



Architectural Review Committee | Agenda

Thursday, March 12, 2026 – 3:00 PM

City Hall – Council Chambers
2309 15th Street, Gulfport

- A. Prayer
- B. Pledge of Allegiance
- C. Call to Order
- D. Determination of a Quorum
- E. Confirmation of Agenda
- F. Announcements

F1. If you are aggrieved by a vote of the Architectural Review Committee, see below.

Any person or any officer, department or agency of the City aggrieved by a decision of the Architectural Review Committee may, within fifteen (15) days thereafter, appeal therefore to the Gulfport City Council by submitting to the Department of Urban Development – Planning Division a written notice of appeal specifying the decision from which the appeal is taken.

F2. Speaker Card

Please provide the completed card at the time you speak to the Architectural Review Committee. City staff personnel can assist in any questions you may have or in completing the card. This public meeting is open to all for comment.

G. Adoption of Minutes

G1. Architectural Review Committee - 02/12/26

H. Hearing of Cases

H1. Signs

1. Architectural Review Committee 2603ARC005:

Architectural Review Committee 2603ARC005, by agents Worth Hunter & Melissa Golding, seeking approval for two new freestanding ground signs, Tax Parcel 0808L-01-043.001, 11464 Hwy 49, Zoned B-4 (Highway Business), Ward 7

2. Architectural Review Committee 2603ARC006:

Architectural Review Committee 2603ARC006, by agent Carl Hamilton, seeking approval for a new freestanding ground sign, Tax Parcel 1010F-02-022.000, 1554 E Pass Road, Zoned T6 (Urban Core Zone), Ward 5

3. Architectural Review Committee 2603ARC007:

Architectural Review Committee 2603ARC007, by agent Carl Hamilton, seeking approval for a new freestanding ground sign, Tax Parcel 0808D-04-007.000, 12317 Hwy 49, Zoned B-4 (Highway Business), Ward 7

H2. Architectural Review Committee Permits

I. Reports

J. Unfinished Business

K. Other Business

L. Adjournment

MINUTES

GULFPORT ARCHITECTURAL REVIEW COMMITTEE MEETING

Thursday, February 12, 2026, 3:00 P.M.

City Council Chambers

- A. **Prayer:** The ARC Board led a prayer.
- B. **Pledge of Allegiance:** The Pledge of Allegiance was recited.
- C. **Call to Order:** The meeting of the ARC board was called to order at **3:01 P.M.**
- D. **Determination of a Quorum:** A Roll Call was conducted, and a quorum was determined.

BOARD MEMBERS PRESENT:

LEE PALERMO
DANIELLE COTTON
JOHNNY OLSEN
BRENT FRENCH

BOARD MEMBERS ABSENT:

KENNY MCNAIR

STAFF MEMBERS PRESENT

GREGORY HOLMES
MATILDA WELCH
SAMUEL SWEETING
BRYCE CLUGH
SAMUEL SMITH

COURT REPORTER:

E. Confirmation of Agenda:

F. Approval of Minutes:

Motion by **Johnny Olsen** and seconded by **Danielle Cotton** to approve Minutes of the **January 8, 2026**, ARC meetings was carried unanimously.

G. Hearing of cases:

G1. The declaration of appeal process was read by the Chairman of the Architectural Review Committee: Any person or any officer, department, or agency of the city aggrieved by any decision of the Architectural Review Committee may confirm by filing a written notice of appeal within fifteen (15) calendar days after the date of the Architectural Review Committee hearing. Any appeal shall be in writing and submitted to the Department of Urban Development – Planning Division stating what decision is being appealed and detailing how you are aggrieved. This Architectural Review Committee notice of appeal shall be forwarded as part of the record with the record and decision from the Architectural Review Committee to the Planning Commission. The Planning Commission shall make a final decision based upon the record as submitted. No new evidence may be presented at the meeting. Please contact this office for further details on the appeal process.

G2. The Chairman asked all individuals speaking at today’s meeting to complete a speaker’s card.

G3. Routine Agenda:

1. Architectural Review 2601ARC003: (Postponed by applicant to February meeting)
Architectural Review Committee 2601ARC003, by agent Apex Construction, seeking approval for a new freestanding ground sign, Tax Parcel 1010L-01-008.000, 1100 E Pass Road, Zoned T4+ (General Urban Zone "Plus"), Ward 4

Speaking for the Petition: Averie Bush

Speaking against the Petition: None

Motion: Johnny Olsen – to approve applicant’s request for a new freestanding ground sign.

Second: Danielle Cotton

Lee Palermo	- Chairman
Danielle Cotton	- Yea
Kenny McNair	- Absent
Brent French	- Yea
Johnny Olsen	- Yea

Action: Motion carried unanimously.

Adjournment:

Motion by **Danielle Cotton** to adjourn the meeting was seconded by **Brent French** and carried unanimously. The meeting adjourned at **3:08 P.M.**

THESE MINUTES WERE APPROVED BY A VOTE OF THE ARCHITECTURAL REVIEW COMMITTEE.

Danielle Cotton, Secretary

Date: _____



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, March 12, 2026

Signs



URBAN DEVELOPMENT
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PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
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ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, March 12, 2026

Architectural Review Committee 2603ARC005: Architectural Review Committee 2603ARC005, by agents Worth Hunter & Melissa Golding, seeking approval for two new freestanding ground signs, Tax Parcel 0808L-01-043.001, 11464 Hwy 49, Zoned B-4 (Highway Business), Ward 7

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2603ARC005

Hearing Date: March 12, 2026

Current Zoning/Use: B-4 / Commercial Building

Legal: Architectural Review Committee 2603ARC005, by agents Worth Hunter & Melissa Golding, seeking approval for two new freestanding ground signs, Tax Parcel 0808L-01-043.001, 11464 Hwy 49, Zoned B-4 (Highway Business), Ward 7

TECHNICAL DETAILS

The applicants are seeking approval for two new freestanding ground signs. The applicants annotate the two signs as being described as the “proposed sign”, meaning the “spatula-shaped” sign on the north side of the subject site, and the “existing sign, meaning the box-shaped ground sign utilizing the pylon pole from the existing ground sign from the prior commercial business. This clarification is made to distinguish the two proposed signs before this board in an effort to alleviate any potential confusion. The proposed locations for the ground signs do meet the setback requirements stated within the sign ordinance. The sign ordinance requires all ground signs to be no closer than 10 feet from the street frontage property line and 5 feet from the interior/side property lines. The site plan provided by the applicant notes the signs either meeting or exceeding the minimum setback requirements. The copy area for the ground signs is determined by the linear footage of street frontage abutting the parcel. The subject site has two frontages on its west side, which is approximately 202 feet wide, and its east side, which is approximately 202 feet wide. Per Chapter 9, Article IV, Sec 9-91(b)(3): “The total area of all freestanding ground signs on each parcel shall not exceed two (2) square feet of sign area for each lineal foot of street frontage of the first one hundred (100) linear feet and one (1) square foot of sign area for each additional foot of street frontage in excess of one hundred (100) feet provided that no one sign shall exceed two hundred (200) square feet in area, except on a parcel that exceeds two hundred (200) linear feet of street frontage. On parcels exceeding two hundred (200) feet of street frontage, the sign area shall not exceed a total equal to one (1) square foot of sign area for each linear foot of street frontage.” Since the subject property has street frontage in excess of 200 linear feet, the total allowable copy area would be limited to one square foot for each foot of linear street frontage. As the property has a total of approximately 404 linear feet of street frontage, the maximum copy area allowable per ordinance would be 404 square feet. The total square footage for the two proposed ground signs is 392 square feet, under the allowable square footage.

Per Chapter 9, Article IV, Sec 9-91(h)(6):” Heights shall conform to the district height requirements as stated in the comprehensive sign ordinance. All measurements are to be from grade to the top of the sign. All signs forty (40) feet in height and above, with or without the use of a crane, shall be submitted to the Gulfport-Biloxi Airport Authority for review and comments.” The sign height for the northern most proposed ground sign of 50 feet would require a statement from the Gulfport-Biloxi Airport Authority regarding if the proposed sign height

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

would require any approval, or review, from the Gulfport-Biloxi Airport Authority. After discussion with the assistant director of the Gulfport-Biloxi International Airport and the director of operations at Gulfport-Biloxi International Airport, the provided printout of the pre-screening tool from the FAA's website will suffice as a statement due to the sign height, and the noted height of the 68-foot tall crane used to install the ground sign, will not require to file a notice with the FAA.

Regarding the design standards, per Chapter 9, Article IV, Sec 9-103 (b)(1-4), "all new freestanding ground sign's support poles shall be wrapped with masonry, stucco, stone and/or a similar synthetic material from the ground up to a height not to exceed 10 feet above ground level, in addition any portion of the support poles that is greater than 10 feet above ground level shall be finished with a stucco wrap or a textured paint." The applicant notes in the provided plans that the sign's support poles are to be covered in aluminum wrapping. While this material is not a material that would fall under the list of acceptable material listed with the ordinance, this board has approved of signs with similar material such as with the TD Pharmacy sign under case# 2407ARC036 and the First Baptist Missionary Church sign under case# 2601ARC003. Per the design standards stated in the sign ordinance, new ground signs shall construct a decorative buttress at the base of the ground sign and a decorative cap/crown at the top of the sign's façade. In the provided plans, the applicant notes that only one of the proposed ground signs will have a decorative cap or crown, and neither will have a decorative buttress at the base of the signs. The applicant claims that the purpose of the decorative cap and buttress requirements are generally to enhance the visual appearance and prevent exposed, unfinished pole structures. The applicant goes further into their explanation claiming that the spatula-shaped design, for the northernmost sign, is a fully enclosed architectural design. The applicant claims that the spatula-shaped pylon sign is a distinctive trade dress and central to the company's national identity stating: "corporate design specifications require uniformity across all markets." While there is not another "Cook Out" restaurant in Gulfport, MS city limits to use as reference, staff did research out ground signs at locations in other "Cook Out" restaurants in other cities across the state and found that other locations for this brand resemble the southernmost sign, referred to as an existing sign, with none resembling the proposed spatula-shaped sign. The applicant claims that part of the reason for the proposed sign designs is due to an economic hardship caused by the costs associated with re-engineering and reconstruction of the proposed sign would cause. This stated hardship is caused by the applicant's actions to deviate from the design standards for their proposed signs.

The applicant claims as well that the signs are designed to be consistent with the area along the commercial corridor. Upon staff review of the signs in the surrounding area, a vast majority of these signs existed prior to the creation of this board or consist of signs following the corporate design standards for their respective brands overall. Such examples of signs following corporate designs are Sonic, Whataburger, McDonalds, Wendys, Domino's, and Take 5 Oil Change. While each of these signs existed prior to the implementation of this board, should they have sought approval from this board after its implementation, they would have also needed to seek deviation from the design standards for the decorative cap/crown and the decorative buttress. While the ordinance does not state landscaping requirements for signage, the applicant has illustrated a landscaping plan alongside the elevations for the two proposed signs.

Regarding the L.E.D. sign on the spatula-shaped sign, while ordinance does allow for such signs they will be required to adhere to the provisions stated in Chapter 9, Article IV, Sec 9-93. A sign

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

affidavit listing these conditions must be signed and notarized prior to the issuance of any sign permit for any L.E.D. or digital sign.

According to Chapter 9, Article IV. Sec 9-103, b, 1-4

- b) All freestanding permanent signs, structures or poles shall be self-supporting structures erected on or permanently attached to concrete foundations or meet wind load requirements as specified in the building code, or any amendment thereto, adopted by the city.
- (1) Sign structure support pole(s) shall be wrapped with a masonry, stucco, stone and/or a similar synthetic material, from the ground level to a height not to exceed ten (10) feet above said ground level.
 - (2) A decorative buttress shall be constructed at the ground/base level of the façade.
 - (3) A decorative cap or crown shall be constructed at the top of the façade.
 - (4) Any portion of the sign structure's support pole(s) between the façade and the display of the sign that is greater than ten (10) feet above ground level shall be finished with a stucco wrap or a textured paint.

According to Chapter 9, Article IV. Sec 9-93

- a) No sign shall be permitted which is animated by means of flashing, scintillating, blinking or traveling lights.
- b) Digital display sign faces shall be allowed, subject to the following provisions:
 1. There shall be no effects of movement, animation, scrolling, flashing, scintillation or similar effects and shall display only static images.
 2. The static display time for each message shall be a minimum of eight (8) seconds.
 3. The time to completely change from one message to the next is a maximum of two (2) seconds and shall not use fading, rolling, window shading, dissolving, or similar effects as part of the change.
 4. All such signs shall have installed light monitors, and shall at all times allow such monitors to automatically adjust the brightness level of the sign based on ambient light conditions. In addition, maximum brightness levels for said sign shall not exceed five thousand five hundred (5,500) nits from dawn to dusk, during daylight hours, and one thousand (1,000) nits from dusk to dawn, nighttime hours.
 5. Any digital display sign face or similar such sign that malfunctions, fails, or ceases to operate in its usual or normal programmed manner, causing motion, movement, flashing or any similar effects, shall have a default mechanism freezing said sign if any such malfunction occurs.

EXECUTIVE SUMMARY

The applicant is seeking approval for two new freestanding ground signs. The applicant has annotated one of the two signs as the “proposed sign”, referring to the “spatula-shaped” sign on

Technical Report

ARCHITECTURAL REVIEW COMMITTEE


the northernmost location of the property, and the other sign as the “existing sign”, due to proposed sign to use the existing pylon pole from the ground sign from the previous commercial business. While the proposed signs meet the required setbacks and copy area, the two proposed signs do not meet the design standards stated in Chapter 9, Article IV, Sec 9-103. Only the “existing sign” has the required decorative cap/crown and both signs lack the required decorative buttress. The applicant claims that the design for the “spatula-shaped” sign is a distinctive trade dress and central to the company’s national identity stating, “corporate design specifications require uniformity across all markets.” While there is not another “Cook Out” restaurant in Gulfport, MS city limits to use as reference, staff did research other ground signs at locations in other “Cook Out” restaurants in other cities across the state and found that other locations for this brand resemble the southernmost sign, referred to as the “existing sign”, with none resembling the proposed spatula-shaped sign. The applicant claims as well that the signs are designed to be consistent with the area along the commercial corridor. Upon staff review of the signs in the surrounding area, a vast majority of these signs existed prior to the creation of this board or consist of signs following the corporate design standards for their respective brands overall. Such examples of signs following corporate designs are Sonic, Whataburger, McDonalds, Wendys, Domino’s, and Take 5 Oil Change. While each of these signs existed prior to the implementation of this board, should they have sought approval from this board after its implementation, they would have also needed to seek deviation from the design standards for the decorative cap/crown and the decorative buttress. While the ordinance does not state landscaping requirements for signage, the applicant has illustrated a landscaping plan alongside the elevations for the two proposed signs. Regarding the L.E.D. sign on the spatula-shaped sign, while ordinance does allow for such signs they will be required to adhere to the provisions stated in Chapter 9, Article IV, Sec 9-93. A sign affidavit listing these conditions must be signed and notarized prior to the issuance of any sign permit for any L.E.D. or digital sign.

DEPARTMENTAL CONDITIONS

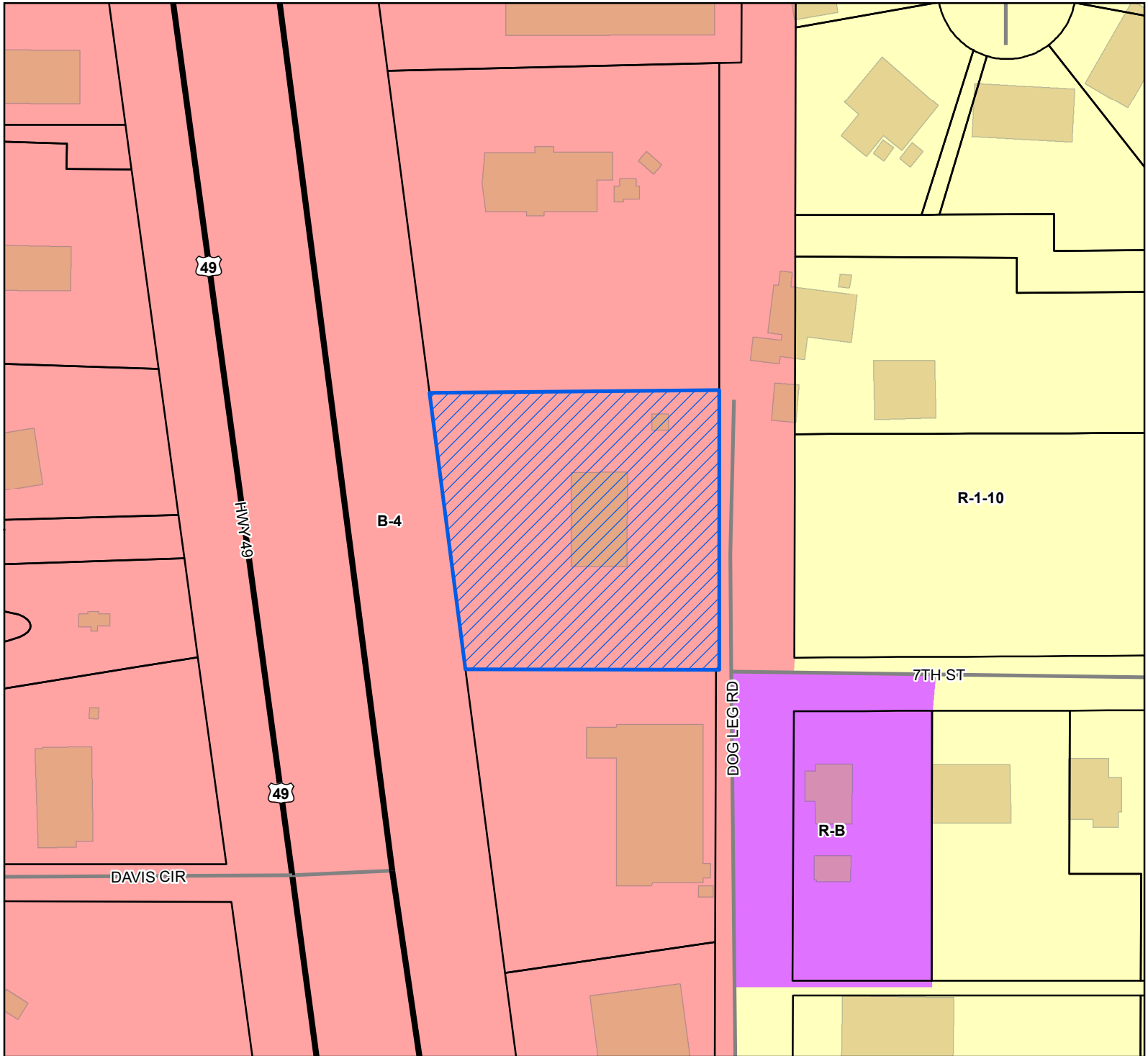
1. A waiver from the Architectural Review Committee is required to approve the sign design as proposed. Or;
2. Amendment to the proposed sign design will bring the sign into compliance.









DIRECTOR APPROVAL

This report has been reviewed and approved by:

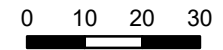


Greg Holmes
Director of Urban Development Department



-  Site
 -  US or State Highway
 -  Street
 -  Parcels
 -  Buildings
- Zoning**
-  B-4 - Highway Business District
 -  R-1-10 - Single Family Residence (Low Density)
 -  R-B - Residence-Business District

Site Information
 0808L-01-043.001
 Zoning: B-4 (Highway Business)
 Size: 39567.16 sqft
 Flood: X



1 inch = 100 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

OWNER:

Cook Out-Gulfport, Inc., successor by name change to Cook Out-Jackson State, Inc.

Printed Name of Owner

15 Laura Lane, Suite 300

Mailing Address

Thomasville NC 27360

City

State

Zip Code

Signature:

Jeremy A. Reaves, President

AGENT:

Worth Hunter

Printed Name of Agent

1465 Ladonia Church Rd

Mailing Address

Mt. Airy NC 27030

City

State

Zip Code

Signature:

Name of Owner (PRINT) Cook Out-Gulfport, Inc.

Address (Street, City, State, Zip Code) 15 Laura Lane, Suite 300, Thomasville, NC 27360

Phone (Home) _____ **(Work)** _____ **(Cell)** 336-215-7025

Tax Parcel Number(s) Owned: 08081-01-043.001

Signature:

Jeremy A. Reaves, President

Name of Owner (PRINT) Cook Out-Gulfport, Inc.

Address (Street, City, State, Zip Code) 15 Laura Lane, Suite 300, Thomasville, NC 27360

Phone (Home) _____ **(Work)** _____ **(Cell)** _____

Tax Parcel Number(s) Owned: 08081-01-043.001

Signature:

Morris G. Reaves, Corporate Secretary

OWNER:

Cook Out-Gulfport, Inc., successor by name change to Cook Out-Jackson State, Inc.

Printed Name of Owner

15 Laura Lane, Suite 300

Mailing Address

Thomasville NC 27360

City

State

Zip Code

Signature:

Jeremy A. Reaves
Jeremy A. Reaves, President

AGENT:

Melissa Golding

Printed Name of Agent

1465 Ladonia Church Rd

Mailing Address

Mt. Airy NC 27030

City

State

Zip Code

Signature:

Melissa Golding

Name of Owner (PRINT) Cook Out-Gulfport, Inc.

Address (Street, City, State, Zip Code) 15 Laura Lane, Suite 300, Thomasville, NC 27360

Phone (Home) _____ **(Work)** _____ **(Cell)** 336-215-7025

Tax Parcel Number(s) Owned: 08081-01-043.001

Signature:

Jeremy A. Reaves
Jeremy A. Reaves, President

Name of Owner (PRINT) Cook Out-Gulfport, Inc.

Address (Street, City, State, Zip Code) 15 Laura Lane, Suite 300, Thomasville, NC 27360

Phone (Home) _____ **(Work)** _____ **(Cell)** _____

Tax Parcel Number(s) Owned: 08081-01-043.001

Signature:

Morris G. Reaves
Morris G. Reaves, Corporate Secretary



Designation of Agent

Jeremy A. Reaves, President of ^{*successor by name change to Cook Out-Jackson State, Inc.}
I, Cook Out-Gulfport, Inc.*, being property owner of 11464 US 49, Gulfport, MS
which is the subject of this application hereby authorize Worth Hunter to act as my
representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning
Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this
petition. This designation authorizes my agent to make verbal or written representations and/or
declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or
declarations relating to this petition.

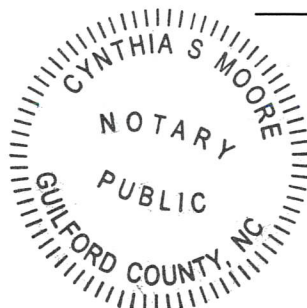
The petitioner understands and acknowledges that the City will rely upon the agent's representations in
approval or denial of said petition.

