEWALK AS INDICATED. PROVIDE CONTROL JOINTS AND EXPANSION JOINTS AT SPACING INDICATED OR AS REQUIRED TO ALIGN WITH ADJACENT WALKS, CURBS, BUILDING ENTRANCES, AND CHANGES IN DIRECTION. PLACE SIDEWALK ON COMPACTED SUBBASE. SLOPE AND TRANSITION SIDEWALK TO PROVIDE ADA COMPLIANT ROUTE TO BUILDING ENTRANCES AND ADJACENT PAVING.
- 19 PROVIDE NEW ASPHALT PARKING AREA AS INDICATED, INCLUDING ASPHALT PAVING, BASE, AND COMPACTED SUBBASE. REFER TO PAVEMENT DETAILS FOR ASPHALT PAVING, BASE, AND SUBBASE THICKNESSES. COORDINATE LIMITS OF WORK WITH OWNER AND CITY. PROVIDE GRADES, SLOPES, AND TRANSITIONS REQUIRED FOR ADA COMPLIANT ACCESSIBLE PARKING, ACCESS AISLES, PEDESTRIAN ROUTES, DRAINAGE, SIDEWALK CONNECTIONS, AND ADJACENT PAVING.
- 20 PROVIDE NEW PLANTING BED AS INDICATED. REMOVE UNSUITABLE MATERIAL, WEEDS, ROOTS, DEBRIS, AND ROCKS. PREPARE SUBGRADE AND PLACE TOPSOIL / PLANTING SOIL MIX TO 12" DEPTH. INCORPORATE SOIL AMENDMENTS AND FERTILIZER AS RECOMMENDED FOR PLANT MATERIAL INSTALLED. PROVIDE PRE-EMERGENT WEED CONTROL WHERE COMPATIBLE WITH PLANT MATERIAL. INSTALL MULCH TO A UNIFORM DEPTH AND GRADE BED TO PROVIDE POSITIVE DRAINAGE TO ADJACENT PAVING, CURBS, SIDEWALKS, AND SITE FEATURES.
- 21 EXISTING STOP SIGN TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES, INCLUDING WORK WITHIN ADJACENT SODDED AREA. MAINTAIN SIGN VISIBILITY AND FUNCTION AT ALL TIMES. DO NOT REMOVE, RELOCATE, OR OBSTRUCT SIGN WITHOUT PRIOR APPROVAL FROM OWNER AND CITY.



1 SITE PLAN
A001/A200
1" = 10'-0"

NORTH
SCALE: 1"=10'-0"

EGH
ARCHITECTS

SITE PLAN

26-004 ANCHOR AND RAIL BUILDING RENOVATION

SD
CONSTRUCTION

REV. DATE DESCRIPTION

ELEY GUILD HARDY ARCHITECTS

1091 TOMMY MUNRO DRIVE, BILOXI, MS 39532
228.594.2323
www.egh.ms

NUMBER: 26-004
DATE: JULY 29, 2026
DRAWN: DCC
CHECKED: Checker

A001

26-004 ANCHOR AND RAIL BUILDING RENOVATION

26-004









17th Street North Elevation

26th Avenue Facade

Legend



This Instrument prepared by and to be returned to:

Margaret Murdock, Esq.
 612 East Beach Blvd
 Gulfport, Mississippi 39502
 (228) 863-6633



1st JUDICIAL DISTRICT
 INSTRUMENT 2024-0003942-D-J1
 FILED/RECORDED 2/29/2024 3:07:01 PM
 TOTAL FEES \$26.00
 3 PAGES RECORDED

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of ONE and NO/100 Dollars (\$1.00), cash in hand paid, and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, the undersigned **Grantor**,

CG & JL HOLDINGS LLC
 1616 26th Ave
 Gulfport, Mississippi 39501
 Telephone (228) 669-7071

does hereby sell, convey, and specially warrant unto **Grantee**,

MARGARET E. MURDOCK
 612 East Beach Boulevard
 Gulfport, Mississippi 39501
 Telephone (228) 863-6633

all of its interest in and to that certain land and property situated and being in the City of Gulfport, First Judicial District of Harrison County, Mississippi, more particularly described as follows, to-wit:

See Exhibit "A" attached.

INDEXING INSTRUCTIONS:

Lots 32-37 inclusive, Block 151, Original Gulfport Subdivision, City of Gulfport, First Judicial District of Harrison County, Mississippi

This conveyance is LESS AND EXCEPT any and all recorded oil, gas, and other mineral rights, reservations, or exceptions of prior owners, and is SUBJECT TO any and all recorded restrictions or covenants affecting said property, and any and all presently existed or recorded easements or right-of-ways affecting said property. Further, Grantor retains all mineral rights it owns together with the right of ingress and egress to remove the same.