[Signature] February 16, 2026
Signature Jeremy A. Reaves, President Da

NORTH CAROLINA GUILFORD
STATE OF ~~MISSISSIPPI~~ | COUNTY OF ~~HARRISON~~

Given under my hand and seal of office this the 16 day of February, 2026

[Signature] 11-1-27
Notary Public Commission Expiration





Designation of Agent

Jeremy A. Reaves, President of ^{*successor by name change to Cook Out-Jackson State, Inc.}
Cook Out-Gulfport, Inc.*, being property owner of 11464 US 49, Gulfport, MS
which is the subject of this application hereby authorize Melissa Golding to act as my
representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning
Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this
petition. This designation authorizes my agent to make verbal or written representations and/or
declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or
declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in
approval or denial of said petition.

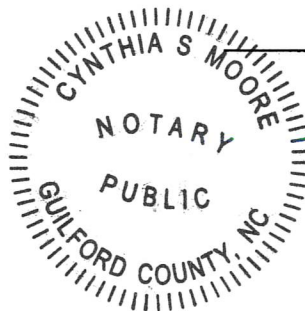
[Signature]
Signature Jeremy A. Reaves, President

February 16, 2026
Date

NORTH CAROLINA GUILFORD
STATE OF ~~MISSISSIPPI~~ | COUNTY OF ~~HARRISON~~

Given under my hand and seal of office this the 16 day of February, 2026

[Signature]
Notary Public



11-1-27
Commission Expiration



Covenant Affidavit

I, Worth Hunter, being owner or agent of the property 11464 US 49
PRINT NAME PRIMARY ADDRESS OR PARCEL

which is the subject of this application, hereby state that this request is not in violation of any restrictive or protective covenants.

[Handwritten Signature]
Signature

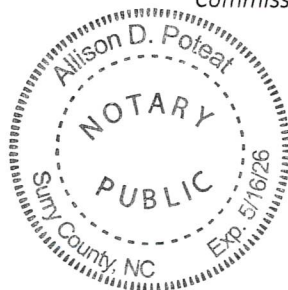
2/23/26
Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 23 day of February, 2026

Allison D. Potrat
Notary Public

5/16/26
Commission Expiration





Covenant Affidavit

I, Melissa Golding, being owner or agent of the property 11464 US 49
PRINT NAME PRIMARY ADDRESS OR PARCEL

which is the subject of this application, hereby state that this request is not in violation of any restrictive or protective covenants.

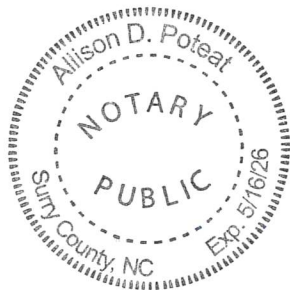
Melissa Golding _____ 2/23/26 _____
Signature Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 23 day of February, 2026

Allison D. Poteat
Notary Public

5/16/26
Commission Expiration



Worth Hunter

M&M Signs and Awnings, Inc.
Sign Contractor for Cookout
11464 Highway 49
Gulfport, MS 39503
336-341-0753

02/26/2026

Planning and Development Department
City of Gulfport
P.O. Box 1780
Gulfport, MS 39502

RE: Formal Hardship Request – Decorative Cap and Buttress Requirement
Cookout Pylon Sign – 11464 Highway 49, Gulfport, MS 39503

To Whom It May Concern:

This letter serves as a formal request for a hardship variance from the requirement to install a decorative cap and base on the existing spatula-shaped Cookout pylon sign located at the above-referenced property in Gulfport, Mississippi.

1. Unique Design and Brand Standard Requirement

The existing sign is a proprietary, architecturally integrated brand-standard design utilized across Cookout locations. The spatula-shaped pylon is a distinctive trade dress element and central to the company's national identity. Corporate design specifications require uniformity in appearance across all markets.

The addition of a decorative cap and buttress would materially alter the structural silhouette and aesthetic character of the sign, rendering it inconsistent with mandated brand standards. Because this design is fabricated as a single integrated structure—not a conventional pole sign—the required modification would conflict with the sign's intended architectural form.

2. Structural and Engineering Constraints

The sign was engineered and designed as a complete, sealed structural system. Retrofitting a decorative cap and buttress would require:

- Structural re-engineering and load recalculations
- Modification of the existing steel support system
- Additional foundation alterations

Such changes may compromise the sign's structural integrity and void manufacturer warranties. The spatula-shaped configuration does not accommodate a traditional cap-and-buttress assembly without substantial redesign.

3. Economic Hardship

The financial burden associated with retrofitting the sign constitutes a substantial and disproportionate economic hardship. The sign was designed, approved, engineered based on its existing design. Re-engineering and reconstruction would impose significant unbudgeted costs, including:

- Engineering redesign fees
- Fabrication of custom decorative components
- Potential downtime and operational disruption

These costs are not minor aesthetic upgrades but would require redesign of the proposed structure. The hardship is not self-created but arises from the unique, custom-branded nature of the sign and its incompatibility with standard pole sign requirements.

4. Spirit and Intent of the Ordinance

The purpose of decorative cap and buttress requirements is generally to enhance visual appearance and prevent exposed, unfinished pole structures. The existing spatula-shaped Cookout sign is already a fully enclosed, architecturally finished design. It does not present the visual concerns typically addressed by cap-and-buttress provisions. Strict application of this requirement in this case does not advance the ordinance's underlying aesthetic goals and would instead impose an unnecessary burden without corresponding public benefit.

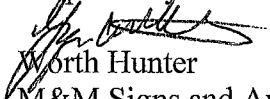
5. Consistency with Surrounding Area

The sign is appropriately scaled, professionally designed, and compatible with the surrounding commercial corridor. It enhances rather than detracts from the visual environment and maintains high-quality construction standards.

For the reasons outlined above, unique structural design, corporate brand standard requirements, significant economic hardship, and consistency with the spirit and intent of the zoning ordinance respectfully request approval to maintain the Cookout pylon sign as designed, without the addition of a decorative cap and buttress.

We appreciate your careful consideration of this request and are prepared to provide engineering documentation, cost estimates, or any additional materials needed to assist in your review.

Respectfully submitted,



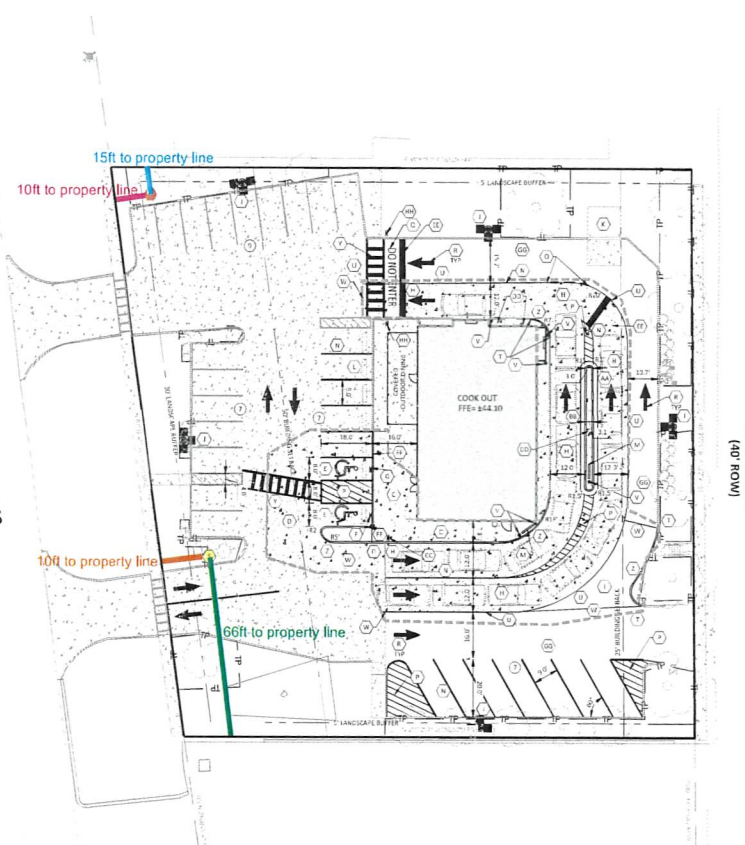
Worth Hunter

M&M Signs and Awnings, Inc.

Sign Contractor for Cookout

DEVELOPMENT NOTES

1. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL APPLICABLE PERMITS AND APPROVALS HAVE BEEN OBTAINED AND CONTRACTORS OR FABRICATORS OF ANY ITEM SHALL BE AWARE THAT THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTS FROM ALL PERTINENT AND OTHER REGULATORY AGENCIES. FAILURE OF THE CONTRACTOR TO FOLLOW THE PROCEEDURE SHALL CAUSE THE CONTRACTOR TO BE RESPONSIBLE FOR ANY VIOLATIONS OF ANY REGULATORY AGENCIES. THE WORK MANAGED BY ANY REGULATORY AGENCY SHALL BE RESPONSIBLE FOR CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY, AND LOCAL LAWS.
2. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF ADJACENT LOTS, UTILITIES, AND RIGHT OF WAY PUBLIC UTILITIES, PRIOR TO WORKING IN THESE AREAS.
3. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL REVIEW ALL LAND AND OFFICE RECORDS AND ANY OTHER DOCUMENTS THAT MAY BE REQUIRED BY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONDITIONS.
4. THE CONTRACTOR SHALL VERIFY LOCAL UTILITIES AND DEEP OR SHALLOW UNDERGROUND UTILITIES THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHEN SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING ALL NON-SUBSURFACE UTILITIES. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY SERVICE BY CALLING 811 AT LEAST 12 FULL WORKING DAYS PRIOR TO ANY DIGGING FOR UTILITIES AND LOCATING EXISTING UTILITIES.
5. SAFETY CONCERNS: IF THIS PLAN REQUIRES FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL UTILITIES, OBSTRUCTIONS, AND DIMENSIONS SHOWING EXISTING BEGINNING CONSTRUCTION.
6. ANY AND ALL CONDITIONS SHOWN OR IMPLIED ON THESE PLANS ARE FOR INFORMATION PURPOSES ONLY.
7. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL AND SPECIAL CONDITIONS CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR ALL SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL BE MAINTAINED TO ANY CONTINGENCY AND NOT BE LIMITED TO NORMAL PRACTICES. CONTRACTOR FURTHER AGREES TO MAINTAIN, PROTECT, AND HOLD THE OWNER AND ALL OTHER PROFESSIONAL PARTIES HARMLESS FROM AND AGAINST ALL LIABILITY, INCLUDING LIABILITY FROM THE SOLE NEGLIGENCE OF THE CONTRACTOR OR OTHER PROFESSIONALS.
8. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISCREPANCY.
9. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
10. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED OTHERWISE ON DRAWING.
11. ALL LOT STRIPES AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE SURFING AND SHALL CONFORM TO LOCAL REGULATIONS.
12. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE, AND LOCAL CODES.
13. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING FEATURES AND CONDITIONS.
14. CONTRACTOR SHALL COORDINATE EXACT SIZE OF CURB CONCRETE PAVEMENT WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
15. CONTRACTOR AND MAINTENANCE OF PRIVATE PROPERTY BY CONTRACTOR OF THE SIDE UNDER RUI DRUGS AND PARKING AREAS SHALL BE ACCOMPANIED BY A SIGNAGE PROJECTOR SIGN AREA TO BE PROVIDED BY CONTRACTOR TO THE OWNER.
16. ALL UTILITIES TO SERVICE THE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
17. CONTRACTOR SHALL ENSURE THAT ALL ADJACENT SITE UTILITIES ARE PROTECTED PER OWNER'S SPECIFICATIONS.
18. GENERAL CONTRACTOR SHALL DIRECT AND MAINTAIN A SITE IDENTIFICATION SIGN PER OWNER'S SPECIFICATIONS. CONTRACTOR SHALL MAINTAIN SIGN WITH US THROUGHOUT CONSTRUCTION.
19. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT IT WILL REMAIN ACCESSIBLE TO THE PUBLIC. ALL UTILITIES TO SERVICE THE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
20. ACCESS TO UTILITIES, THE POWER, STREET LIGHTING, ETC., SHALL REMAIN UNOBTAINED, UNLESS COORDINATED WITH THE UTILITY PROVIDER.
21. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING TREES AND MATERIAL INSIDE OR OUTSIDE OF THE LOT AND TO ALL "UNOBTAINED OPERATIONS".
22. ALL STREET SURFACES, DRIVEWAYS, CURBS AND GUTTERS, ROADSIDE DRAINAGE, UTILITIES, AND OTHER UTILITIES SHALL BE PROTECTED AND MAINTAINED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
23. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
24. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
25. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE REGULATION CONTRACTOR FOR BRIDGE TOWNSHIP 501 FOR THE BRIDGE TOWNSHIP.
26. ALL DISTURBED AREAS SHALL BE TEMPORARILY COVERED AND MAINTAINED. ALL AREAS THAT ARE TO BE MAINTAINED SHALL BE MAINTAINED BY THE CONTRACTOR AND MAINTAINED WITHIN SIX (6) MONTHS.
27. ALL EXISTING TEMPORARY AND PERMANENT TO BE MAINTAINED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
28. THE CONTRACTOR SHALL MAINTAIN ALL "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PERMITS FROM THE CONTRACTOR. SHALL MAINTAIN THE SIGNAGE THROUGH COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
29. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST DAILY AFTER BEGINNING CONSTRUCTION.



LEGEND

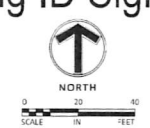
PROPOSED	EXISTING	BOUNDARY LINE	CONCRETE CURB	CONCRETE PAVING
--- (dashed)	--- (solid)	CONCRETE CURB	--- (dashed)	CONCRETE SIDEWALK
--- (dotted)	--- (solid)	EASEMENT LINE	--- (dashed)	SPILL CURB
--- (dash-dot)	--- (solid)	BUILDING LINE	--- (dashed)	LIGHT POLE
--- (long-dash)	--- (solid)	RETAINING WALL	--- (dashed)	ACCESSIBLE PARKING
--- (short-dash)	--- (solid)	WETLAND	--- (dashed)	
--- (dash-dot-dot)	--- (solid)	TREE LINE	--- (dashed)	
--- (dash-dot-dot-dot)	--- (solid)	SAW CUT LINE	--- (dashed)	
--- (dash-dot-dot-dot-dot)	--- (solid)	SIGN	--- (dashed)	
--- (dash-dot-dot-dot-dot-dot)	--- (solid)	BOLLARD	--- (dashed)	
--- (dash-dot-dot-dot-dot-dot-dot)	--- (solid)	PARKING STALL COUNT	--- (dashed)	

KEY NOTE

1. CONSTRUCT 2.0 STANDARD CONCRETE CURB AND GUTTER PER DETAIL SHEET
2. CONSTRUCT 2.0 STANDARD CONCRETE CURB AND GUTTER PER DETAIL SHEET
3. CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
4. CONSTRUCT PAVEMENT PER DETAIL SHEET
5. ACCESSIBLE PARKING STALL
6. INSTALL ACCESSIBLE PARKING SIGN AND BOLLARD PER DETAIL SHEET
7. INSTALL VAW ACCESSIBLE HANDICAP PARKING SIGN AND BOLLARD PER DETAIL SHEET
8. CONCRETE PAVEMENT PER DETAIL SHEET. CONCRETE CURB BACK WITH OWNER
9. ASPHALT PAVEMENT PER DETAIL SHEET
10. INSTALL 12" DIA. 10' HIGH CONCRETE BOLLARD PER DETAIL SHEET
11. CONSTRUCT 2.0 STANDARD CONCRETE CURB AND GUTTER PER DETAIL SHEET
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99. CONSTRUCT 2.0 STANDARD CONCRETE CURB AND GUTTER PER DETAIL SHEET
100. CONSTRUCT 2.0 STANDARD CONCRETE CURB AND GUTTER PER DETAIL SHEET

Proposed ID Sign Location

Existing ID Sign Location



24 HOUR CONTACT
BRODIE KEY
CONSTRUCTION MANAGER
TELEPHONE: (336) 250-2110

THE SURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY GENERAL LEVEL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING ALL NON-SUBSURFACE UTILITIES. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY SERVICE BY CALLING 811 AT LEAST 12 FULL WORKING DAYS PRIOR TO ANY DIGGING FOR UTILITIES AND LOCATING EXISTING UTILITIES.

NO.	DATE	BY	CHKD	APPR	COMMENT



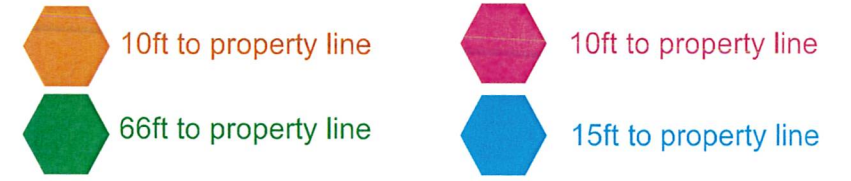
PREPARED BY
XX/XX/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY
JR
DESIGNED BY
JR
CHECKED BY
MH
PROJECT NO.
DUT 2504



SITE PLAN
COOK OUT RESTAURANT
 11464 HIGHWAY 49
 GULFPORT, MISSISSIPPI

SHEET
C-3.01

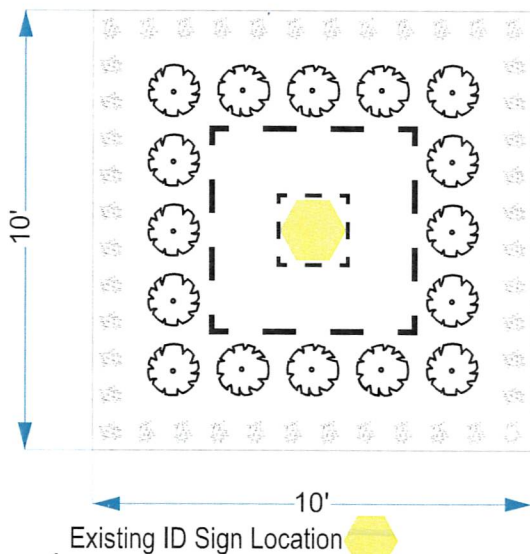


400 sqft allowance for both ID Signs

**TOTAL
Sqft
36'**

Using existing ID pole, adding new sign cabinet, to replace previous cabinet that was destroyed. Not to exceed original square footage.

Landscape Plan

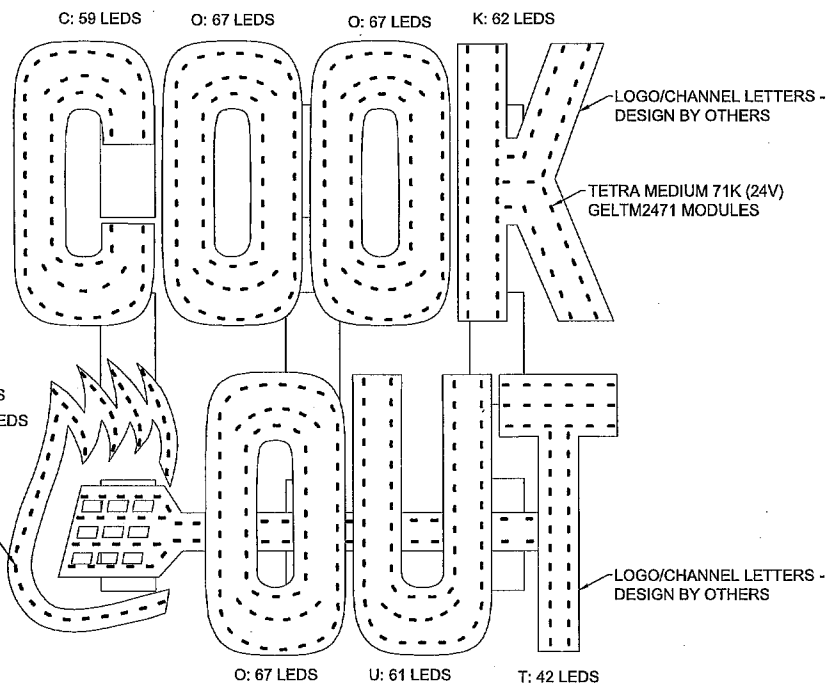


Option 1



Details:	Channel letters on black ID sign and gold reveals. Channel letters to have white faces, returns, and trim cap. Flame to have red faces returns and trim cap. Spatula to have white return, and trim cap with 3M metallic gold 3630-131 vinyl applied to face.					PMS 872	WHT			
						PMS 186C				
Location:	Gulfport, MS	Drawn By:	T. Reynolds	Date:	02/27/2026	WO #:	N/A	Rev:	0	





LED BREAKDOWN		
MAX 71K (24V) SMALL	MODULES	24V P/S
C	59	P/S 1
O	67	P/S 2
O	67	P/S 3
K	62	P/S 4
O	67	P/S 5
U	61	P/S 6
T	42	
SPATULA	40	P/S 5
MAX RED (24V) SMALL	MODULES	
FLAME	42	P/S 1

REPEAT LED LAYOUT ON
OPPOSITE SIDE.

FLAME: 42 Leds
SPATULA: 40 Leds

TETRA GEMX24RD-W1S
MAX RED SMALL MODULES

LOGO/CHANNEL LETTERS -
DESIGN BY OTHERS

TOTAL LED'S: 1014 MODULES REQUIRED
MOD'S: (930) TETRA MEDIUM 71K (24V) GELTM2471-1 (SKU:# 93146573)
(84) TETRA GEMX24RD-W1S MAX RED SMALL MODULES (SKU#: 93311812)
POWER SUPPLY: (12) GE CURRENT 24V - (SKU: # 93137579)
TOTAL LOAD: 13.2A
CIRCUITS: (2) 20 AMP REQUIRED

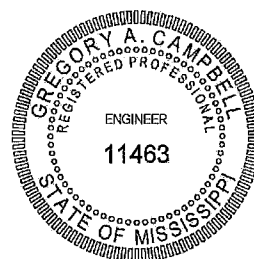
NOTE: NEC ARTICLE 600. SIGN
SHALL BE PROPERLY GROUNDED
TO MEET 2017 NEC 607.(A)(1).
SIGN SHALL BE PROPERLY
BONDED TO MEET NEC TO MEET
THE REQUIRE NEC 607.(B)(1)

LED LAYOUT

(12) LED POWER SUPPLY @ 1.1
AMPS EACH = 13.2 AMPS ONE
20 AMP CIRCUIT
(2) ELECTRONIC MESSAGE CENTERS
@ 7.54 AMPS EACH = 15.1 AMPS
ONE 20 AMP CIRCUIT
TWO 20 AMP CIRCUITS TOTAL

This item has been electronically signed and sealed by Gregory A. Campbell, P.E., using a Digital Signature.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

NOTE: All designs created on this drawing are the sole property of Gregory A. Campbell, P.E., developed specifically for this project. Use of these designs for any purpose other than the intended application without written consent of Gregory A. Campbell, P.E., is prohibited. Disclosure of the information presented herein, without Owner's consent, is a violation of intellectual property and will not be tolerated.



Gregory A
Campbell
2026.02.27
09:16:23
-05'00'

COOKOUT
11464 US 49
GULFPORT, MS 39503

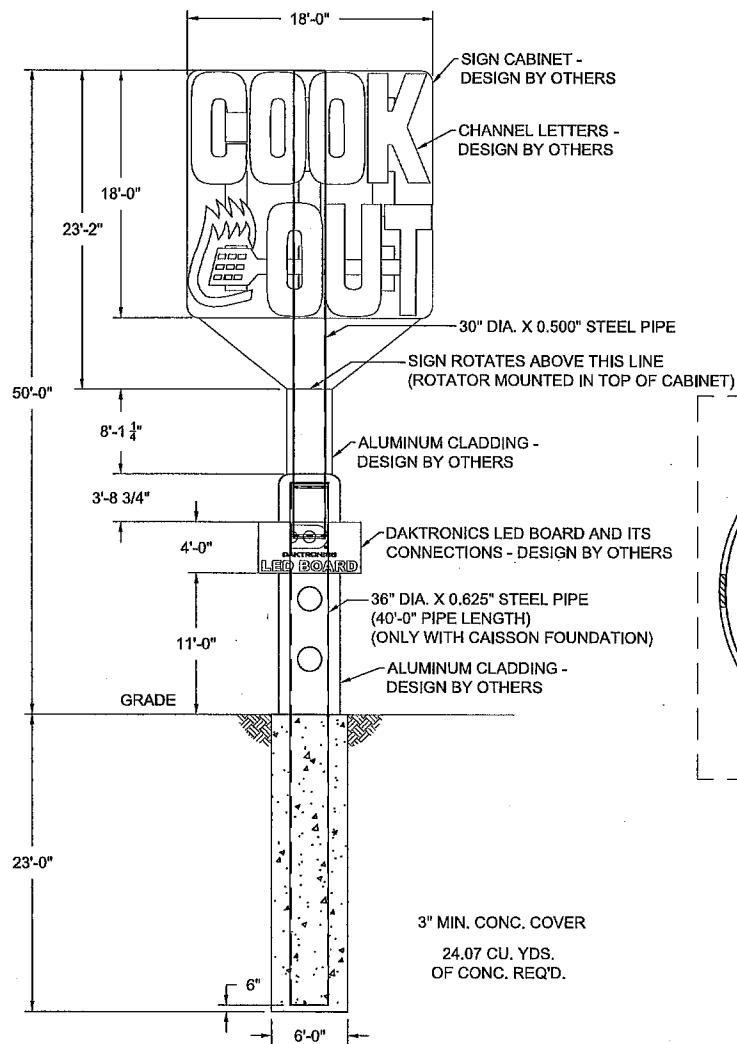
CLIENT:



M&M SIGN & AWNING, INC.
1465 LADONIA CHURCH RD.
MT. AIRY, NC 27030
800-526-5391

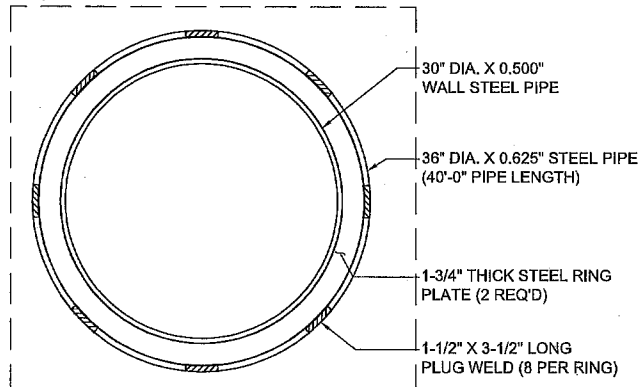
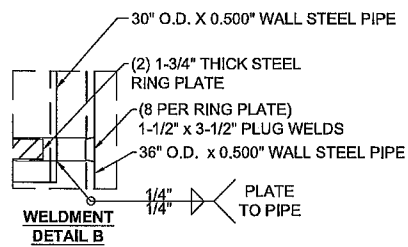
GREGORY A. CAMPBELL, P.E.
4713 OLD NILES FERRY ROAD
MARYVILLE TN, 37801
865-437-0564

SHEET	BY	PROJECT NO.
3	RDG	26-0009
OF	DATE	DRAWING NO.
4	02/26/2026	B141111A



**ELEVATION
CAISSON
FOUNDATION**

3" MIN. CONC. COVER
24.07 CU. YDS.
OF CONC. REQ'D.

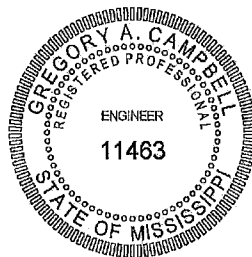


SECTION B-B

This item has been electronically signed and sealed by Gregory A. Campbell, P.E., using a Digital Signature.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

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**Gregory A
Campbell**
2026.02.27
09:15:57
-05'00'

COOKOUT
11464 US 49
GULFPORT, MS 39503

CLIENT:



M&M SIGN & AWNING, INC.
1465 LADONIA CHURCH RD.
MT. AIRY, NC 27030
800-526-5391

GREGORY A. CAMPBELL, P.E.
4713 OLD MILES FERRY ROAD
MARYVILLE TN, 37801
865-437-0564

SHEET	BY	PROJECT NO.
2	RDG	26-0009
OF	DATE	DRAWING NO.
4	02/26/2026	B141111A

February 25, 2026

PROJECT # 26-0015
DRAWING # B141111
WIND SPEED 160 MPH
WIND LOAD 55.2 PSF
BUILDING CODE IBC 2018

OWNER: COOK OUT
11464 US 49
GULFPORT, MS 39503
CLIENT: M&M SIGNS & AWNINGS INC.
1465 LADONIA CHURCH RD
MT. AIRY, NC 27030

REINFORCING STEEL

FOR FLEXURE	REBAR SIZE	AREA PER BAR	WTF/FT	AREA REQ'D/FT	NUMBER REQ'D	LENGTH	WEIGHT	EDGE DIST
BOTTOM STEEL REQ'D PER FOOT OF WIDTH	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
TOP STEEL REQ'D PER FOOT OF WIDTH	9	1.00	3.400	0.857	20	23.500	1598.0	5.5
OVERTURN BOTTOM STEEL								
REBAR SIZE	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
AREA PER BAR	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
WTF/FT	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
AREA REQ'D/FT	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
NUMBER REQ'D	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
LENGTH	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
WEIGHT	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
EDGE DIST	9	1.00	3.400	1.608	20	23.500	1598.0	5.5
OVERTURN TOP STEEL								
REBAR SIZE	8	0.79	2.670	0.857	14	11.500	878.5	7
AREA PER BAR	8	0.79	2.670	0.857	14	11.500	878.5	7
WTF/FT	8	0.79	2.670	0.857	14	11.500	878.5	7
AREA REQ'D/FT	8	0.79	2.670	0.857	14	11.500	878.5	7
NUMBER REQ'D	8	0.79	2.670	0.857	14	11.500	878.5	7
LENGTH	8	0.79	2.670	0.857	14	11.500	878.5	7
WEIGHT	8	0.79	2.670	0.857	14	11.500	878.5	7
EDGE DIST	8	0.79	2.670	0.857	14	11.500	878.5	7
TRANSVERSE STEEL								
REBAR SIZE	7	0.60	2.014	0.916	18	11.500	878.5	7
AREA PER BAR	7	0.60	2.014	0.916	18	11.500	878.5	7
WTF/FT	7	0.60	2.014	0.916	18	11.500	878.5	7
AREA REQ'D/FT	7	0.60	2.014	0.916	18	11.500	878.5	7
NUMBER REQ'D	7	0.60	2.014	0.916	18	11.500	878.5	7
LENGTH	7	0.60	2.014	0.916	18	11.500	878.5	7
WEIGHT	7	0.60	2.014	0.916	18	11.500	878.5	7
EDGE DIST	7	0.60	2.014	0.916	18	11.500	878.5	7
TOTAL WEIGHT								
							3323.0	LB

COLUMN CALCULATIONS

T = TUBE; P = PIPE; W = WIDE-FLANGE; O = OTHER

Description	Height (FT)	Width (FT)	Shape Factor	CF Adjust.	Centroid (FT)	Area (SF)	Wind Force (K)	Moment (K-FT)	Adjusted Centroid (FT)	NOMINAL			
										DESIGN MOMENT (K-FT)	FLEXURAL STRENGTH (K-FT)	UNITY	
SIGN	24.662	19.167	0.897	1.000	13.488	424.124	23.412	315.788	14.722	435.167	344.656	745.421	0.470
COLUMN/CLAD	6.603	3.548	1.000	1.000	3.302	23.430	24.705	474.648	20.776	435.167	513.269	745.421	0.697
COLUMN/CLAD	3.730	4.800	0.787	1.000	1.471	14.098	25.483	567.940	24.037	435.167	612.529	745.421	0.831
LED BOARD	4.000	8.000	1.000	1.000	2.000	32.000	27.250	673.406	25.662	435.167	726.536	1350.802	0.542
COLUMN/CLAD	11.005	4.817	1.000	1.000	5.503	53.017	30.176	989.398	35.287	435.167	1064.839	1350.802	0.794
OVERALL HEIGHT	50.000												

FOUNDATION CALCULATIONS

SPREAD FOUNDATION

MOMENT AT GRADE	1064.842	K-FT
SHEAR AT GRADE	30.176	K
DEAD LOAD	14.300	K
LENGTH	24.000	FT
WIDTH	12.000	FT
CONCRETE WEIGHT	171.072	K
TOTAL WEIGHT	185.372	K
OVERTURNING MOMENT	1215.723	K-FT
FACTOR OF SAFETY	1.830	
e=OTM/WT	6.558	FT
1/2-e	5.442	FT
SOIL PRESSURE = 2*WT/(3*(1/2-e))*WIDTH	1893	PSF
CONCRETE REQUIRED	53.333	YD ³

CAISSON FOUNDATION

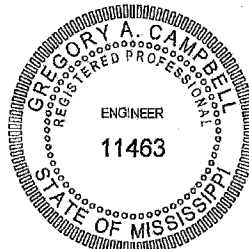
MOMENT AT GRADE	1064.842	K-FT
SHEAR AT GRADE	30.176	K
REFERENCE IBC 1807.3.2 & TABLE 1806.2		
ASSUME SOIL CLASS #4 - SW, SP, SM, SC, GM, & GC		
LATERAL BEARING PRESSURE - PSF/FT OF DEPTH	150.000	PSF/FT
S1	1500.000	
DEPTH	23.000	FT
DIAMETER	6.000	FT
h	35.288	FT
A	7.945	
CALCULATED DEPTH	21.732	FT
CONCRETE REQUIRED	24.026	YD ³

Notes:

- Design Criteria:
Building Code: MSBC/IBC 2018
Wind Speed: 115 MPH, Exposure C; Category II
- A was not provided for this site. The allowable bearing pressure should be verified prior to placement of concrete. In the event that the stated requirements are not met and conditions appear deleterious, cease and secure excavation and immediately contact THE CLIENT.
- Spread foundation is based on a presumptive safe vertical soil bearing pressure minimum of 2000 psf. Caisson foundation is based on a presumptive safe lateral soil bearing pressure minimum of 150 psf per foot of depth. Isolated lateral bearing footings subject to short-term lateral loads and not adversely affected by a 1/2" motion at grade are permitted to be designed using twice the tabulated value of the corresponding soil class.
- Foundation shall not be placed on, or at the top of a slope exceeding 3:1 without evaluation by a competent Professional Engineer. Do not place foundation in fill.
- Concrete shall be mixed to attain a minimum 28 day compressive strength of 3000 psi.
- All support members shall be free from defects. Steel tubes shall meet ASTM A500 Grade B with a minimum yield strength of 46000 psi. Steel pipe shall meet ASTM A53 Grade B with a minimum yield strength of 35000 psi. Steel angle, channel, and plate shall meet ASTM A36.
- Steel welds shall be made with E70XX electrodes by persons qualified in accordance with AWS standards within the past two years.
- Structural bolts shall meet ASTM A325 and be zinc coated unless noted otherwise. Heavy hex nuts shall meet ASTM A563 and washers shall meet ASTM F436 when used with high strength bolts. All high strength bolts shall be tightened using the Turn-of-Nut method unless noted otherwise.
- Existing site conditions depicted are as reported by THE CLIENT. Should field conditions differ from those shown on this drawing, cease work and contact THE CLIENT immediately for direction. The scope of this engineer does not include on-site observations.
- This engineer will not be responsible for safety on this jobsite before, during, or after the installation of this structure. It is the responsibility of the owners, contractors, and installers to ensure that the installation of this structure is completed using methods that fully comply with OSHA regulations.
- Any deviation from this drawing or from any part of this drawing without prior written consent of this engineer voids this drawing in its entirety.
- The structure depicted on this drawing is intended to be installed at the address shown and should not be used at any other location.

This item has been electronically signed and sealed by Gregory A. Campbell, P.E. using a Digital Signature.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

NOTE: All designs depicted on this drawing are the sole property of Gregory A. Campbell, P.E. developed specifically for this project. Use of these designs for any purpose other than the intended application without written consent of Gregory A. Campbell, P.E. is prohibited. Disclosure of this information presented herein, without Owner's consent, is a violation of intellectual property and will not be tolerated.



Gregory A
Campbell
2026.02.27
09:16:56
-05'00'

COOK OUT
11464 US 49
GULFPORT, MS 39503

CLIENT:



M&M SIGN & AWNINGS, INC.
1465 LADONIA CHURCH RD.
MT. AIRY, NC 27030
800-526-5391

GREGORY A. CAMPBELL, P.E.
4713 OLD NILES FERRY ROAD
MARYVILLE TN, 37801
865-437-0564

SHEET	BY	PROJECT NO.
4	RDG	26-0009
CP	DATE	DRAWING NO.
4	02/26/2026	B141111A



COOK OUT

Sign Package

11464 US 49

Gulfport, MS, 39503



1465 Ladonia Church Road
Mt. Airy, NC 27030
336-352-4300
www.mmsigns.com
mmsigns@surry.net

This and all artwork contained in this program is art and design created by M & M Signs and Awning, Inc. It is submitted for your personal use in conjunction with the project being planned for by M & M Signs and Awning, Inc. We retain all rights to the usage, reproduction, copies, and exhibition of this art and design in any fashion whatsoever. All or any part of this design (excluding registered trademarks) remains the property of M & M Signs and Awning, Inc.



Proposed ID Sign Location



Existing ID Sign Location



Proposed Directional Location

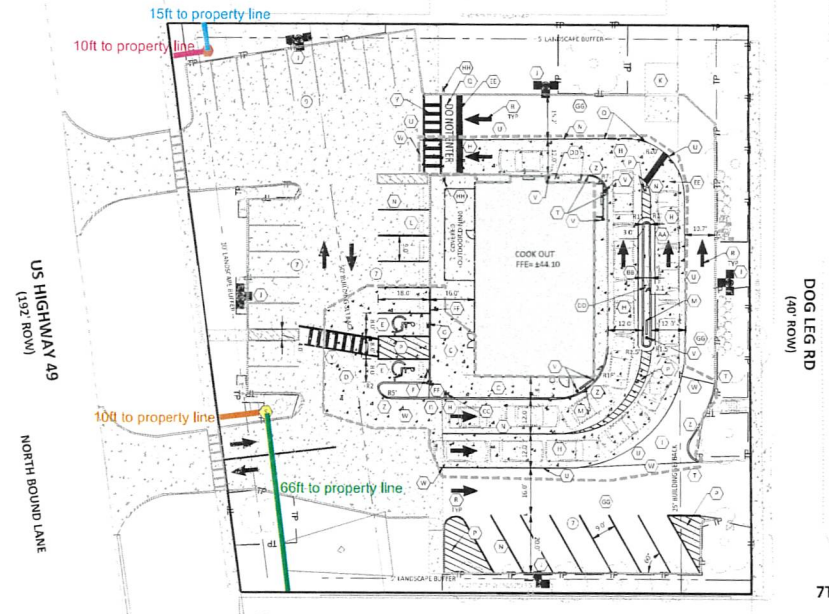
DEVELOPMENT NOTES


1. PLANS TO SHOW ALL CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SHOWN AND DIMENSIONS AND APPROVAL. SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SHOWN AND DIMENSIONS AND APPROVAL. SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SHOWN AND DIMENSIONS AND APPROVAL.
2. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF ADJACENT LOTS, UTILITIES AND RIGHT OF WAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY WORKS THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONDITIONS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS SHALL BE BASED ON THE AVAILABLE INFORMATION. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE KNOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL VERIFY AS NECESSARY ALL DIMENSIONS AND LOCATIONS OF ALL UNDERGROUND UTILITIES AS NECESSARY TO AVOID COLLISIONS WITH ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONTACT THE LOCAL GOVT. SERVICE BY CALLING 811 PRIOR TO ALL WORKING DAYS PRIOR TO ANY CONSTRUCTION ACTIVITIES IN LOCATIONS EXISTING UTILITIES.
4. ANY DISCREPANCY BETWEEN ARCHITECTURAL FIELD CONDITIONS SHALL BE SUBMITTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN ON EXISTING RECORDING CONSTRUCTION.
5. ANY AND ALL QUANTITIES SPECIFIED OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
6. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY TO ALL CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING AND CONSTRUCTION PRACTICES INCLUDING PROTECTIVE AND SAFETY MEASURES AND NEARBY PROFESSIONALS (ENGINEERS AND ALL OTHERS) SHALL BE HELD RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE ONE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
7. DO NOT SCALE THE DRAWINGS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
8. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
9. FINISH CURB AND WALK ELEVATIONS SHALL BE 4" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED OTHERWISE ON DRAWING.
10. ALL LOT STRIPS AND DRIVEWAYS ARE TO BE WHITE REFLECTIVE CURB AND SHALL CONFORM TO LOCAL REGULATIONS.
11. ALL HATCHING AND DIMENSIONAL ARROWS TO BE WHITE REFLECTIVE CURB AND SHALL CONFORM TO LOCAL REGULATIONS.
12. ALL HATCHING AND DIMENSIONAL ARROWS TO BE WHITE REFLECTIVE CURB AND SHALL CONFORM TO LOCAL REGULATIONS.
13. CONTRACTOR SHALL REFER TO THE ARCHITECT'S HATCHING FOR ALL DIMENSIONAL FEATURES AND DIMENSIONS.
14. CONTRACTOR SHALL COORDINATE EXACT SIZE OF ALL CONCRETE PADS WITH MECHANICAL CONTRACTOR REFER TO MECHANICAL PLANS FOR DETAILS.
15. CONSTRUCTION AND AN INTERFERENCE OF PROPER HORIZONTAL CONTACT OF THE LOCAL CURB AND DRIVEWAYS SHALL BE ACCOMPANIED BY ALL NECESSARY SIGNAGE AND DIMENSIONS SHALL BE PROTECTED FROM INJURY AND ADDING PROTECTIVE FROM DAMAGE.
16. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTS, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE UTILITY.
17. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES OR MATERIALS (UNDER OR OUTSIDE GROUND) CAUSED BY CONSTRUCTION OPERATIONS.
18. ALL STREET SURFACES, DRIVEWAYS, DRIVEWAYS, CURBS AND DRIVEWAYS SHALL BE PROTECTED FROM DAMAGE TO ANY EXISTING UTILITIES OR MATERIALS (UNDER OR OUTSIDE GROUND) CAUSED BY CONSTRUCTION OPERATIONS.
19. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMIT" BOUNDARY CLEAR AT ALL TIMES.
20. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL UTILITIES AND DIMENSIONS SHALL BE PROTECTED FROM INJURY AND ADDING PROTECTIVE FROM DAMAGE.
22. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 30 DAYS SHALL BE SEEDED AND MULCHED WITH 100 LB/1000 YD² OF SEED.
23. ALL SEEDING TEMPORARY AND PERMANENT, TO BE INSTALLED TO REGULATE AND MAINTAIN PRACTICES.
24. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PERMANENT CONSTRUCTION. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE "OWNER".
25. THE GENERAL CONTRACTOR SHALL KEEP ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.


LEGEND

PROPOSED	EXISTING	BOUNDARY LINE	CONCRETE CURB
---	---	---	---
---	---	EASEMENT LINE	CONCRETE SIDEWALK
---	---	RETAINING WALL	---
---	---	WETLAND	---
---	---	TREE LINE	---
---	---	SAW CUT LINE	---
---	---	SIGN	---
---	---	BOULDER	---
---	---	PARKING STALL COUNT	---
---	---	KEY NOTE	---

- KEY NOTES**
1. CONSTRUCT 2.0" x 2.0" x 4.0" CONCRETE SPILL CURB AND GUTTER PER DETAIL SHEET.
 2. CONSTRUCT 2.0" x 2.0" x 4.0" CONCRETE LATH AND CURB AND GUTTER PER DETAIL SHEET.
 3. CONSTRUCT CONCRETE SIDEWALK TOP DETAIL SHEET.
 4. CONSTRUCT PAVEMENT PER DETAIL SHEET.
 5. ACCESSIBLE PARKING STALL.
 6. INSTALL ACCESSIBLE PARKING SIGN AND BOULDER PER DETAIL SHEET.
 7. INSTALL "YIELD" SIGN PER DETAIL SHEET.
 8. CONSTRUCT "YIELD" SIGN PER DETAIL SHEET. COORDINATE CO. CURB AND WETLAND WITH OWNER.
 9. CONSTRUCT "YIELD" SIGN PER DETAIL SHEET. COORDINATE CO. CURB AND WETLAND WITH OWNER.
 10. CONSTRUCT "YIELD" SIGN PER DETAIL SHEET. COORDINATE CO. CURB AND WETLAND WITH OWNER.
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 50. CONSTRUCT "YIELD" SIGN PER DETAIL SHEET. COORDINATE CO. CURB AND WETLAND WITH OWNER.



Proposed ID Sign Location 

Existing ID Sign Location 




24 HOUR CONTACT
BRODIE KEY
CONSTRUCTION MANAGER
TELEPHONE: (336) 250-2110

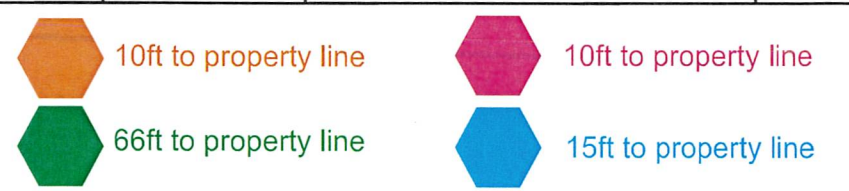
THESE PLANS AND DIMENSIONS SHOWN ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL UNDERGROUND UTILITIES AS NECESSARY TO AVOID COLLISIONS WITH ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONTACT THE LOCAL GOVT. SERVICE BY CALLING 811 PRIOR TO ALL WORKING DAYS PRIOR TO ANY CONSTRUCTION ACTIVITIES IN LOCATIONS EXISTING UTILITIES.