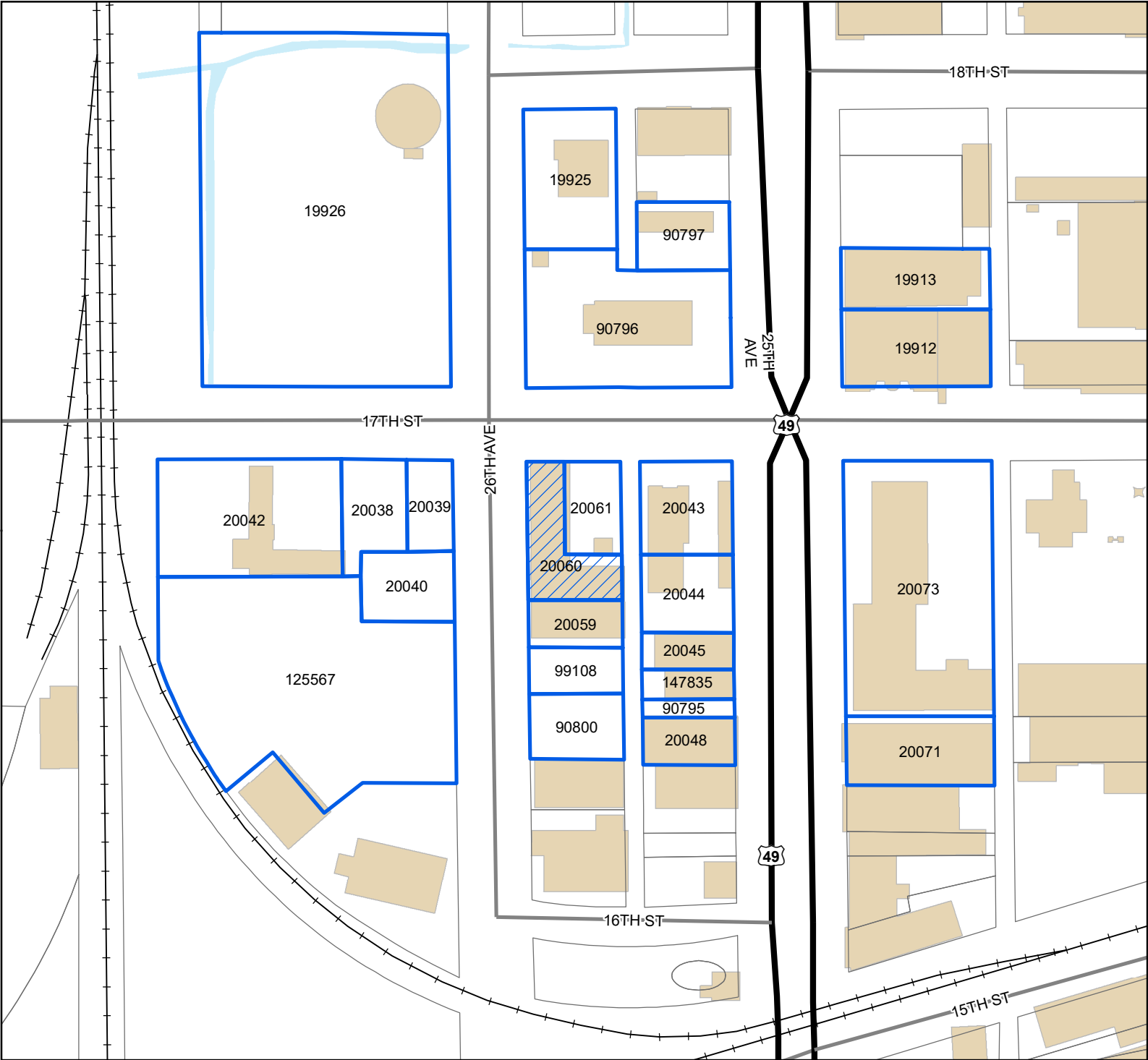
Exhibit "A"

Property Description

THE WEST FORTY FEET (40') OF LOTS THIRTY-FOUR (34), THIRTY-FIVE (35), THIRTY-SIX (36) AND THIRTY-SEVEN (37); AND ALL OF LOTS THIRTY-TWO (32) AND THIRTY-THREE (33), BLOCK 151, ORIGINAL GULFPORT, ACCORDING TO THE OFFICIAL MAP OR PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE CHANCERY CLERK OF THE FIRST JUDICIAL DISTRICT OF HARRISON COUNTY, MISSISSIPPI, IN PLAT BOOK 11 AT PAGE 9 (COPY BOOK 4A AT PAGE 368) THEREOF, REFERENCE TO WHICH IS HEREBY MADE IN AID OF AND AS A PART OF THIS DESCRIPTION.