NO.	DATE	BY	CHKD	APPR	COMMENT



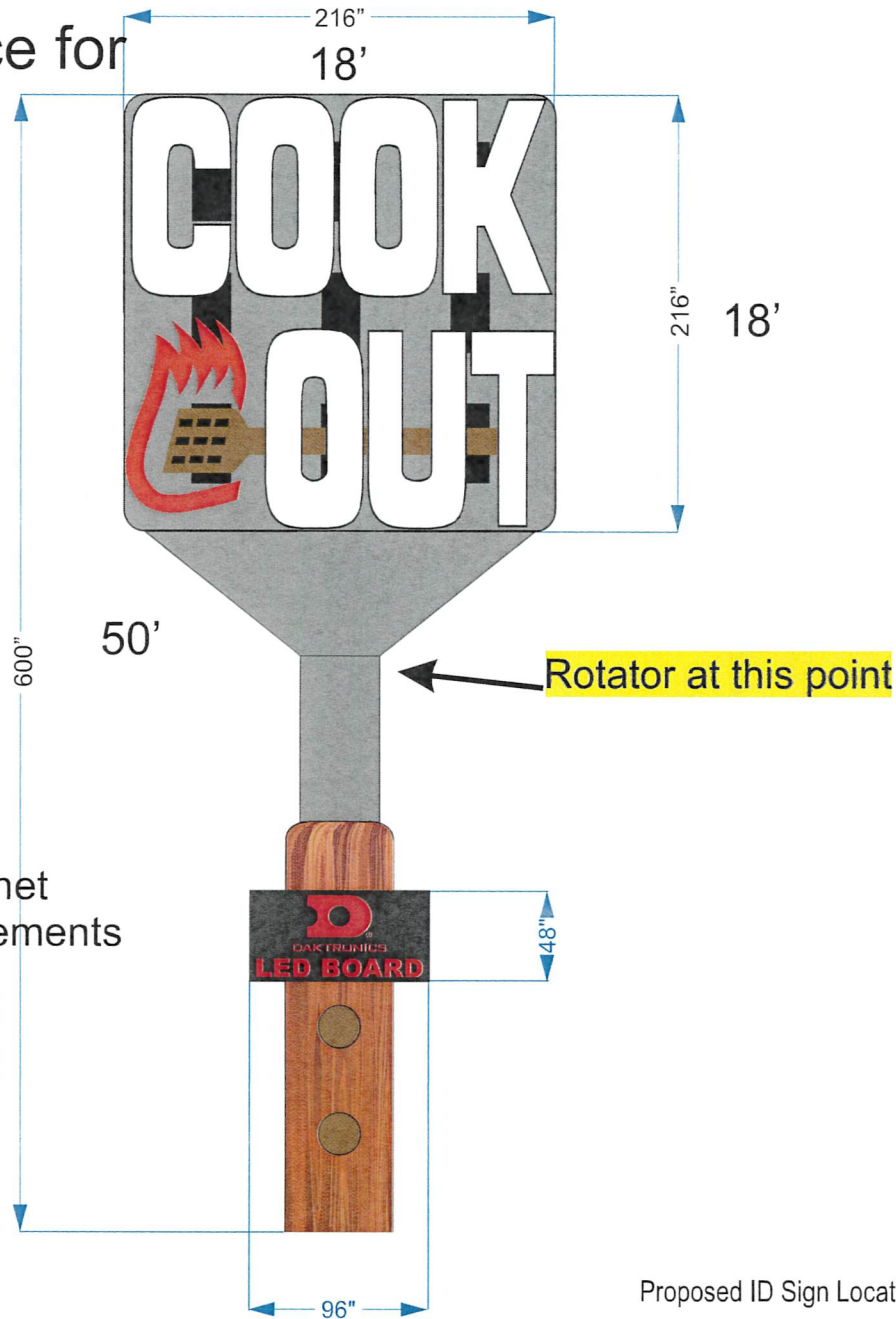
PREPARED BY NICK ZOSIS	DRAWN BY JW	 Sambatek www.sambatek.com Engineering Surveying Planning Environmental
DESIGN REVIEW	DESIGNED BY JR	
PERMIT SUBMITTAL	CHECKED BY MM	
CONSTRUCTION DOCUMENTS	PROJECT NO. OUT 2504	

SITE PLAN COOK OUT RESTAURANT 11464 HIGHWAY 49 GULFPORT, MISSISSIPPI	SHEET C-3.01
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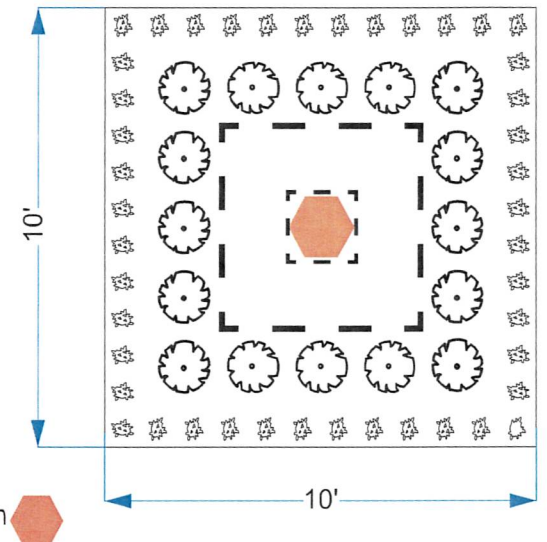
400 sqft allowance for both ID Signs

TOTAL Sqft 356'



EMC Daktronics Cabinet 4'x8' (cabinet measurements)

Landscape Plan



ID Sign 2 (Options)



Details:	Channel letters on ID sign and Daktronics LED message board. Channel letters to have white faces, returns, and trim cap. Flame to have red faces, returns, and trim cap. Spatula to have white return, and trim cap with 3M metallic gold 3630-131 vinyl applied to face.					PMS 872	WHT			
						PMS 186C				
Location:	Gulfport, MS	Drawn By:	T. Reynolds	Date:	02/10/2026	WO #:	N/A	Rev:	0	

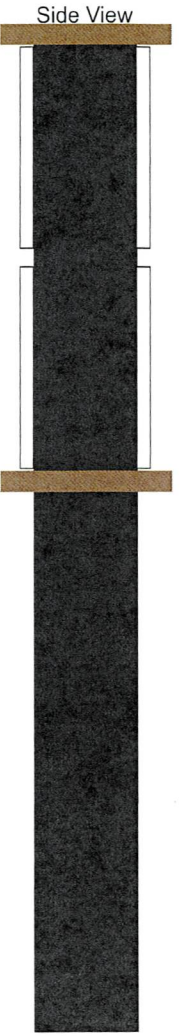
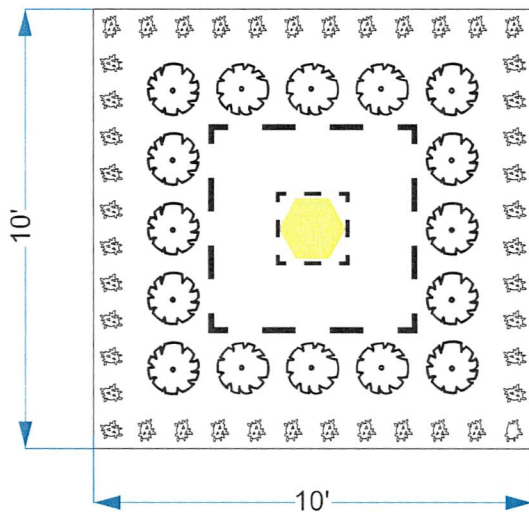


400 sqft allowance for both ID Signs

**TOTAL
Sqft
36'**

Using existing ID pole, adding new sign cabinet, to replace previous cabinet that was destroyed. Not to exceed original square footage.

Landscape Plan



aluminum siding

Option 1



Details:	Channel letters on black ID sign and gold reveals. Channel letters to have white faces, returns, and trim cap. Flame to have red faces returns and trim cap. Spatula to have white return, and trim cap with 3M metallic gold 3630-131 vinyl applied to face.					PMS 872	WHT			
						PMS 186C				
Location:	Gulfport, MS	Drawn By:	T. Reynolds	Date:	02/12/2026	WO #:	N/A	Rev:	0	





Pre-Screening Tool

Use this tool to pre-screen your structure to determine if your proposed construction or alteration project requires notice to FAA. Select structure type and enter the point information to run the Pre-Screening Tool.

Structure Type: Stationary/Fixed Crane

On Airport This structure is a frequency emitter

Latitude: 30 27 17.47 N Longitude: 89 06 00.306 W Datum: WGS 84 Height: 68 Site Elevation: 43

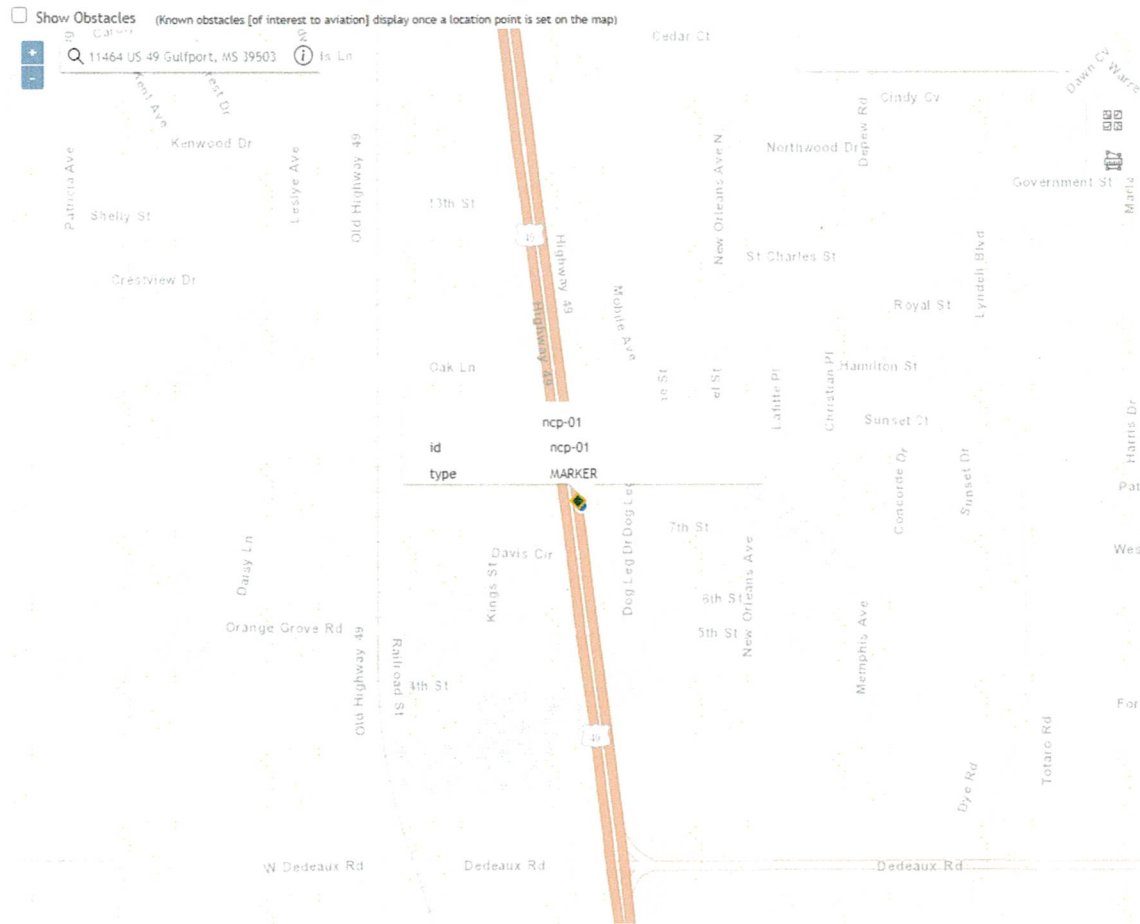
[Find Coordinates by Address](#)

Based on the information you provided, you are not required to file notice with the FAA.

Clear

Submit

Print





Michael Watson

SECRETARY OF STATE

This is not an official certificate of good standing.

Name History

Name	Name Type
Cook Out-Gulfport, Inc.	Legal
Cook Out-Jackson State, Inc.	Previous Legal

Business Information

Business Type:	Profit Corporation
Business ID:	1129783
Status:	Good Standing
Effective Date:	10/10/2017
State of Incorporation:	Mississippi
Principal Office Address:	15 Laura Ln Ste 300 Thomasville, NC 27360

Registered Agent

Name
C T CORPORATION SYSTEM
8927 Lorraine Rd. Suite 204-A
Gulfport , MS 39503

Officers & Directors

Name	Title
Jeremy A Reaves 15 Laura Lane, Suite 300 Thomasville, NC 27360	Incorporator
Jeremy Reaves 15 Laura Ln Ste 300 Thomasville, NC 27360	Director, President
Morris Reaves 15 Laura Ln Ste 300 Thomasville, NC 27360	Director, Secretary

F0012
Fee: \$ 50



Michael Watson
SECRETARY OF STATE

2024453646

Articles/Certificate of Amendment

Business Details

Business ID: 1129783

Business Name: Cook Out-Jackson State, Inc.

Current Business Name

Business Name: Cook Out-Jackson State, Inc.

Amended Business Name

Business Name: Cook Out-Gulfport, Inc.

Adoption and Approval Voting

The amendment(s) was(were) adopted on 10/01/2024.

- The Incorporators.
- The Directors without shareholder action and shareholder action was not required.
- The shareholders in the manner required by the Mississippi Business Corporation Act and the Articles of Incorporation.

NAICS Code/Nature of Business

722513 - Limited-Service Restaurants

Signature

By entering my name in the space provided, I certify that I am authorized to file this document on behalf of this entity, have examined the document and, to the best of my knowledge and belief, it is true, correct and complete as of this day **10/24/2024**.

Name:

Jeremy A Reaves
President

Address:

15 Laura Ln, Ste 300
Thomasville, NC 27360

Mailing Instructions

Please make the \$ 50 check for the filing fee payable to the MISSISSIPPI SECRETARY OF STATE. Mail the completed form with payment to SECRETARY OF STATE, PO BOX 136, JACKSON, MS 39205-0136. For assistance contact a customer service representative at (601) 359-1633 or visit our website at <http://sos.ms.gov>.

**MINUTES OF ACTIONS BY UNANIMOUS CONSENT OF
THE SHAREHOLDER AND DIRECTORS
OF
COOK OUT-JACKSON STATE, INC.
IN LIEU OF A MEETING**

The following actions are taken by unanimous consent of the Shareholder and Directors of COOK OUT-JACKSON STATE, INC, a Mississippi corporation (the "Corporation"), through this instrument effective on the 1st day of October, 2024, in lieu of a meeting pursuant to Sections 79-4-7.04 and 79-4-8.21 of the Mississippi Business Corporation Act:

1. The name of the Corporation is hereby changed to COOK OUT-GULFPORT, INC.
2. The Secretary is directed to insert the Amendment to Articles of Incorporation filed with the Office of the Secretary of State of Mississippi on October 24, 2024, into the Corporation's minute book.
3. The Secretary is directed to insert this instrument into the Corporation's minute book.

{remainder of page intentionally left blank}

The foregoing actions are approved by and consented to by the Shareholder and Directors of Cook Out-Jackson State, Inc. this the 1st day of October, 2024.

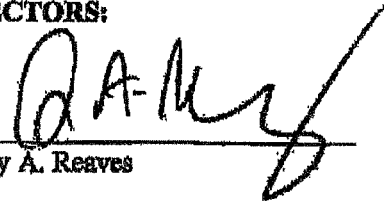
SHAREHOLDER:

HOLDINGS MS, INC.


By: _____

Name: Jeremy A. Reeves
Its: President

DIRECTORS:



Jeremy A. Reeves



Morris G. Reeves

Prepared by and after recording return to:

Jeff McCaskill, Esq
MS Bar No. 09040
Guardian Title, LLC
6080 Getwell Road, Ste. 300
Southaven, MS 38672
(662)262-1800



Lunker-Hunter 1st JUDICIAL DISTRICT
INSTRUMENT 2024-0014678-D-J1
FILED/RECORDED 8/2/2024 11:24:01 AM
TOTAL FEES \$26.00
3 PAGES RECORDED

File No.: 2400287-MS

Grantor(s):

Lunker, LLC, an Alabama limited liability company
P.O. Box 70276
Mobile, AL 36601
Work Phone No.: (251) 379-1420

Grantee(s):

Cook Out - Jackson State, Inc., a Mississippi
Corporation
15 Laura Lane, Ste. 300
Thomasville, NC 27360
Work Phone No.: (336) 431-1094

SPECIAL WARRANTY DEED

INDEXING INSTRUCTIONS: The Land referred to herein below is situated in the County of HARRISON, State of Mississippi, and is described as follows:

A parcel of land situated and being located in the Northwest Quarter of the Northwest Quarter (NW 1/4 of the NW 1/4) of Section 9, Township 7 South, Range 11 West, City of Gulfport, First Judicial District of Harrison County, Mississippi

**STATE OF MISSISSIPPI
COUNTY OF HARRISON**

For and in consideration of the sum of Ten Dollars (\$10.00) cash in hand paid and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the undersigned Grantor(s), Lunker, LLC, an Alabama limited liability company do hereby sell, convey and specially warrant unto Cook Out - Jackson State, Inc., a Mississippi Corporation, the following described property, together with the improvements, hereditaments and appurtenances thereunto belonging, located in the County of Harrison, State of Mississippi, and more particularly described as follows, to-wit:

The Land referred to herein below is situated in the County of HARRISON, State of Mississippi, and is described as follows:

A parcel of land situated and being located in the Northwest Quarter of the Northwest Quarter (NW 1/4 of the NW 1/4) of Section 9, Township 7 South, Range 11 West, City of Gulfport, First Judicial District of Harrison County, Mississippi, and being more particularly described as follows:

FOR THE POINT OF BEGINNING, commence at an iron rod situated on the West margin of Dogleg Road, said iron rod being located 649.90 feet Southerly from the North line of said Section 9; thence South 00 degrees 15 minutes 14 seconds West, a distance of 198.20 feet along the West margin of Dogleg Road to an iron pipe located at the Northeast (NE) corner of property now or formerly of Robert D. Morgan and Shirley W. Morgan; thence run North 89 degrees 11 minutes 22 seconds West 180.03 feet along the North line of said property now or formerly of Morgan, to the East right of way of U.S. Highway 49, said point being the Northwest (NW) corner of said property now or formerly of Morgan; thence North 06 degrees 54 minutes 24 seconds West, a distance of 200.00 feet along the East right of way of U.S. Highway 49; thence South 89 degrees 11 minutes 22 seconds East 204.99 feet to the said POINT OF BEGINNING.

Being the same property conveyed to Lunker, LLC, an Alabama limited liability company by First Bank and Trust in an instrument dated February 12, 2019 and recorded February 15, 2019 in Instrument 2019-889D-J1.

The Grantor herein warrants and covenants that the subject property constitutes no part of the Grantor homestead and that the property is not subject to the homestead interests of any person at this time.

Said lands are subject to rights of way and easements for public roads and for public utilities; to applicable building, zoning, subdivision and Health Department regulations; to the covenants, limitations and restrictions of record with the said recorded plat of said subdivision and to which reference is hereby made; to any matter which might be disclosed by a current, accurate survey and physical inspection of said lands.

Taxes for the year 2024 shall be prorated among the parties.

GRANTOR HEREIN does hereby covenant with the Grantees that it is lawfully seized in fee of the aforescribed real estate; that it has a good right to sell and convey the same; that same is unencumbered, except as stated hereinabove and that title and quiet possession thereto it will warrant and forever defend against the lawful claims of all persons claiming by, through, or under Grantor, but not further or otherwise.

Possession is given upon the delivery of this deed.

WITNESS THE SIGNATURES of the undersigned on this, the 31st day of July, 2024.

Lunker, LLC

BY: [Signature]
Jerome L. O'Brien, Jr.
Manager

BY: [Signature]
Jeffery M. LaCour
Manager

STATE OF Alabama
COUNTY OF Mobile

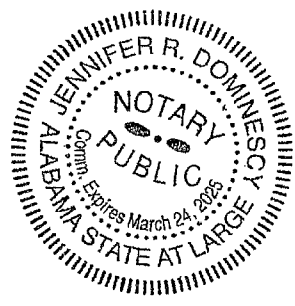
Personally appeared before me, the undersigned authority in and for the said county and state, on this 31st of July, 2024, within my jurisdiction, the within named Jerome L O'Brien, Jr., who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed in the above and foregoing instrument and acknowledged that he/she/they executed the same in his/her/their representative capacity(ies), and that by his/her/their signature(s) on the instrument, as as the act and deed of the person(s) or entity(ies) upon behalf of which he/she/they acted, executed the above and foregoing instrument, after first having been duly authorized so to do.

[Signature]
Notary Public

My Commission Expires: 3/24/2025

(SEAL)

STATE OF Alabama
COUNTY OF Mobile

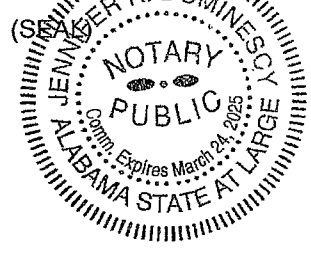


JML
JLW in. Jeffery M. LaCour
31st

Personally appeared before me, the undersigned authority in and for the said county and state, on this 31st of July, 2024, within my jurisdiction, the within named Jerome L O'Brien, Jr., who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed in the above and foregoing instrument and acknowledged that he/she/they executed the same in his/her/their representative capacity(ies), and that by his/her/their signature(s) on the instrument, as as the act and deed of the person(s) or entity(ies) upon behalf of which he/she/they acted, executed the above and foregoing instrument, after first having been duly authorized so to do.

[Signature]
Notary Public

My Commission Expires: 3/24/2025



IMPORTANT NOTICE:

1. Please be advised that failure to submit a complete application, with all supporting documents, could delay your hearing date. The Architectural Review Committee will not consider a request until all information is submitted and accurate.
2. Please be advised that the application deadline dates posted are designed to allow the staff time to review the application and receive required comments from coordinating agencies. The application is not considered complete until all required information from the applicant is available for review by the staff and coordinating agencies.
3. All boxes will need to be initialed by applicant with required documentation before application can be accepted.

Submission Requirements:

Page one of this application, completed and signed.

Site plan. Please note that approval of your request, in part, is based on your 11" by 17" site plan.

- The property lines and dimensions have been provided on the drawing.
- All buildings and structures located on the property have been identified.
- All dimensions of buildings and structures have been noted on the site plan.
- All distances from the property lines to all the buildings and structures have been identified and noted on the site plan.
- Street names have been provided which abut the property.
- Traffic flow, parking and driveways have been identified.
- If required buffer strips have been identified
- Other pertinent information as needed to pictorially demonstrate the proposed development/use.

Proof of ownership (Copy of deed i.e., Warranty Deed or Quitclaim Deed)

If applicable, notarized proof of authority to act as agent for owner (board resolution, etc.)

The City of Gulfport Planning Division Staff will notify, by letter, property owners adjacent to the requested action identified in this application using the Land Roll database from the County Tax Office. If you would like to have additional persons or property owners notified, please provide a list of additional persons to be notified.

An affidavit stating the request is not in violation of restrictive or protective covenants.

State hardship of why design standards cannot be met individually and thoroughly as a separate attachment

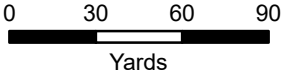
I the owner/agent acknowledge this is a complete application

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		0808L-01-043.001	COOK OUT-GULFPORT, INC (OWNER)	15 LAURA LANE STE 300	THOMASVILLE	NC	27360
			WORTH HUNTER (AGENT)	1465 LADONIA CHURCH RD	MT. AIRY	NC	27030
			MELISSA GOLDING (AGENT)	1466 LADONIA CHURCH RD	MT. AIRY	NC	27030
			Adjacent Property Owners (2603ARC005)				
	47944	0808L-01-045.000	ADAMS CLYDE A & MILDRED L -L/E-	18397 ADAMS RD	GULFPORT	MS	39503
	101881	0808L-01-083.001	BELTHEN LESLEY ADELLE & DEAVAN CHAS	493 OAK LANE	GULFPORT	MS	39507
	47938	0808L-01-083.000	JUNEAU R & B REVOCABLE TRUST	201 ST CHARLES AVE	LONG BEACH	MS	39560
	98485	0808L-01-084.001	MORGAN ROBERT D & SHIRLEY W	1493 WHITESVILLE RD	ALBERTVILLE	AL	4E+08
	57684	0808L-04-016.000	TACO BELL OF AMERICA INC	C/O TBC TAX UNIT #016312	LOUISVILLE	KY	4E+08
	85388	0808L-04-013.000	BROOK HOLDINGS LLC	BURGER KING # 11080	NEW ORLEANS	LA	70114
	57690	0808L-01-043.000	WHATABURGER REAL ESTATE LP	ATTN: REAL ESTATE DEPARTMENT	ROWLETT	TX	75088
	121357	0808L-01-043.001	LUNKER LLC	ATTN: JEROME L O'BRIEN JR	MOBILE	AL	36670
	52144	0808L-01-036.000	GILL STEVEN P SR & BARBARA B	11501 BARRONE STREET	GULFPORT	MS	39503
	47945	0808L-01-044.000	GARNER DOUGLAS EUGENE -L/E-	11480 DOG LEG RD	GULFPORT	MS	39503
	132861	0808L-04-012.001	WILLIAMSON NORMA REALTY COMPANY	P O BOX 1465	PRENTISS	MS	39474
	57653	0808L-04-012.000	MS COAST AUTO BROKERS GULFPORT LLC	11477 HWY 49	GULFPORT	MS	39503
N	57660	0808L-04-010.000	MS COAST AUTO BROKERS GULFPORT LLC	11477 HWY 49	GULFPORT	MS	39503
	57656	0808L-04-007.000	11487 HIGHWAY 49 PROPERTY LLC	P O BOX 6878	SAN PEDRO	CA	90734
	141973	0808L-04-007.001	11487 HIGHWAY 49 PROPERTY LLC	1718 CAPITAL AVE	CHEYENNE	WY	82001
N	57659	0808L-04-009.000	MS COAST AUTO BROKERS GULFPORT LLC	11477 HWY 49	GULFPORT	MS	39503



Legend

-  Site
-  US or State Highway
-  Street
-  Buildings
-  Water Features



1 inch = 200 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, March 12, 2026

Architectural Review Committee 2603ARC006: Architectural Review Committee 2603ARC006, by agent Carl Hamilton, seeking approval for a new freestanding ground sign, Tax Parcel 1010F-02-022.000, 1554 E Pass Road, Zoned T6 (Urban Core Zone), Ward 5

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2603ARC006

Hearing Date: March 12, 2026

Current Zoning/Use: T6 / Commercial Building

Legal: Architectural Review Committee 2603ARC006, by agent Carl Hamilton, seeking approval for a new freestanding ground sign, Tax Parcel 1010F-02-022.000, 1554 E Pass Road, Zoned T6 (Urban Core Zone), Ward 5

TECHNICAL DETAILS

The applicant is seeking approval for a new freestanding ground sign for a new oil change business. The proposed sign is noted on the site plan to be 20 feet from the street frontage property line, where current sign ordinance requires a minimum setback of 10 feet from the street frontage property line. The sign ordinance allows for two square feet of copy area for each linear foot of street frontage for properties with less than 200 linear feet of street frontage. The subject site has approximately 177 feet of linear feet of street frontage, which would allow for a copy area of 354 square feet. The proposed sign is illustrated as being 80 square feet, which will be well under the total allowable copy area. The applicant is seeking to deviate from the design standards for decorative cap/crown, decorative buttress, and wrapping around the sign support poles. The applicant claims in their application that the proposed sign is consistent with the corporate design standards for the brand across the country. While there is not a current "Express Oil Change" business in Gulfport, MS city limits with a ground sign to refer to, staff did research on other "Express Oil Change" locations in cities in Mississippi and found the proposed sign design excluding the support pole wrapping. The support poles for these other signs appear to be covered by sort of material, however staff cannot confirm what material was used. The design standards in Chapter 9, Article IV, Sec 9-103 require the support poles to be wrapped in either a masonry, stucco, stone and/or similar synthetic material. Upon staff review of the surrounding area, staff noted signs that existed prior to the implementation of this board that meet the design standards for pole wrapping, with a few that also meet the decorative buttress requirement. Such signs would include the ground signs for the Dunkin Donuts and Walmart Neighborhood. Other signs in the nearby area do not appear to have wrapping on the support pole, however these signs have been existing prior to the creation of this board. Should the current sign ordinance establishing this board existed when these signs were constructed, these signs would have needed to request approval to deviate from these design standards as well. While it is not a stated requirement in the ordinance, this board has placed requirements regarding the placement of landscaping around the base of the sign for other proposed ground signs.

According to Chapter 9, Article IV. Sec 9-103, b, 1-4

- b) All freestanding permanent signs, structures or poles shall be self-supporting structures erected on or permanently attached to concrete foundations or meet wind load requirements as specified in the building code, or any amendment thereto, adopted by the city.

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

- (1) Sign structure support pole(s) shall be wrapped with a masonry, stucco, stone and/or a similar synthetic material, from the ground level to a height not to exceed ten (10) feet above said ground level.
- (2) A decorative buttress shall be constructed at the ground/base level of the façade.
- (3) A decorative cap or crown shall be constructed at the top of the façade.
- (4) Any portion of the sign structure's support pole(s) between the façade and the display of the sign that is greater than ten (10) feet above ground level shall be finished with a stucco wrap or a textured paint.

EXECUTIVE SUMMARY

The applicant is seeking approval for a new freestanding ground sign that meets the required setbacks and copy area requirements but is deviating from the design standards regarding the decorative cap/crown, the decorative buttress, and the wrapping of the support poles. The applicant claims that the proposed design is the corporate design standard for their customer's brand across the country. While there is not an "Express Oil Change" with a ground sign currently in Gulfport, MS, staff did research locations in order nearby cities and found the proposed design identical to the ground sign excluding the support pole wrapping. The design standards in Chapter 9, Article IV, Sec 9-103 require the support poles to be wrapped in either a masonry, stucco, stone and/or similar synthetic material. Should the applicant include support pole wrapping for any of these listed materials, it would bring their proposed sign further into compliance with the design standards. Upon staff review of the surrounding area, staff noted signs that existed prior to the implementation of this board that meet the design standards for pole wrapping, with a few that also meet the decorative buttress requirement. Such signs would include the ground signs for the Dunkin Donuts and Walmart Neighborhood. Other signs in the nearby area do not appear to have wrapping on the support pole, however these signs have existed prior to the creation of this board. Should the current sign ordinance establishing this board existed when these signs were constructed, these signs would have needed to request approval to deviate from these design standards as well. While it is not a stated requirement in the ordinance, this board has placed requirements regarding the placement of landscaping around the base of the sign for other proposed ground signs.

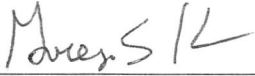
DEPARTMENTAL CONDITIONS

1. A waiver from the Architectural Review Committee is required to approve the sign as proposed. Or;
2. Correction to the support poles wrapping material will bring the sign further into compliance.

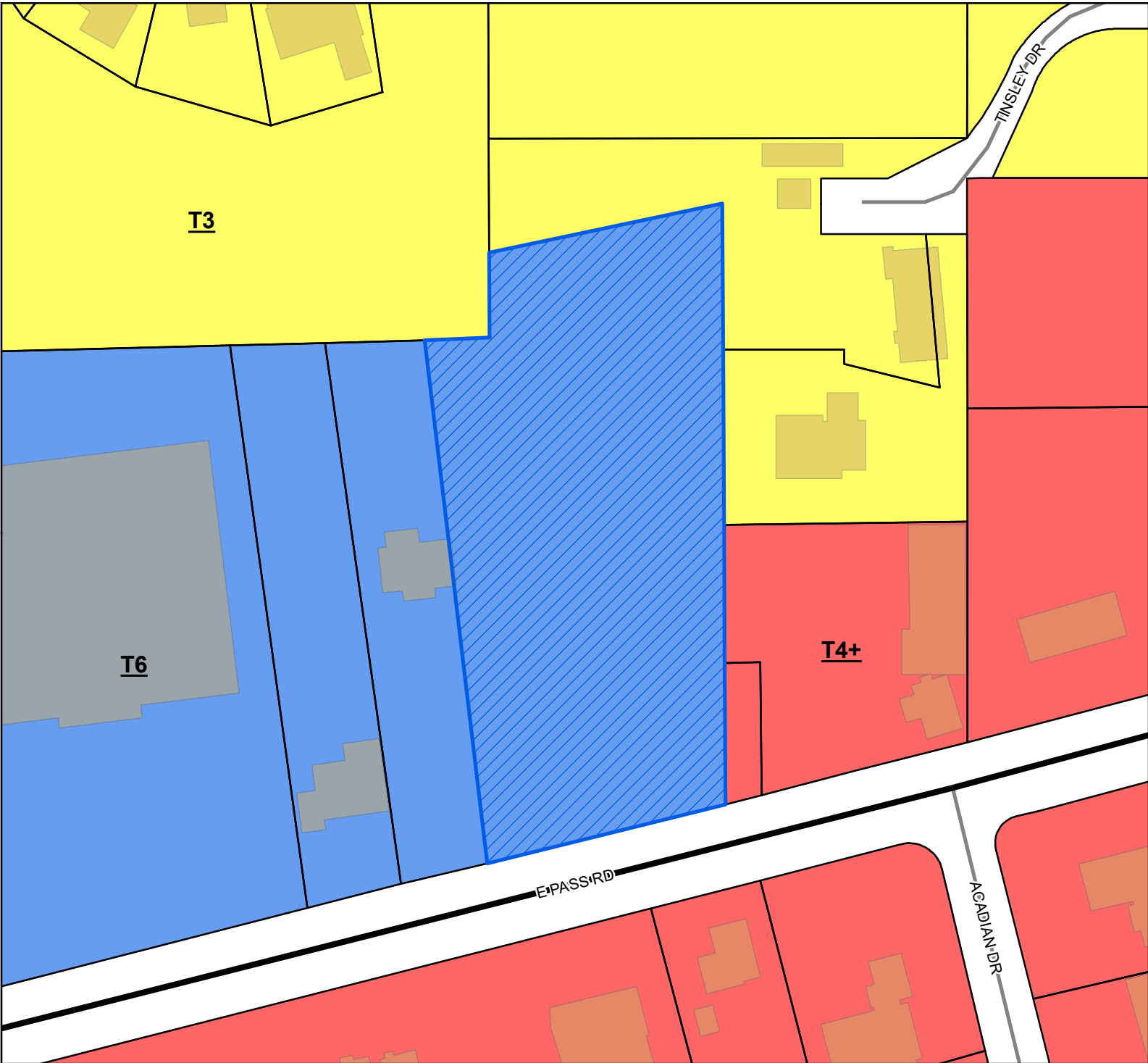
Technical Report
ARCHITECTURAL REVIEW COMMITTEE









DIRECTOR APPROVAL

This report has been reviewed and approved by:

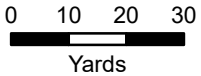


Greg Holmes
Director of Urban Development Department



-  Site
-  US or State Highway
-  Street
-  Parcels
-  Buildings
- Smart Code**
-  T6
-  T4+
-  T3

Site Information
 1010F-02-022.000
 Zoning: T6 (Urban Core Zone)
 Size: 1.7 acres
 Flood: X



1 inch = 100 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



CASE NUMBER

2603 AR C006
03/02/26

Urban Development - Planning Division
1410 24th Avenue | Gulfport, MS 39501 | (228) 868-5710

ARCHITECTURAL REVIEW

REQUESTED ACTION BY THE Architectural Review Committee
(A separate submission form is required for each request)

- Architectural Design Review
- Signs

TAX PARCEL NUMBERS

1010F-02-022.000	

Property Address:

1554 E. PASS ROAD

Property Address:

Lot(s) _____ Block(s) _____ Subdivision _____

General Description of Request:

ONE FREESTANDING
POLE SIGN

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request. We can only accept applications with original signatures.

OWNER:

Express Oil Change LLC

Printed Name of Owner

Mailing Address

1880 SOUTH PARK DR

City BIRMINGHAM

State AL

Zip Code 35244

Signature:

AGENT:

Printed Name of Agent

CARL B HAMILTON

Mailing Address

1603 KENSINGTON ST OLEAN SPRINGS MS 39564

City

State

Zip Code

Signature:

Name of Owner (PRINT)

Address (Street, City, State, Zip Code)

Phone (Home)

(Work)

(Cell)

Tax Parcel Number(s) Owned:

Signature:

Name of Owner (PRINT)

Address (Street, City, State, Zip Code)

Phone (Home)

(Work)

(Cell)

Tax Parcel Number(s) Owned:

Signature:



DESIGNATION OF AGENT

I, R Kent Feazell PRINT NAME being property owner of 1554 East Pass Rd PRIMARY ADDRESS OR PARCEL
which is the subject of this application hereby authorize Carl B Hamilton PRINT NAME to act as
my representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning
Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this
petition. This designation authorizes my agent to make verbal or written representations and/or declarations
on my behalf, and I shall be legally bound by said verbal or written representations and/or declarations
relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in
approval or denial or said petition.

[Signature] SIGNATURE 12-1-25 DATE

Alabama Shelby
STATE OF ~~MISSISSIPPI~~ | COUNTY OF ~~HARRISON~~

Given under my hand and seal of office this the 1st day of December, 20 25

[Signature]
NOTARY PUBLIC

07-12-2028
COMMISSION EXPIRATION





Covenant Affidavit

I, CARL HAMILTON, being owner or agent of the property 1554 E PASS RD
PRINT NAME PRIMARY ADDRESS OR PARCEL

which is the subject of this application, hereby state that this variance request is not in violation of any restrictive or protective covenants.

Carl Hamilton 12/29/2024
Signature Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 29th day of December, 2025
Samuel Sweeting 05/22/2027
Notary Public Commission Expiration



Unanimous Written Consent Of

The Members

Of

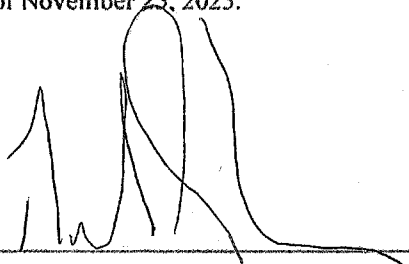
Express Oil Change, L.L.C.

The undersigned members' of Express Oil Change, L.L.C., a Delaware limited liability company ("Company"), being all the members' of the Company and acting by unanimous consent without a meeting pursuant to Section 18-302 of the Delaware Limited Liability Company Act, hereby adopts the following resolutions:

Resolved: Authorizes R. Kent Feazell to execute the "designation of agent" allowing Carl B Hamilton to act as representative for Express Oil Change, L.L.C. to make applications with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning, ad/or City Council and /or permitting and licensing, as required by the city.

This consent may be executed in two or more counterparts, each of which shall be deemed an original and all of which shall be deemed one instrument.

IN WITNESS WHEREOF, the undersigned members have duly executed this Unanimous Written Consent and is effective as of November 25, 2025.



Member **DAVID Sorbaro**

01/22/2026
Date

March 2, 2026

City of Gulfport

Planning Division

RE: 1554 Pass Road

The signage used by Express Oil for the two properties under construction in the City of Gulfport are signs that are used all over the United States for their branding. They typically do not have support pole wrapping, caps or crowns. Please consider this in your review of this application.



Carl Hamilton

ILLUMINATED
SIGN
IMAGES

LOCATION:
DATE: 02/12/2025

SALES REP: John Reynolds
DESIGN BY: Kenneth M.



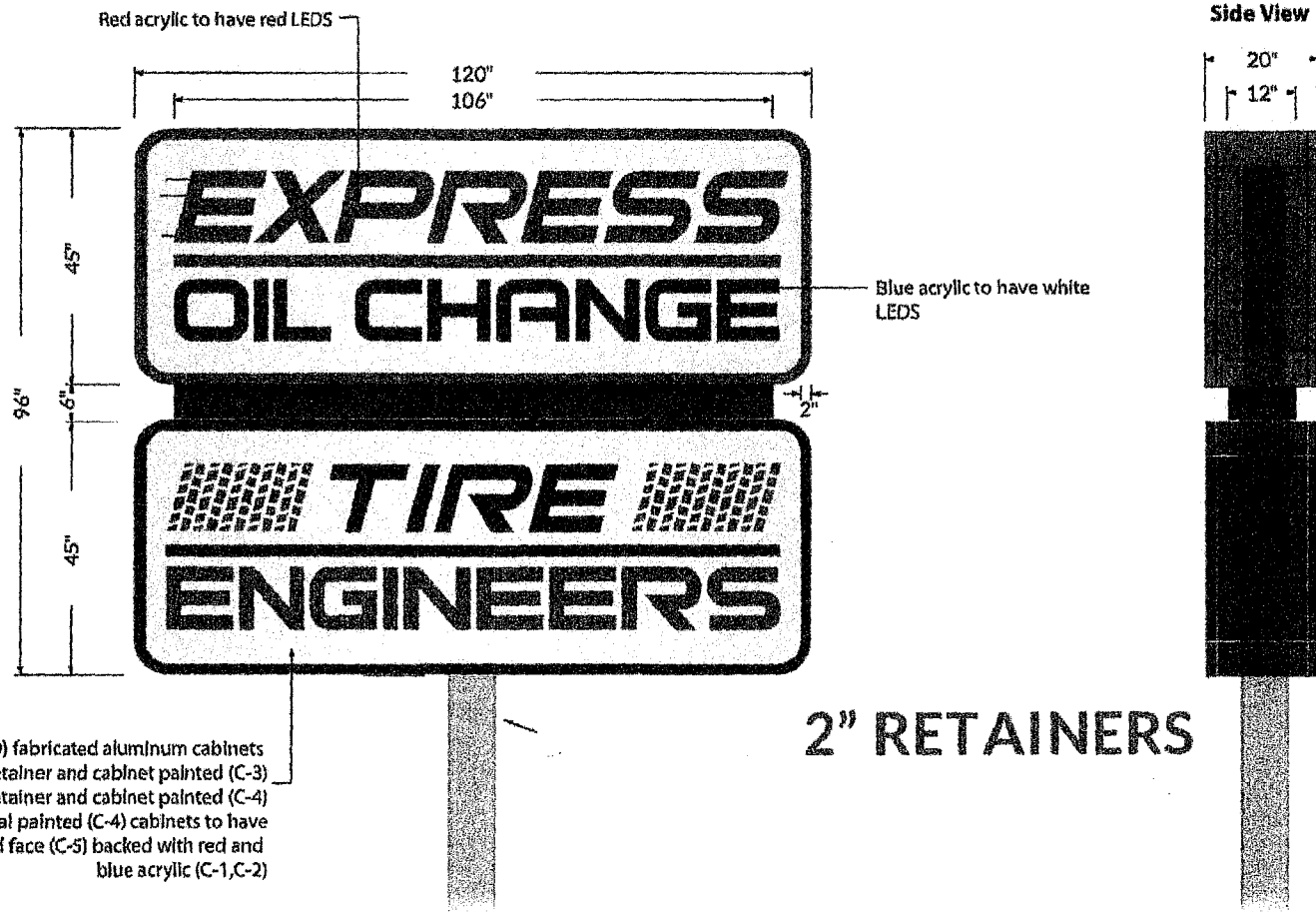
Complex Sign Fabrication, Installation & Service

877-245-7947

DESIGN CREATED BY ILLUMINATED SIGN IMAGES. IT IS NOT TO BE REPRODUCED, CHANGED, OR EXHIBITED TO ANYONE WITHOUT THE WRITTEN PERMISSION FROM ILLUMINATED SIGN IMAGES. SUCH ACTION MAY BE SUBJECT TO LEGAL ACTION IN A COURT OF LAW.
© 1999-2023 ALL RIGHTS RESERVED

SCALE = NTS

Pylon Sign



Color Specifications:

- ① 2793 Red Acrylic
- ② 2051 Blue Acrylic
- ③ PMS 286c - Cabinet and Retainer
- ④ PMS 186c - Cabinet and Retainer
- ⑤ Aluminum Mill Finish w/ Clear Coat

(PRINTED COLORS ARE FOR CONCEPTUAL USE ONLY. ACTUAL COLORS TO BE CONFIRMED PRIOR TO FABRICATION.)

12" Dia, 0.625" wall, A500 42 ksi HSS Steel Column, S=56.8 M=119.3
 10" Sch 160, 10.75" Dia, 1.125" wall, A53 35 ksi Steel Column, S=68.36 M=119.6
 10" L x 10" W x 0.5" wall, A500 46 ksi HSS Steel Column, S=51.2 M=117.8

Mississippi, 2018 IBC
 ref 2018 IBC, ref ASCE 7-16

170 Wind Speed, Vult, mph, from ASCE 7-15, Figure 26.5
 II Risk Category; I, Low; II, Normal; III, Substantial Hazard; IV, Essential/Critical
 C Wind Exposure; C, House size obstructions for > 600 ft. D, no obstructions > 5000 ft.