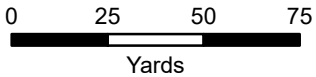
LESS AND EXCEPT A PARCEL OF LAND SITUATED AND BEING LOCATED IN A PART OF LOT 32, BLOCK 151, ORIGINAL GULFPORT, FIRST JUDICIAL DISTRICT OF HARRISON COUNTY, MISSISSIPPI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT A POINT ON THE EASTERLY RIGHT OF WAY OF 26TH AVENUE AT THE SOUTHWEST (SW) CORNER OF SAID LOT 32, BLOCK 151; THENCE RUN SOUTH 89 DEGREES 07 MINUTES 47 SECOND EAST 100 FEET ALONG THE SOUTH LINE OF SAID LOT 32 AND THE NORTHEAST (NE) CORNER OF LOT 31, BLOCK 151, TO THE SOUTHEAST (SE) CORNER OF SAID LOT 32 AND THE NORTHEAST (NE) CORNER OF SAID LOT 31; THENCE RUN NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 0.6 FEET ALONG THE EAST LINE OF SAID LOT 32 AND THE WESTERLY MARGIN OF A 20 FOOT ALLEY; THENCE RUN WESTERLY 100 FEET ALONG THE NORTHERLY EDGE OF A CONCRETE BLOCK WALL TO THE EASTERLY RIGHT OF WAY OF 26TH AVENUE; THENCE RUN SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 0.34 FEET ALONG THE EASTERLY RIGHT OF WAY OF 26TH AVENUE TO THE POINT OF BEGINNING.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		0811F-04-060.000	MARGRET MURDOCK (OWNER)	612 EAST BEACH BLVD	GULFPORT	MS	39501
			MARK LISHEN (AGENT)	1091 TOMMY MUNRO DRIVE	BILOXI	MS	39532
			Adjacent Property Owners (2608ARC017)				
	20040	0811F-04-067.000	BEACHSIDE DEVELOPMENTS OF MISSISSIP	19536 CHAMPION CIRCLE	GULFPORT	MS	39503
	20073	0811F-04-035.000	CATHOLIC DIOCESE OF BILOXI	1790 POPPS FERRY ROAD	BILOXI	MS	39532
N	19926	0811F-04-071.000	GULFPORT CITY OF	P O BOX 1780	GULFPORT	MS	39502
	99108	0811F-04-061.001	BLAKER BRUCE T	1618 26TH AVE	GULFPORT	MS	39501
N	20059	0811F-04-061.000	BLAKER BRUCE T	1618 26TH AVE	GULFPORT	MS	39501
N	20038	0811F-04-069.000	BEACHSIDE DEVELOPMENTS OF MISSISSIP	19536 CHAMPION CIRCLE	GULFPORT	MS	39503
N	20043	0811F-04-049.000	AFN ABSPROP001 LLC	C/O AMERICAN FINANCE TRUST INC	CHARLOTTE	NC	28226
	20071	0811F-04-036.000	ALLEN INDUSTRIES LLC	P O BOX 511	SAUCIER	MS	39574
N	20039	0811F-04-068.000	BEACHSIDE DEVELOPMENTS OF MISSISSIP	19536 CHAMPION CIRCLE	GULFPORT	MS	39503
	90800	0811F-04-062.000	ANDERSON OROZCO HOLDINGS LLC	1617 25TH AVE	GULFPORT	MS	39501
	19925	0811F-04-056.000	MJB2112 PROPERTIES LLC	922 PORTER AVE	OCEAN SPRINGS	MS	39564
N	20048	0811F-04-045.000	ANDERSON OROZCO HOLDINGS LLC	1617 25TH AVE	GULFPORT	MS	39501
	20060	0811F-04-060.000	CG & JL HOLDINGS LLC	1616 26TH AVE	GULFPORT	MS	39501
	20061	0811F-04-059.000	ARG SNGLFMS001 LLC	P O BOX 447	TYLERTOWN	MS	39667
	90797	0811F-04-051.000	MJB1221 PROPERTIES LLC	922 PORTER AVE	OCEAN SPRINGS	MS	39564
N	20042	0811E-02-045.000	BEACHSIDE DEVELOPMENTS OF MISSISSIP	19536 CHAMPION CIRCLE	GULFPORT	MS	39503
N	90796	0811F-04-050.000	STEWART SAMUEL PAGE & JACQUELINE L	C/O MCDONALD'S CORP 23-278	COLUMBUS	OH	43218
N	125567	0811F-04-066.001	BEACHSIDE DEVELOPMENTS OF MISSISSIP	PO BOX 6825	GULFPORT	MS	39507
	20045	0811F-04-047.000	1625 25TH AVENUE LLC	1600 25TH AVE	GULFPORT	MS	39501
	90795	0811F-04-046.000	MECHAM HOLDINGS LLC	P O BOX 6594	GULFPORT	MS	39506
N	20044	0811F-04-048.000	AFN ABSPROP001 LLC	C/O AMERICAN FINANCE TRUST INC	CHARLOTTE	NC	28226
	147835	0811F-04-046.001	BLACKWATER REAL ESTATE LLC	9175 ASHBURY LN	GULFPORT	MS	39503



Legend

- Site
- US or State Highway
- Street
- Railroad
- Buildings
- Water Features



1 inch = 150 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.