NOT TO SCALE

Acceptable Sign Support Columns

Sand, silty sand, clayey sand, silty gravel, clayey gravel Presumptive soil type

direct_embed type foundation

WIND LOAD CALC: ASCE 7-16 Section 29.3.1 Solid Freestanding Signs

Terrain K_z=1, no hill, ridge, or escarpment >15' High; Driftability K_d=0.85; Gust G=0.85 rigid structure;
 K_z=2.01*(H/90)^{2/5}E_zExpC, (700&11.5)ExpD, q_z=0.00256K_z²K_d²V_z² load = 0.8W+D, D < 15 psf

A	B	C	D	E	F	Sign Segment ID	OW/HD
25.0	17.0					Segment Top Above Grade, Top, ft	25.0
10.0	1.0					Segment Width, W, ft	1.0
8.0	17.0					Segment Height, H, ft	25.0
60.00	17.00					Segment Area, ft ² , adjusted for grade offset	
0.945	0.872					Velocity Pressure Exposure Coeff; K _z	
68.4	54.8					Velocity Pressure q _z , psf (per segment)	
1.80	1.70					Force Coefficient, C (per segment)	1.75
90.9	78.2					Wind Pressure P _z , psf = q _z *C	
54.6	47.5					Wind Pressure P _{net} , psf = P _z *0.6	
4.4	0.8					Wind Force, F _{seg} , kips = P _{net} *Area _{seg}	
91.7	6.9					Wind Moment M _{seg} , kip-ft = F _{seg} *(Top _{seg} +H _{seg} /2)	

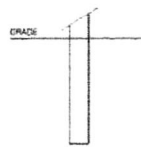
grade = 0 ft 5.17 kip Total Shear at Grade, V = Sum (F_{seg})
 16.04 kips 98.5 kip-ft Total Moment at Grade, M = Sum (M_{seg})

Sign manufacturer/installer's design, detailing, fabrication, and erection shall conform to the following specifications: Building Code, ASTM specifications, ACI-318 for reinforced concrete, American Welding Society Code for Welding in Building Construction, AISC Specification for Design, Fabrication, and Erection of Structural Steel for Buildings.

- Materials of construction: (Unless noted otherwise)
 - Structural steel (angles, shapes, plates, gussets): ASTM A-36, F_y=36 ksi.
 - HSS steel tubing: A-500, Grade B, Round F_y=42ksi, Rectangular F_y=48ksi.
 - Structural aluminum tubing: 6061-T6, or equivalent, F_y = 16 ksi at weld.
 - Structural pipe: A-53, Grade B, Type E or S, F_y=35 ksi.
 - Anchor bolts: ASTM F1554 Grade 36 with heavy hex at bottom, not 'L' or 'J' bolts.
 - Contraction bolts: A-325, snug tight.
 - Rebar: ASTM #15, #6 or larger - Grade 60, #5 or smaller - Grade 40, 3' cover.
 - Concrete: 2500 psi, 28 days.
 - Provide coatings to prevent any possibility of corrosion.
- Welding design and fabrication according to AWS D11 (steel) or AWS D1.2 (aluminum).
- AWS certification required for all structural welders.
- Use D1.1 (steel) or D1.2 (aluminum) certified weld with same bending strength as column UNO.
- Embedded column acts as vertical reinforcement for filled and cube foundations.
- Soil bearing capacity is Section 1806.2 Presumptive Load Bearing Value. Lateral bearing is doubled for sign poles per 1806.3.4. Soil choice types per Table 1805.2. Soil type must be applicable for entire foundation.
- Flat level grade and unsaturated soil matching presumptive soil type must be verified by sign installer.

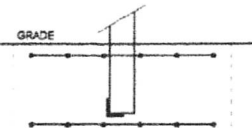
Drilled Shaft Foundation

5' dia x 9' deep
 or 4' dia x 9.8' deep
 or 3' dia x 10.9' deep



Cube Foundation

7' cube, L=W=D



Cube, Drilled Shaft Foundation, Code Section 1807.3.2

L=W=D	5.0	4.0	3.0	Diameter, b, ft (or length and width of cube)	D = 0.5'A(1+1+(4.36*(Hcent/A)) ^{0.5})
7.0	9.0	9.7	10.8	Depth, D, ft	A term
1.8	2.7	3.1	3.7	A term	A = 2.34*F/(S*1'b)
696	866	973	1084	S1 or S3	S1 = 2'Ssoil'D/3

150 psf/ft Soil to 5' max; clayey sand, silty gravel, clayey gravel

Spread Foundation Q_{psf} for Sand, silty sand, clayey sand, silty gravel, clayey gravel = 2000

10.5	Length, L, ft	2696	Soil Bearing at Bottom of Fdn. Q _{bot} , psf, Q _{bot} = 1.3'(Q+100pcf)(D-1)
10.5	Width, W, ft	41.3	Total Weight, Wt, kips, Wt = L * W * D * 150pcf
2.5	Depth, D, ft	2.9	Toe Length, Toe, ft, Toe = Wt / (W * Q _{bot})
		4.3	Bearing Eccentricity e, ft, e = L / 2 - Toe / 3
		117.0	Overturning Capacity Calc. OT, kip-ft, OT = Wt * e / 1.5 safety

Mark Disosway, Professional Engineer, Mississippi License 18983

This pdf file has been digitally signed. Printed copies are not considered signed and sealed. IScanTrust verifies my signature certificate when you click the date. Valid for one sign at this location. UNO.



2025.05.22
 09:10:18
 -04'00'

This seal for structural engineering (Support Column & Foundation ONLY)

SCOPE OF WORK: Design sign support column and foundation to meet structural requirements of building code based on stated (not verified) site factors and size & shape based on sign installer's drawing, attached. By using this engineering the sign owner, manufacturer, and installer accept responsibility to: Design, build, and install sign cabinet, face, attachment, electrical, etc according to building, appendix h, sign, fire, UL, zoning codes. Verify site conditions match stated wind speed, risk, exposure, top, and soil factors or request engineering revision.

signengineering@gmail.com
 Mark Disosway, PE, 163 SW Midtown Place, Ste 103,
 Lake City, Florida 32025 386-754-5419

JOB # 250500

PYLON SIGN: 1 Column, Centered & Embedded in Foundation

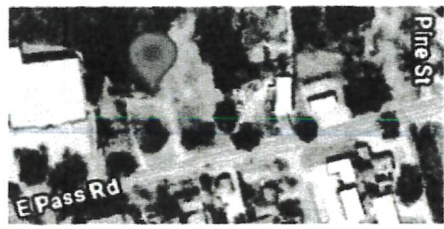
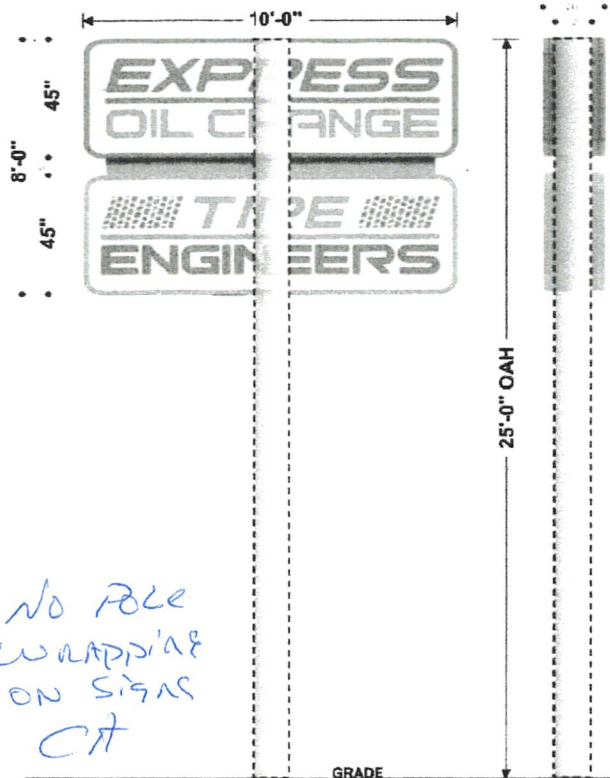
Illuminated Sign Images

Express Oil Change
 1554 E Pass Rd.,
 Gulfport, MS 39507

Job250500_Sign1_Sht1.cfd1_Rev0_Day250521

FRONT VIEW

SIDE VIEW





Michael Watson

SECRETARY OF STATE

This is not an official certificate of good standing.

Name History

Name	Name Type
EXPRESS OIL CHANGE, L.L.C.	Legal

Business Information

Business Type:	Limited Liability Company
Business ID:	736434
Status:	Good Standing
Effective Date:	07/15/2003
State of Incorporation:	DE
Principal Office Address:	100 Hillside Avenue White Plains, NY 10603

Registered Agent

Name
CORPORATION SERVICE COMPANY
109 Executive Drive, Suite 3
Madison, MS 39110

Officers & Directors

Name	Title
Jason Ingram 1880 SOUTHPARK DRIVE BIRMINGHAM, AL 35244	Organizer
EOC Holding Company, LLC 100 Hillside Avenue White Plains, NY 10603	Member



Angela Hurst 1st JUDICIAL DISTRICT
Instrument 2025-0007022-D-J1
Filed/Recorded 04/15/2025 8:43:02 AM
Total Fees 26.00
3 Pages Recorded

Prepared By:
Andrea G. Block, Esq.
Bullard Law Group, PLLC
201 Old Country Road, Suite 120
Melville, New York 11747
Phone: (516) 368-8830

Return To:
Express Oil Change, L.L.C.
1880 Southpark Drive
Birmingham, AL 35244
Attn.: Real Estate
Phone: (205) 942-8957

GRANTOR:
Warr Properties III, L.L.C.
1804 Beach Drive
Gulfport, MS 39507
Phone: (228) 697-8687

GRANTEE:
Express Oil Change, LLC
1880 Southpark Drive
Birmingham, AL 35244
Phone: (205) 942-8957

INDEXING INSTRUCTIONS: SE ¼ of S30-T7S-R10W, First Judicial District, Harrison County, Mississippi - Parcel Number 1010F-02-022 000.

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

SPECIAL WARRANTY DEED

FOR AND IN CONSIDERATION of the price and sum of TEN DOLLARS AND 00/100 (\$10.00) cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, **WARR PROPERTIES III, LLC**, a Mississippi limited liability company ("Grantor"), whose mailing address is 1804 Beach Drive, Gulfport, Mississippi 39507, does hereby **GRANT, BARGAIN, SELL, CONVEY, and SPECIALLY WARRANT** unto **EXPRESS OIL CHANGE, L.L.C.**, a Delaware limited liability company ("Grantee"), whose mailing address is 1880 Southpark Drive, Birmingham, Alabama 35244, those certain tracts of land located in Harrison County, Mississippi and being legally described on Exhibit A attached hereto and incorporated herein by this reference (the "Property").

TOGETHER WITH all and singular the rights, benefits, privileges, easements, tenements and appurtenances thereon or in anywise appertaining to the Property; TO HAVE AND TO HOLD the same unto Grantee, its successors and assigns. Grantor will and its successors and assigns shall,

forever warrant and defend unto said Grantee, its successors and assigns, against the lawful claims of all persons claiming by or through Grantor but not otherwise.

THIS CONVEYANCE is subject only to the liens of taxes and assessments not yet due and payable, easements, restrictions of record and all other matters of public record affecting the Property as shown in the Office of the Chancery Clerk of the First Judicial District, Harrison County, Mississippi, together with any matters that would be disclosed by a true and accurate survey of the Property.

WITNESS THE SIGNATURE of the above Grantor, as of this the 9th day of April, 2025.

WARR PROPERTIES III, LLC,
a Mississippi limited liability company

By: *Kay Protsman Warr*
Name: Kay Protsman Warr
Title: Manager

STATE OF MISSISSIPPI)
COUNTY OF HARRISON)

This instrument was acknowledged before me this 9th day of April, 2025 by Kay Protsman Warr in her capacity as Manager of Warr Properties III, LLC, a Mississippi limited liability company, signed to the foregoing instrument and who is known to me, acknowledged before me on this day that, being informed of the contents of said instrument, she, as such representative and with full authority, executed the same voluntarily for and as the act of Warr Properties III, LLC.



Amanda M. Beard
Notary Public, State of Mississippi
Printed Name: Amanda M. Beard
Commission Expires: 5-10-25

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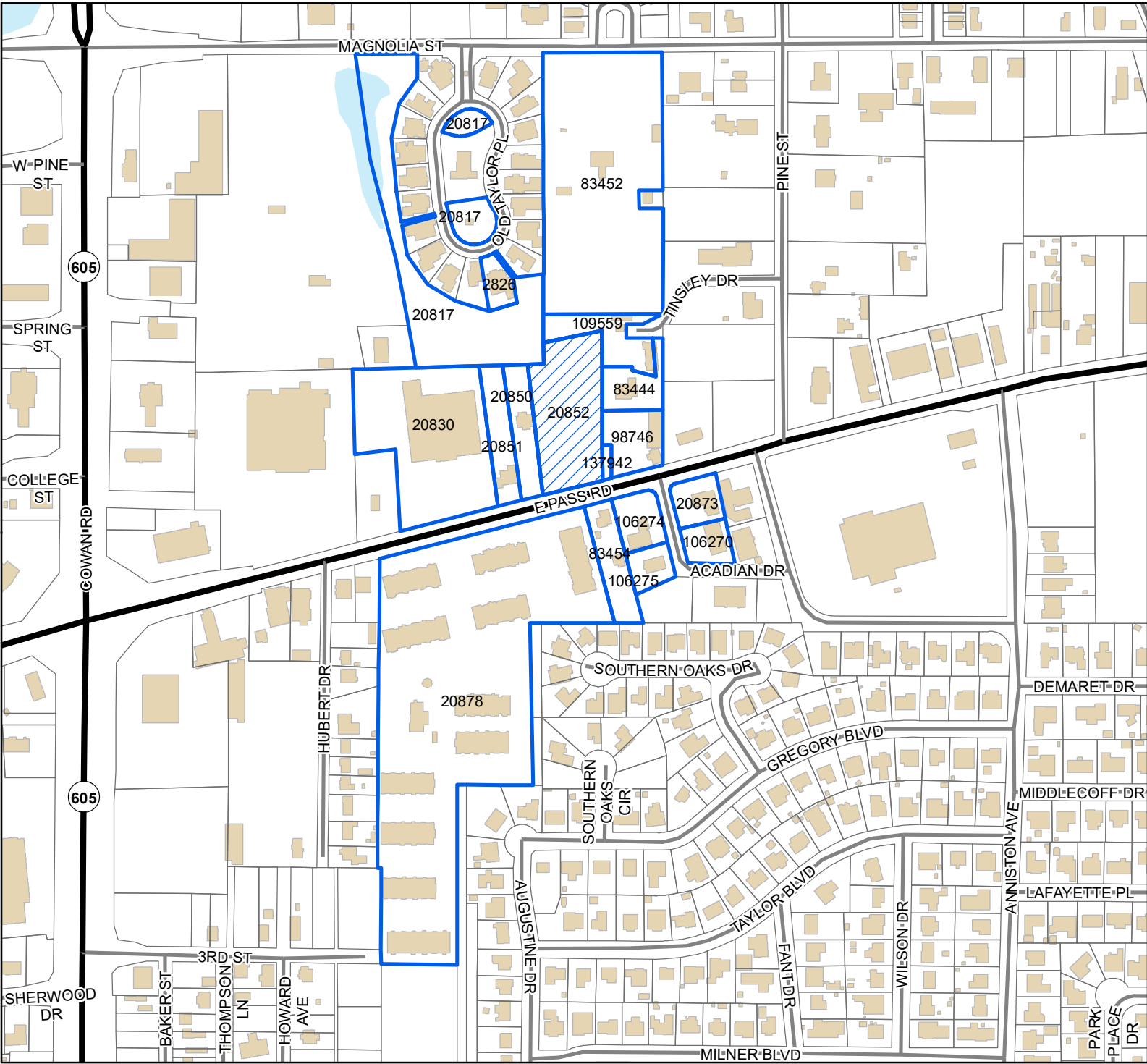
EXHIBIT A

LEGAL DESCRIPTION

Beginning at the intersection of the North line of Pass Christian Road with the West line of Pine Street, in Handsboro, Mississippi; Thence Westerly along the North line of the said Pass Christian Road 458 feet to the point of beginning of the property herein described, from said point of beginning run South 75 degrees 48 minutes West 177 feet along the North margin of Pass Christian Road; thence North 07 degrees 10 minutes West 380 feet to a point; thence North 89 degrees 21 minutes East 43.3 feet to a point; thence North 00 degrees 14 minutes East 66 feet to a point; thence North 77 degrees 40 minutes East 174.5 feet to a point; thence South 00 degrees 39 minutes East 437 7 feet to the North margin of the Pass Christian Road and the point of beginning. The above-described property being bounded on the South by Pass Christian Road, on the West by A Barrett, now Parker, on the North by Fowlkes, formerly Myers, and on the East by the Handsboro Water Company. The above described property located in and a part of the Southwest one-fourth of the Southeast one-fourth of Section 30, Township 7 South, Range 10 West, of Harrison County, Mississippi.

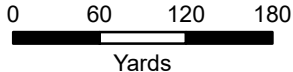
Being the same property conveyed by Mrs. Isa Laird, Mrs. Annie Todd, Mrs. Ada Reynolds, Mrs. Flora Tunstall and Raymond W Laird, Executor of the Estate of Alice Taylor, deceased, to H.H. Burnett and Gene Warr in that certain Warranty Deed dated March 16, 1968, and recorded in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi in the land deed records in Book 611 at Page 306. Further being the same property conveyed by H H Burnett to Gene Warr in that certain Warranty Deed dated April 3, 1969, and recorded in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi in the land deed records in Book 640 at Page 367, Parcel number 1010F-02-022 000.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		1010F-02-022.000	EXPRESS OIL CHANGE, LLC (OWNER)	1880 SOUTH PARK DR	BIRMINGHAM	AL	35244
			CARL B HAMILTON (AGENT)	1603 KESINGTON ST	OCEAN SPRINGS	MS	39564
			Adjacent Property Owners (2603ARC006)				
	20830	1010F-02-025.000	HARPER AVERY LLC	1526 E PASS ROAD	GULFPORT	MS	39507
	20851	1010F-02-024.000	CAMP NELDA RUTH	PO BOX 6176	GULFPORT	MS	39506
	20850	1010F-02-023.000	WARR PROPERTIES III LLC	1804 BEACH DRIVE	GULFPORT	MS	39507
	106275	1010F-03-005.004	CUTRER TERRY L & PAMELA S	4907 A COURTHOUSE RD	GULFPORT	MS	39507
	83452	1010F-02-045.000	HOPKINS MARYEM COLBERT -EST- ETAL	143 BAYOU CIRCLE	GULFPORT	MS	39507
	20873	1010F-03-005.000	ZEHNDER BRENDA H	14465 JOHN LEE RD	BILOXI	MS	39532
	20878	1010F-03-009.000	SUMMERFIELD PLACE II LLC	C/O ARBOR PROPERTIES	TALLAHASSEE	FL	32303
	83444	1010F-02-021.000	EDWARDS EMERY L	1626 E PASS RD	GULFPORT	MS	39507
	2826	1010F-02-044.013	KAIGLER DELIA H -TRUSTEE-	1529 MAGNOLIA ST #10	GULFPORT	MS	39507
	106274	1010F-03-005.005	PASS ROAD PROPERTIES LLC	1635 EAST PASS RD	GULFPORT	MS	39507
N	106270	1010F-03-005.001	ZEHNDER BRENDA H	14465 JOHN LEE RD	BILOXI	MS	39532
	20817	1010F-02-044.000	OLD TAYLOR PROPERTIES INC	1529 MAGNOLIA STREET	GULFPORT	MS	39507
	83454	1010F-03-008.000	CHEVALIER BRIAN	2510 PROVENCE PLACE	BILOXI	MS	39531
N	98746	1010F-02-021.001	EDWARDS EMERY L	1626 E PASS RD	GULFPORT	MS	39507
N	137942	1010F-02-021.004	EDWARDS EMERY L	1626 EAST PASS RD	GULFPORT	MS	39507
N	20852	1010F-02-022.000	WARR PROPERTIES III LLC	1804 BEACH DRIVE	GULFPORT	MS	39507
N	109559	1010F-02-021.002	EDWARDS EMERY L	1626 E PASS RD	GULFPORT	MS	39507



Legend

-  Site
-  US or State Highway
-  Street
-  Buildings
-  Water Features



1 inch = 400 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, March 12, 2026

Architectural Review Committee 2603ARC007: Architectural Review Committee 2603ARC007, by agent Carl Hamilton, seeking approval for a new freestanding ground sign, Tax Parcel 0808D-04-007.000, 12317 Hwy 49, Zoned B-4 (Highway Business), Ward 7

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2603ARC007

Hearing Date: March 12, 2026

Current Zoning/Use: B-4 / Vacant lot

Legal: Architectural Review Committee 2603ARC007, by agent Carl Hamilton, seeking approval for a new freestanding ground sign, Tax Parcel 0808D-04-007.000, 12317 Hwy 49, Zoned B-4 (Highway Business), Ward 7

TECHNICAL DETAILS

The applicant is seeking approval for a new freestanding ground sign for a new oil change business. The proposed sign is noted on the site plan to be 11 feet from the street frontage property line, where current sign ordinance requires a minimum setback of 10 feet from the street frontage property line. The sign ordinance allows for one square foot of copy area for each linear foot of street frontage for properties with more than 200 linear feet of street frontage. The subject site has approximately 220 feet of linear feet of street frontage, which would allow for a copy area of 220 square feet. The proposed sign is illustrated as being 80 square feet, which will be well under the total allowable copy area. The applicant is seeking to deviate from the design standards for decorative cap/crown, decorative buttress, and wrapping around the sign support poles. The applicant claims in their application that the proposed sign is consistent with the corporate design standards for the brand across the country. While there is not a current "Express Oil Change" business in Gulfport, MS city limits with a ground sign to refer to, staff did research on other "Express Oil Change" locations in cities in Mississippi and found the proposed sign design excluding the support pole wrapping. The design standards in Chapter 9, Article IV, Sec 9-103 require the support poles to be wrapped in either a masonry, stucco, stone and/or similar synthetic material. Upon staff review of the signs in the surrounding area, staff noted that a majority of the signs in the area have existed prior to the current sign ordinance. However, if the current sign ordinance establishing this board existed when these signs were constructed, these signs would have needed to request approval to deviate from these design standards as well. Of the signs existing in the nearby location, two of them have gone before this board for approval: the TD Pharmacy sign under case# 2407ARC036, which gotten approval for aluminum siding but met the design standards for the decorative cap/crown and the decorative buttress, and the Papa John's sign under case# 2411ARC051, which gotten approval to deviate from the decorative cap/crown and decorative buttress due to their proposed sign having to adhere to their corporate design standards. While it is not a stated requirement in the ordinance, this board has placed requirements regarding the placement of landscaping around the base of the sign for other proposed ground signs.

According to Appendix A, Article IV. Sec 9, 103, b, 1-4

- (1) All freestanding permanent signs, structures or poles shall be self-supporting structures erected on or permanently attached to concrete foundations or meet wind load requirements as specified in the building code, or any amendment thereto, adopted by the city.

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

- (2) Sign structure support pole(s) shall be wrapped with a masonry, stucco, stone and/or a similar synthetic material, from the ground level to a height not to exceed ten (10) feet above said ground level.
- (3) A decorative buttress shall be constructed at the ground/base level of the façade.
- (4) A decorative cap or crown shall be constructed at the top of the façade.

Any portion of the sign structure's support pole(s) between the façade and the display of the sign that is greater than ten (10) feet above ground level shall be finished with a stucco wrap or a textured paint.

EXECUTIVE SUMMARY

The applicant is seeking approval for a new freestanding ground sign that meets the required setbacks and copy area requirements but is deviating from the design standards regarding the decorative cap/crown, the decorative buttress, and the wrapping of the support poles. The applicant claims that the proposed design is the corporate design standard for their customer's brand across the country. While there is not an "Express Oil Change" with a ground sign currently in Gulfport, MS, staff did research locations in order nearby cities and found the proposed design identical to the ground sign excluding the support pole wrapping. The design standards in Chapter 9, Article IV, Sec 9-103 require the support poles to be wrapped in either a masonry, stucco, stone and/or similar synthetic material. Should the applicant include support pole wrapping for any of these listed materials, it would bring their proposed sign further into compliance with the design standards. Upon staff review of the signs in the surrounding area, staff noted that a majority of the signs in the area have existed prior to the current sign ordinance. However, if the current sign ordinance establishing this board existed when these signs were constructed, these signs would have needed to request approval to deviate from these design standards as well. Of the signs existing in the nearby location, two of them have gone before this board for approval: the TD Pharmacy sign under case# 2407ARC036, which gotten approval for aluminum siding but met the design standards for the decorative cap/crown and the decorative buttress, and the Papa John's sign under case# 2411ARC051, which gotten approval to deviate from the decorative cap/crown and decorative buttress due to their proposed sign having to adhere to their corporate design standards. While it is not a stated requirement in the ordinance, this board has placed requirements regarding the placement of landscaping around the base of the sign for other proposed ground signs.

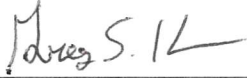
DEPARTMENTAL CONDITIONS

1. A waiver from the Architectural Review Committee is required to approve the sign as proposed. Or;
2. Correction to the support poles wrapping material will bring the sign further into compliance.

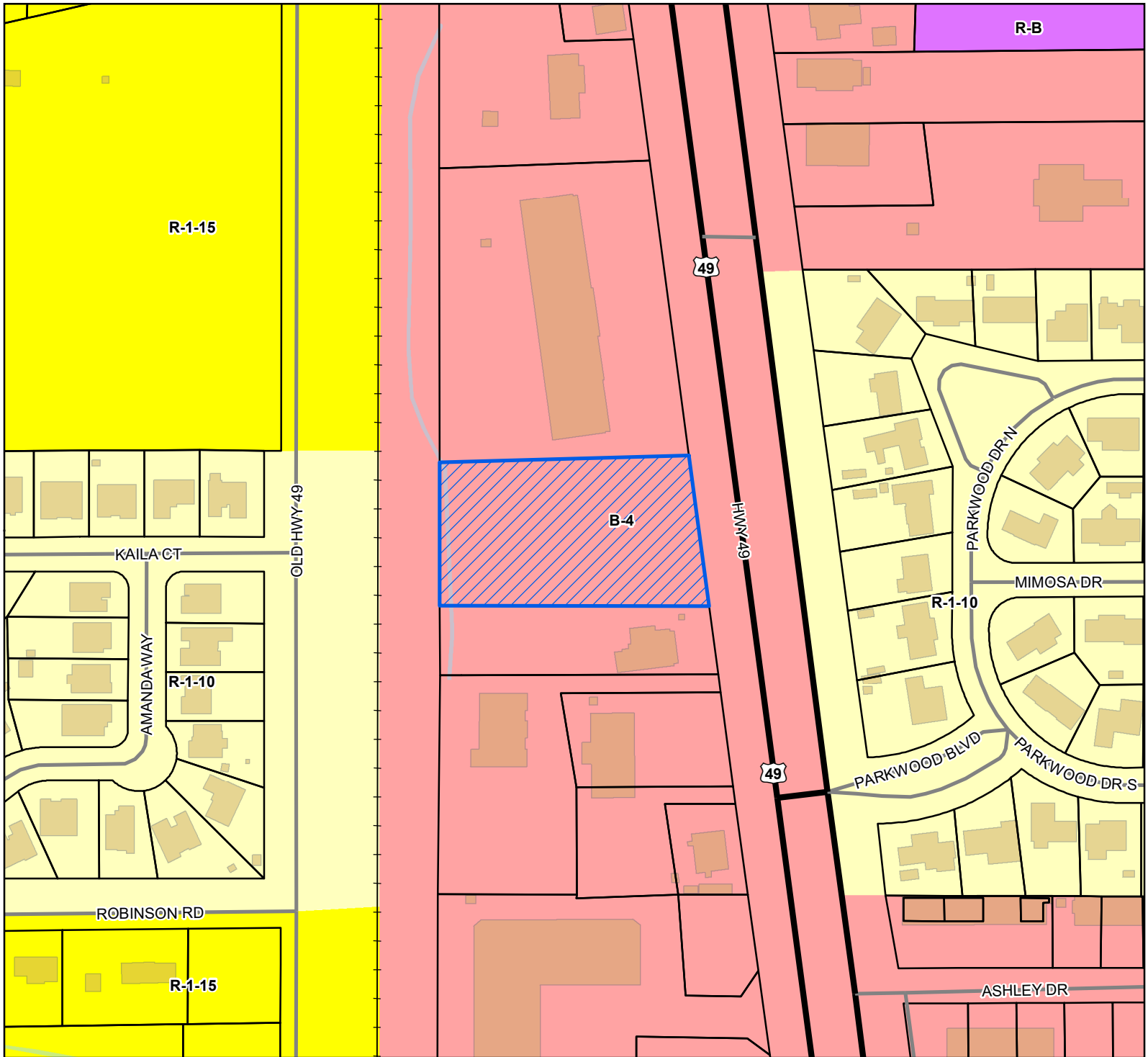
Technical Report
ARCHITECTURAL REVIEW COMMITTEE












DIRECTOR APPROVAL

This report has been reviewed and approved by:

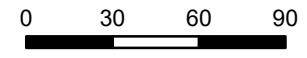


Greg Holmes
Director of Urban Development Department



-  Site
 -  US or State Highway
 -  Street
 -  Railroad
 -  Parcels
 -  Buildings
 -  Water Features
- Zoning**
-  B-4 - Highway Business District
 -  R-1-10 - Single Family Residence (Low Density)
 -  R-1-15 - Single Family Residence District (Low Density)
 -  R-B - Residence-Business District

Site Information
 0808D-04-007.000
 Zoning: B-4 (Highway Business)
 Size: 1.8 acres
 Flood: X



1 inch = 200 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

OWNER:

EXPRESS OIL CHANGE LLC

Printed Name of Owner

Mailing Address

1880 SOUTH PARK DR AL 35244
City BIRMINGHAM State Zip Code

Signature: [Handwritten Signature]

AGENT:

CARL B. HAMILTON

Printed Name of Agent

1603 KENSINGTON ST Ocean Springs MS 39564
Mailing Address

City State Zip Code

Signature: [Handwritten Signature]

Name of Owner (PRINT)

Address (Street, City, State, Zip Code)

Phone (Home) (Work) (Cell)

Tax Parcel Number(s) Owned:

Signature:

Name of Owner (PRINT)

Address (Street, City, State, Zip Code)

Phone (Home) (Work) (Cell)

Tax Parcel Number(s) Owned:

Signature:



Designation of Agent

I, R Kent Fazele
Express Air Change US being property owner of 12317 Hwy 49
which is the subject of this application hereby authorize CARL B Hamilton to act as my
representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning
Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this
petition. This designation authorizes my agent to make verbal or written representations and/or
declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or
declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in
approval or denial of said petition.

[Signature]
Signature

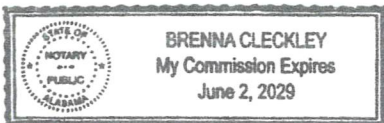
October 10, 2025
Date

Academy
STATE OF MISSISSIPPI | COUNTY Shelby

Given under my hand and seal of office this the 10th day of October, 20 25

Brenna Cleckley
Notary Public

June 2, 2029
Commission Expiration





Covenant Affidavit

I, CARL HAMILTON, being owner or agent of the property 12317 Hwy 49
PRINT NAME PRIMARY ADDRESS OR PARCEL

which is the subject of this application, hereby state that this request is not in violation of any restrictive or protective covenants.

Carl Hamilton

2/27/2026

Signature

Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 27th day of February, 20 26

Samuel Sweeting

05/22/2027

Commission Expiration

Notary Public



Unanimous Written Consent Of

The Members

Of

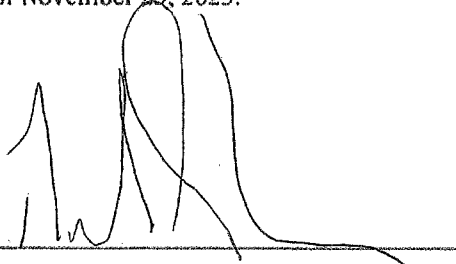
Express Oil Change, L.L.C.

The undersigned members' of Express Oil Change, L.L.C., a Delaware limited liability company ("Company"), being all the members' of the Company and acting by unanimous consent without a meeting pursuant to Section 18-302 of the Delaware Limited Liability Company Act, hereby adopts the following resolutions:

Resolved: Authorizes R. Kent Fezell to execute the "designation of agent" allowing Carl B Hamilton to act as representative for Express Oil Change, L.L.C. to make applications with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning, ad/or City Council and /or permitting and licensing, as required by the city.

This consent may be executed in two or more counterparts, each of which shall be deemed an original and all of which shall be deemed one instrument.

IN WITNESS WHEREOF, the undersigned members have duly executed this Unanimous Written Consent and is effective as of November 25, 2025.



Member **DAVID Sorbaro**

Date 01/22/2026

March 2, 2026

City of Gulfport

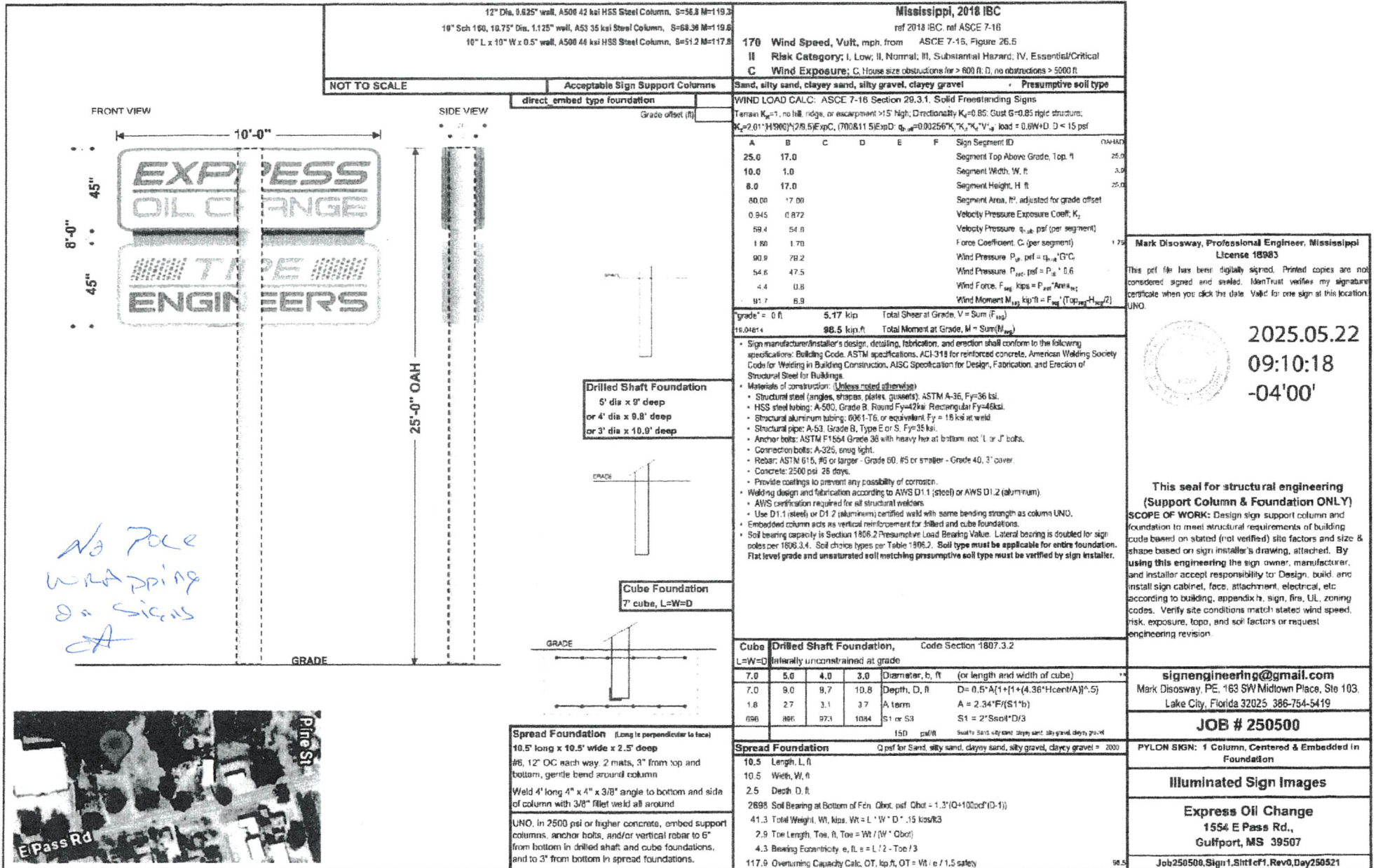
Planning Division

RE: 12317 Highway 49

The signage used by Express Oil for the two properties under construction in the City of Gulfport are signs that are used all over the United States for their branding. They typically do not have support pole wrapping, caps or crowns. Please consider this in your review of this application.



Carl Hamilton



Mark Diosoay, Professional Engineer, Mississippi License 18983

This pdf file has been digitally signed. Printed copies are not considered signed and sealed. MenTrust verifies my signature certificate when you click the date. Valid for one sign at this location. UNO.

2025.05.22
09:10:18
-04'00'

This seal for structural engineering (Support Column & Foundation ONLY)

SCOPE OF WORK: Design sign support column and foundation to meet structural requirements of building code based on stated (not verified) site factors and size & shape based on sign installer's drawing, attached. **By using this engineering** the sign owner, manufacturer, and installer accept responsibility for Design, build, and install sign cabinet, face, attachment, electrical, etc. according to building, appendix h, sign, fire, UL, zoning codes. Verify site conditions match stated wind speed, risk, exposure, topo, and soil factors or request engineering revision.

signengineering@gmail.com
 Mark Diosoay, PE, 163 SW Midtown Place, Ste 103,
 Lake City, Florida 32025 386-754-5419

JOB # 250500

PYLON SIGN: 1 Column, Centered & Embedded in Foundation

Illuminated Sign Images

Express Oil Change
 1554 E Pass Rd.,
 Gulfport, MS 39507

Job250500_Sign1_Sht1 of 1_Rev0_Day250521

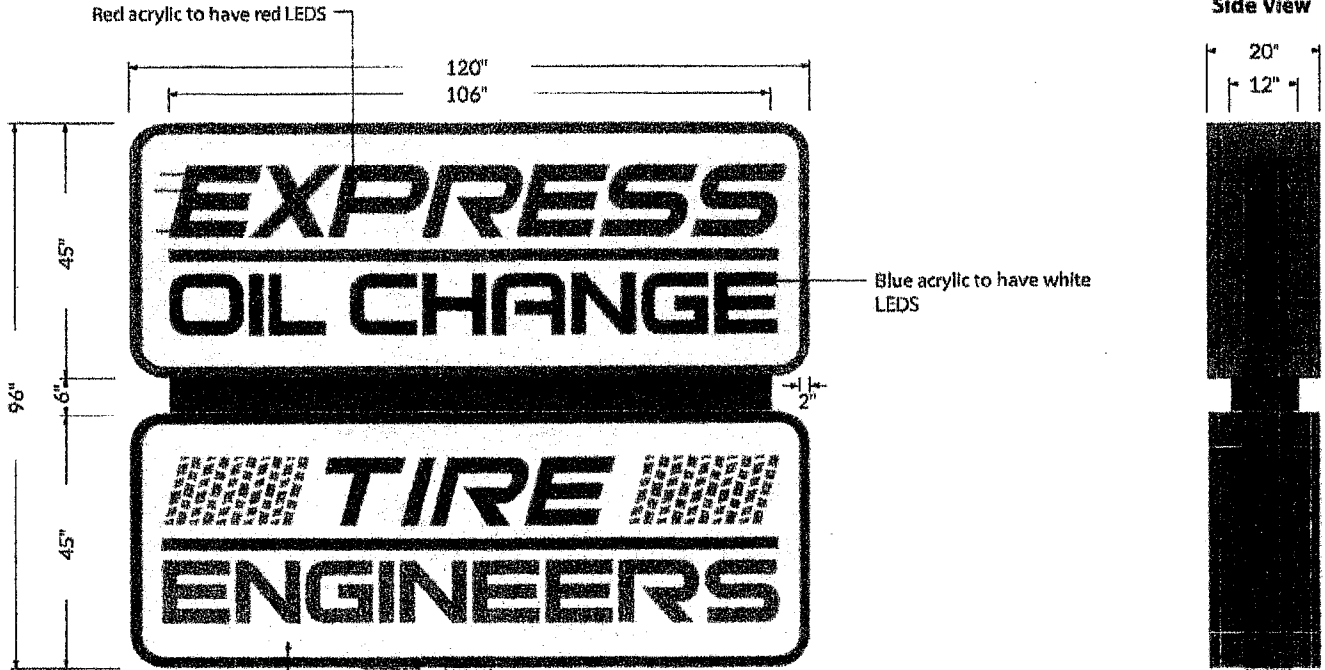
LISTED
 LOCATION: DATE: 02/12/2025

Complete Sign Fabrication, Installation & Service
 SALES REP: John Rempolds
 DESIGN BY: Kennel M.

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Pylon Sign

SCALE = NTS



20" (D) fabricated aluminum cabinets with top retainer and cabinet painted (C-3) with bottom retainer and cabinet painted (C-4) 6"(T) x 2" (D) reveal painted (C-4) cabinets to have aluminum routed face (C-5) backed with red and blue acrylic (C-1,C-2)

Color Specifications:

- ⑬ 2793 Red Acrylic
- ⑭ 2051 Blue Acrylic
- ⑮ PMS 286c - Cabinet and Retainer
- ⑯ PMS 186c - Cabinet and Retainer
- ⑰ Aluminum Mill Finish w/ Clear Coat

(PRINTED COLORS ARE FOR CONCEPTUAL USE ONLY. ACTUAL COLORS TO BE CONFIRMED PRIOR TO FABRICATION.)



Angela Hunt 1st JUDICIAL DISTRICT
Instrument 2025-0024237-D-J1
Filed/Recorded 11/05/2025 2:49:04 PM
Total Fees 26.00
4 Pages Recorded

PREPARED BY:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd, Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860
MS Bar # 100866

RETURN TO:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd, Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860

TITLE NOT EXAMINED

**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

QUITCLAIM DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged, I

JACOB PAUL NITKIEWICZ
24376 AIREY TOWER ROAD
SAUCIER, MS 39574
228.697.7423

do hereby release, convey, and forever quitclaim unto

EXPRESS OIL CHANGE, L.L.C.
A DELAWARE LIMITED LIABILITY COMPANY
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
205.397.1159

Any and all of my interest in the following described land and property, lying and being situated in Harrison County, Mississippi, First Judicial District, more particularly and certainly described as follows:
(See Exhibit A attached)(Page 3)

Indexing instructions: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT.

PREPARED BY:

**Michael J. Yentzen
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2205 John Hill Blvd, Bldg. 3, Ste. D
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TITLE NOT EXAMINED

**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

QUITCLAIM DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged, I

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24376 AIREY TOWER ROAD
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**EXPRESS OIL CHANGE, L.L.C.
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This conveyance is subject to all covenants, restrictions, easements, rights of way and other matters of record.

WITNESS the signature of the Grantor, on this the 28th day of October, 2025.


JACOB PAUL NITKIEWICZ – GRANTOR

TITLE NOT EXAMINED

STATE OF MISSISSIPPI

COUNTY OF HARRISON

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 28th day of October, 2025, within my jurisdiction, the within JACOB PAUL NITKIEWICZ, who acknowledged that he signed, executed and delivered the above and foregoing instrument.

GIVEN under my hand and official seal of office.

My Commission Expires:

June 9, 2026




NOTARY PUBLIC

TITLE NOT EXAMINED

EXHIBIT "A"

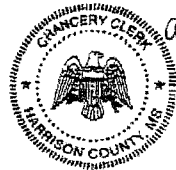
LEGAL DESCRIPTION: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

A CERTAIN LOT OR PARCEL OF LAND BEGINNING AT A POINT IN THE WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49, WHICH POINT IS 505 FEET SOUTH OF THE NORTHEAST CORNER OF THAT PROPERTY ACQUIRED BY MRS. FANNIE QUAVE ROUSE, FROM THOMAS E. DUNCAN BY WARRANTY DEED DATED AUGUST 30, 1946, AND RECORDED IN BOOK 294, PAGE 336 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI, AND FROM SAID POINT OF BEGINNING RUNNING SOUTH ALONG SAID WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49 A DISTANCE OF 136 FEET TO A POINT IN SAID WEST RIGHT-OF-WAY; RUNNING THENCE WEST AND PARALLEL WITH THE SOUTHERN BOUNDARY OF SAID PROPERTY ACQUIRED BY MRS. FANNIE QUAVE ROUSE FROM SAID THOMAS E. DUNCAN A DISTANCE OF 375 FEET TO THE EAST RIGHT-OF-WAY OF THE G. & S.I. RAILROAD; RUNNING THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY OF THE G. & S.I. RAILROAD A DISTANCE OF 136 FEET; RUNNING THENCE EAST A DISTANCE OF 375 FEET TO THE POINT OF BEGINNING, SAID PROPERTY BEING BOUNDED NORTH BY PROPERTY OF THE GRANTOR, WEST BY G. & S.I. RAILROAD, SOUTH BY PROPERTY NOW OR FORMERLY BELONGING TO MRS. IRIS RIGGS, AND EAST BY SAID NEW U. S. HIGHWAY 49, BEING THE SOUTH 136 FEET OF THE PROPERTY CONVEYED AS AFORESAID FROM THOMAS E. DUNCAN TO SAID MRS. FANNIE QUAVE ROUSE, SAID PARCEL OF LAND BEING IN THE SW 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, IN HARRISON COUNTY, MISSISSIPPI.

AND ALSO:

A CERTAIN LOT OR PARCEL OF LAND BEGINNING AT A POINT IN THE WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49, WHICH POINT IS 505 FEET SOUTH OF THE NORTHEAST CORNER OF THAT PROPERTY ACQUIRED BY THE GRANTOR, L. L. ROUSE AND HIS WIFE, FANNIE QUAVE ROUSE, FROM THOMAS E. DUNCAN BY WARRANTY DEED DATED AUGUST 30, 1946 AND RECORDED IN BOOK 294 AT PAGE 336 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI, AND FROM SAID POINT OF BEGINNING RUNNING NORTH ALONG SAID WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49 A DISTANCE OF 75 FEET TO A POINT IN SAID WEST RIGHT-OF-WAY; RUNNING THENCE WEST AND PARALLEL WITH THE SOUTHERN BOUNDARY OF SAID PROPERTY ACQUIRED BY MRS. FANNIE QUAVE ROUSE FROM SAID THOMAS E. DUNCAN A DISTANCE OF 375 FEET TO THE EAST RIGHT-OF-WAY OF THE G & S I RAILROAD; RUNNING THENCE SOUTH ALONG THE SAID EAST RIGHT- OF-WAY OF THE G & S I RAILROAD A DISTANCE OF 75 FEET; RUNNING

THENCE EAST A DISTANCE OF 375 FEET TO A POINT OF BEGINNING, SAID PROPERTY BEING BOUNDED NORTH BY PROPERTY OF THE GRANTOR, WEST BY G & S I RAILROAD, SOUTH BY PROPERTY HERETOFORE CONVEYED BY GRANTORS TO GRANTEEES UNDER DATE OF JUNE 10, 1955 AND RECORDED IN BOOK 397, PAGES 176-177 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI; AND EAST BY SAID NEW U. S. HIGHWAY 49; BEING THE NORTH 75 FEET OF THE SOUTH 211 FEET OF THE PROPERTY CONVEYED AS AFORESAID FROM THOMAS E. DUNCAN TO SAID MRS. FANNIE QUAVE ROUSE, SAID PARCEL OF LAND BEING IN THE SW 1/4 OF THE NW1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST IN HARRISON COUNTY, MISSISSIPPI. (TAX PARCEL NUMBER: 0808D-04-007.000).



Amelia Hunt 1st JUDICIAL DISTRICT
Instrument 2025-0024236-D-J1
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PREPARED BY:
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RETURN TO:
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2205 John Hill Blvd., Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860

**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

WARRANTY DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged, I

PATRICIA L. OHLIN
403 NICKLAUS STREET
BERWICK, LA 70342
985.519.2958

do hereby sell, convey, and warrant unto

EXPRESS OIL CHANGE, L.L.C.
A DELAWARE LIMITED LIABILITY COMPANY
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
205.397.1159

My one-fifths (1/5) interest each in the following described land and property, lying and being situated in Harrison County, Mississippi, First Judicial District, more particularly and certainly described as follows:

(See Exhibit A attached)(Page 3)

Indexing instructions: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT.

PREPARED BY:
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**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

WARRANTY DEED

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PATRICIA L. OHLIN
403 NICKLAUS STREET
BERWICK, LA 70342
985.519.2958

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This conveyance is subject to all covenants, restrictions, easements, rights of way and other matters of record. It is agreed and understood that the taxes for the current year have been prorated as of this date on an estimated basis, and when said taxes are actually determined, if the proration as of this date is incorrect, the Grantor agrees to pay said Grantee or its assigns any deficit on actual proration.

WITNESS the signature of the Grantor on this the 1st day of November, 2025.


PATRICIA L. OHLIN - GRANTOR

STATE OF LOUISIANA
PARISH OF ST. MARY

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 1st day of November, 2025, within my jurisdiction, the within named PATRICIA L. OHLIN, who acknowledged that she signed, executed, and delivered the above and foregoing instrument.

GIVEN under my hand and official seal of office.

My Commission Expires: lifetime


NOTARY PUBLIC

EXHIBIT "A"

Legal Description: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

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Angela Hunt 1st JUDICIAL DISTRICT
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Filed/Recorded 11/05/2025 2:49:05 PM
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PREPARED BY:

Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd, Bldg. 3, Ste. D
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Gulfport, MS 39501
(228) 594-8860

TITLE NOT EXAMINED

**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

QUITCLAIM DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged, I

JERRY LEE NITKIEWICZ
P.O BOX 312
GAYLESVILLE, AL 35973
PHONE: 662-403-7264

do hereby release, convey, and forever quitclaim unto

EXPRESS OIL CHANGE, L.L.C.
A DELAWARE LIMITED LIABILITY COMPANY
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
205.397.1159

Any and all of my interest in the following described land and property, lying and being situated in Harrison County, Mississippi, First Judicial District, more particularly and certainly described as follows:
(See Exhibit A attached)(Page 3)

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**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

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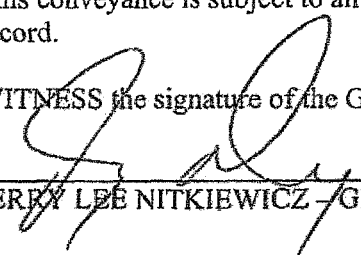
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This conveyance is subject to all covenants, restrictions, easements, rights of way and other matters of record.

WITNESS the signature of the Grantor, on this the 23 day of October, 2025.



JERRY LEE NITKIEWICZ - GRANTOR

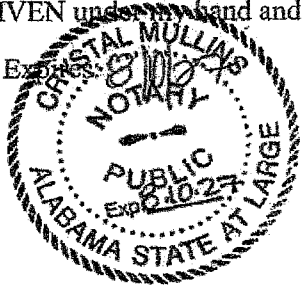
TITLE NOT EXAMINED

STATE OF ALABAMA
COUNTY OF CHEROKEE

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this ____ day of October, 2025, within my jurisdiction, the within Jerry Lee Nitkiewicz, who acknowledged that he signed, executed and delivered the above and foregoing instrument.

GIVEN under my hand and official seal of office.

My Commission Expires:





NOTARY PUBLIC

TITLE NOT EXAMINED

EXHIBIT "A"

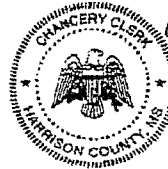
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TO GRANTEEES UNDER DATE OF JUNE 10, 1955 AND RECORDED IN BOOK 397, PAGES 176-177 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI; AND EAST BY SAID NEW U. S. HIGHWAY 49; BEING THE NORTH 75 FEET OF THE SOUTH 211 FEET OF THE PROPERTY CONVEYED AS AFORESAID FROM THOMAS E. DUNCAN TO SAID MRS. FANNIE QUAVE ROUSE, SAID PARCEL OF LAND BEING IN THE SW 1/4 OF THE NW1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST IN HARRISON COUNTY, MISSISSIPPI. (TAX PARCEL NUMBER: 0808D-04-007.000).



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TITLE NOT EXAMINED

**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

QUITCLAIM DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged, I

JILL MOSS
1507 SUNSET DRIVE
NORMAN, OK 73069
228.697.7422

do hereby release, convey, and forever quitclaim unto

EXPRESS OIL CHANGE, L.L.C.
A DELAWARE LIMITED LIABILITY COMPANY
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
205.397.1159

Any and all of my interest in the following described land and property, lying and being situated in Harrison County, Mississippi, First Judicial District, more particularly and certainly described as follows:

(See Exhibit A attached)(Page 3)

Indexing instructions: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT.

PREPARED BY:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd, Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860
MS Bar # 100866

RETURN TO:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd, Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860

TITLE NOT EXAMINED

**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

QUITCLAIM DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged, I

JILL MOSS
1507 SUNSET DRIVE
NORMAN, OK 73069
228.697.7422

do hereby release, convey, and forever quitclaim unto

EXPRESS OIL CHANGE, L.L.C.
A DELAWARE LIMITED LIABILITY COMPANY
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
205.397.1159

Any and all of my interest in the following described land and property, lying and being situated in Harrison County, Mississippi, First Judicial District, more particularly and certainly described as follows:

(See Exhibit A attached)(Page 3)

Indexing instructions: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT.

This conveyance is subject to all covenants, restrictions, easements, rights of way and other matters of record.

WITNESS the signature of the Grantor, on this the 19 day of October, 2025.

Jill Moss
JILL MOSS – GRANTOR

TITLE NOT EXAMINED

STATE OF OKLAHOMA

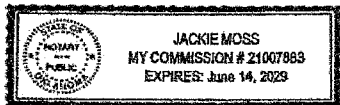
COUNTY OF CLEVELAND

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 19 day of October, 2025, within my jurisdiction, the within JILL MOSS, who acknowledged that she signed, executed and delivered the above and foregoing instrument.

GIVEN under my hand and official seal of office.

My Commission Expires:

[Signature]
NOTARY PUBLIC



TITLE NOT EXAMINED

EXHIBIT "A"

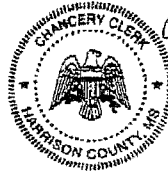
LEGAL DESCRIPTION: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

A CERTAIN LOT OR PARCEL OF LAND BEGINNING AT A POINT IN THE WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49, WHICH POINT IS 505 FEET SOUTH OF THE NORTHEAST CORNER OF THAT PROPERTY ACQUIRED BY MRS. FANNIE QUAVE ROUSE, FROM THOMAS E. DUNCAN BY WARRANTY DEED DATED AUGUST 30, 1946, AND RECORDED IN BOOK 294, PAGE 336 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI, AND FROM SAID POINT OF BEGINNING RUNNING SOUTH ALONG SAID WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49 A DISTANCE OF 136 FEET TO A POINT IN SAID WEST RIGHT-OF-WAY; RUNNING THENCE WEST AND PARALLEL WITH THE SOUTHERN BOUNDARY OF SAID PROPERTY ACQUIRED BY MRS. FANNIE QUAVE ROUSE FROM SAID THOMAS E. DUNCAN A DISTANCE OF 375 FEET TO THE EAST RIGHT-OF-WAY OF THE G. & S.I. RAILROAD; RUNNING THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY OF THE G. & S.I. RAILROAD A DISTANCE OF 136 FEET; RUNNING THENCE EAST A DISTANCE OF 375 FEET TO THE POINT OF BEGINNING, SAID PROPERTY BEING BOUNDED NORTH BY PROPERTY OF THE GRANTOR, WEST BY G. & S.I. RAILROAD, SOUTH BY PROPERTY NOW OR FORMERLY BELONGING TO MRS. IRIS RIGGS, AND EAST BY SAID NEW U. S. HIGHWAY 49, BEING THE SOUTH 136 FEET OF THE PROPERTY CONVEYED AS AFORESAID FROM THOMAS E. DUNCAN TO SAID MRS. FANNIE QUAVE ROUSE, SAID PARCEL OF LAND BEING IN THE SW 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, IN HARRISON COUNTY, MISSISSIPPI.

AND ALSO:

A CERTAIN LOT OR PARCEL OF LAND BEGINNING AT A POINT IN THE WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49, WHICH POINT IS 505 FEET SOUTH OF THE NORTHEAST CORNER OF THAT PROPERTY ACQUIRED BY THE GRANTOR, L. L. ROUSE AND HIS WIFE, FANNIE QUAVE ROUSE, FROM THOMAS E. DUNCAN BY WARRANTY DEED DATED AUGUST 30, 1946 AND RECORDED IN BOOK 294 AT PAGE 336 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI, AND FROM SAID POINT OF BEGINNING RUNNING NORTH ALONG SAID WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49 A DISTANCE OF 75 FEET TO A POINT IN SAID WEST RIGHT-OF-WAY; RUNNING THENCE WEST AND PARALLEL WITH THE SOUTHERN BOUNDARY OF SAID PROPERTY ACQUIRED BY MRS. FANNIE QUAVE ROUSE FROM SAID THOMAS E. DUNCAN A DISTANCE OF 375 FEET TO THE EAST RIGHT-OF-WAY OF THE G & S I RAILROAD; RUNNING THENCE SOUTH ALONG THE SAID EAST RIGHT- OF-WAY OF THE G & S I RAILROAD A DISTANCE OF 75 FEET; RUNNING

THENCE EAST A DISTANCE OF 375 FEET TO A POINT OF BEGINNING, SAID PROPERTY BEING BOUNDED NORTH BY PROPERTY OF THE GRANTOR, WEST BY G & S I RAILROAD, SOUTH BY PROPERTY HERETOFORE CONVEYED BY GRANTORS TO GRANTEEES UNDER DATE OF JUNE 10, 1955 AND RECORDED IN BOOK 397, PAGES 176-177 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI; AND EAST BY SAID NEW U. S. HIGHWAY 49; BEING THE NORTH 75 FEET OF THE SOUTH 211 FEET OF THE PROPERTY CONVEYED AS AFORESAID FROM THOMAS E. DUNCAN TO SAID MRS. FANNIE QUAVE ROUSE, SAID PARCEL OF LAND BEING IN THE SW 1/4 OF THE NW1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST IN HARRISON COUNTY, MISSISSIPPI. (TAX PARCEL NUMBER: 0808D-04-007.000).



Angela Shuck 1st JUDICIAL DISTRICT
 Instrument 2025-0024235-D-J1
 Filed/Recorded 11/05/2025 2:49:02 PM
 Total Fees 26.00
 3 Pages Recorded

PREPARED BY:
 Michael J. Yentzen
 Esplanade Land & Title Co., LLC
 2205 John Hill Blvd., Bldg. 3, Ste. D
 Gulfport, MS 39501
 (228) 594-8860
 MS Bar # 100866

RETURN TO:
 Michael J. Yentzen
 Esplanade Land & Title Co., LLC
 2205 John Hill Blvd., Bldg. 3, Ste. D
 Gulfport, MS 39501
 (228) 594-8860

**STATE OF MISSISSIPPI
 COUNTY OF HARRISON
 FIRST JUDICIAL DISTRICT**

WARRANTY DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged, We

ELLEN M. GUIDRY
 24344 AIREY TOWER RD.
 SAUCIER, MS 39574
 228.326.0071

THOMAS LESLIE COMPTON, and JEREMY DEDEAUX
 24348 AIREY TOWER RD. 18039 DARA HILLS RD.
 SAUCIER, MS 39574 GULFPORT, MS 39503
 228.861.8160 228.313.5713

do hereby sell, convey, and warrant unto

EXPRESS OIL CHANGE, L.L.C.
 A DELAWARE LIMITED LIABILITY COMPANY
 1880 SOUTHPARK DRIVE
 BIRMINGHAM, AL 35244
 205.397.1159

Our three-fifths (3/5) interest each in the following described land and property, lying and being situated in Harrison County, Mississippi, First Judicial District, more particularly and certainly described as follows:

(See Exhibit A attached)(Page 3)

Indexing instructions: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT.

This conveyance is subject to all covenants, restrictions, easements, rights of way and other matters of record. It is agreed and understood that the taxes for the current year have been prorated as of this date on an estimated basis, and when said taxes are actually determined, if the proration as of this date is incorrect, the Grantors agree to pay said Grantee or its assigns any deficit on actual proration.

WITNESS the signatures of the Grantors on this the 3rd day of November, 2025.

Ellen M. Guidry
 ELLEN M. GUIDRY – GRANTOR

Thomas S. Compton
 THOMAS LESLIE COMPTON – GRANTOR

Jeremy DeDeaux
 JEREMY DEDEAUX – GRANTOR

PREPARED BY:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd., Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860
MS Bar # 100866

RETURN TO:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd., Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

WARRANTY DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged, We

ELLEN M. GUIDRY 24344 AIREY TOWER RD. SAUCIER, MS 39574 228.326.0071	THOMAS LESLIE COMPTON, and JEREMY DEDEAUX 24348 AIREY TOWER RD. SAUCIER, MS 39574 228.861.8160	18039 DARA HILLS RD. GULFPORT, MS 39503 228.313.5713
---	---	--

do hereby sell, convey, and warrant unto

EXPRESS OIL CHANGE, L.L.C.
A DELAWARE LIMITED LIABILITY COMPANY
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
205.397.1159

Our three-fifths (3/5) interest each in the following described land and property, lying and being situated in Harrison County, Mississippi, First Judicial District, more particularly and certainly described as follows:


(See Exhibit A attached)(Page 3)

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WITNESS the signatures of the Grantors on this the 3rd day of November, 2025.


ELLEN M. GUIDRY - GRANTOR


THOMAS LESLIE COMPTON - GRANTOR

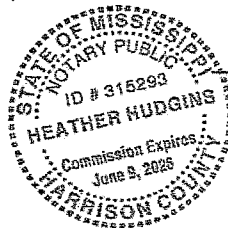

JEREMY DEDEAUX - GRANTOR

STATE OF MISSISSIPPI
COUNTY OF HARRISON

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 3rd day of November, 2025, within my jurisdiction, the within named ELLEN M. GUIDRY, who acknowledged that she signed, executed, and delivered the above and foregoing instrument.

GIVEN under my hand and official seal of office.

My Commission Expires:
June 9, 2026



Heather Hudgins
NOTARY PUBLIC



STATE OF MISSISSIPPI
COUNTY OF HARRISON

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 3rd day of November, 2025, within my jurisdiction, the within named THOMAS LESLIE COMPTON, who acknowledged that she signed, executed, and delivered the above and foregoing instrument.

GIVEN under my hand and official seal of office.

My Commission Expires:
Jun 9, 2026



Heather Hudgins
NOTARY PUBLIC

STATE OF MISSISSIPPI
COUNTY OF HARRISON

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 3rd day of November, 2025, within my jurisdiction, the within named JEREMY DEDEAUX, who acknowledged that he signed, executed, and delivered the above and foregoing instrument.

GIVEN under my hand and official seal of office.

My Commission Expires:
June 9, 2026



Heather Hudgins
NOTARY PUBLIC

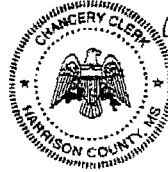
EXHIBIT "A"

Legal Description: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

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AND ALSO:

A CERTAIN LOT OR PARCEL OF LAND BEGINNING AT A POINT IN THE WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49, WHICH POINT IS 505 FEET SOUTH OF THE NORTHEAST CORNER OF THAT PROPERTY ACQUIRED BY THE GRANTOR, L. L. ROUSE AND HIS WIFE, FANNIE QUAVE ROUSE, FROM THOMAS E. DUNCAN BY WARRANTY DEED DATED AUGUST 30, 1946 AND RECORDED IN BOOK 294 AT PAGE 336 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI, AND FROM SAID POINT OF BEGINNING RUNNING NORTH ALONG SAID WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49 A DISTANCE OF 75 FEET TO A POINT IN SAID WEST RIGHT-OF-WAY; RUNNING THENCE WEST AND PARALLEL WITH THE SOUTHERN BOUNDARY OF SAID PROPERTY ACQUIRED BY MRS. FANNIE QUAVE ROUSE FROM SAID THOMAS E. DUNCAN A DISTANCE OF 375 FEET TO THE EAST RIGHT-OF-WAY OF THE G & S I RAILROAD; RUNNING THENCE SOUTH ALONG THE SAID EAST RIGHT-OF-WAY OF THE G & S I RAILROAD A DISTANCE OF 75 FEET; RUNNING THENCE EAST A DISTANCE OF 375 FEET TO A POINT OF BEGINNING, SAID PROPERTY BEING BOUNDED NORTH BY PROPERTY OF THE GRANTOR, WEST BY G & S I RAILROAD, SOUTH BY PROPERTY HERETOFORE CONVEYED BY GRANTORS TO GRANTEEES UNDER DATE OF JUNE 10, 1955 AND RECORDED IN BOOK 397, PAGES 176-177 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI; AND EAST BY SAID NEW U. S. HIGHWAY 49; BEING THE NORTH 75 FEET OF THE SOUTH 211 FEET OF THE PROPERTY CONVEYED AS AFORESAID FROM THOMAS E. DUNCAN TO SAID MRS. FANNIE QUAVE ROUSE, SAID PARCEL OF LAND BEING IN THE SW 1/4 OF THE NW1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST IN HARRISON COUNTY, MISSISSIPPI. (TAX PARCEL NUMBER: 0808D-04-007.000).



Angela Hunt 1st JUDICIAL DISTRICT
Instrument 2025-0024234-D-J1
Filed/Recorded 11/05/2025 2:49:01 PM
Total Fees 28.00
7 Pages Recorded

PREPARED BY:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd., Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860
MS Bar # 100866

RETURN TO:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd., Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

ADMINISTRATOR'S DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged,

PAUL NITKIEWICZ, ADMINISTRATOR
THE ESTATE OF KAREN MELINDA NITKIEWICZ
24376 AIREY TOWER ROAD,
SAUCIER, MS 39574
228.697.7421

does hereby sell, convey, and warrant unto

EXPRESS OIL CHANGE, L.L.C.
A DELAWARE LIMITED LIABILITY COMPANY
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
205.397.1159

Its one-fifth (1/5) interest in the following described land and property, lying and being situated in Harrison County, Mississippi, First Judicial District, more particularly and certainly described as follows:

(See Exhibit A attached)(Page 3)

Indexing instructions: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT.

This conveyance is subject to all covenants, restrictions, easements, rights of way and other matters of record. It is agreed and understood that the taxes for the current year have been prorated as of this date on an estimated basis, and when said taxes are actually determined, if the proration as of this date is incorrect, the Grantor agrees to pay said Grantee or its assigns any deficit on actual proration.

WITNESS the signature of the Grantor on this the 3rd day of November, 2025.

THE ESTATE OF KAREN MELINDA NITKIEWICZ – GRANTOR

By: *Paul Nitkiewicz*
PAUL NITKIEWICZ, ADMINISTRATOR

PREPARED BY:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd., Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860
MS Bar # 100866

RETURN TO:
Michael J. Yentzen
Esplanade Land & Title Co., LLC
2205 John Hill Blvd., Bldg. 3, Ste. D
Gulfport, MS 39501
(228) 594-8860

**STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT**

ADMINISTRATOR'S DEED

For and in consideration of the sum of TEN AND NO/100THS DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all which is hereby acknowledged,

PAUL NITKIEWICZ, ADMINISTRATOR
THE ESTATE OF KAREN MELINDA NITKIEWICZ
24376 AIREY TOWER ROAD,
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WITNESS the signature of the Grantor on this the 3rd day of November, 2025.

THE ESTATE OF KAREN MELINDA NITKIEWICZ – GRANTOR

By: 
PAUL NITKIEWICZ, ADMINISTRATOR

STATE OF MISSISSIPPI
COUNTY OF HARRISON

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 3rd day of November, 2025, within my jurisdiction, the within named PAUL NITKIEWICZ, who acknowledged that he signed, executed, and delivered the above and foregoing instrument as ADMINISTRATOR of the ESTATE OF KAREN MELINDA NITKIEWICZ, after being authorized to do so by Order of the Chancery Court of Harrison County, Mississippi, First Judicial District, under Cause Number 24-2344(2).

GIVEN under my hand and official seal of office.

My Commission Expires:
June 9, 2026


NOTARY PUBLIC



EXHIBIT "A"

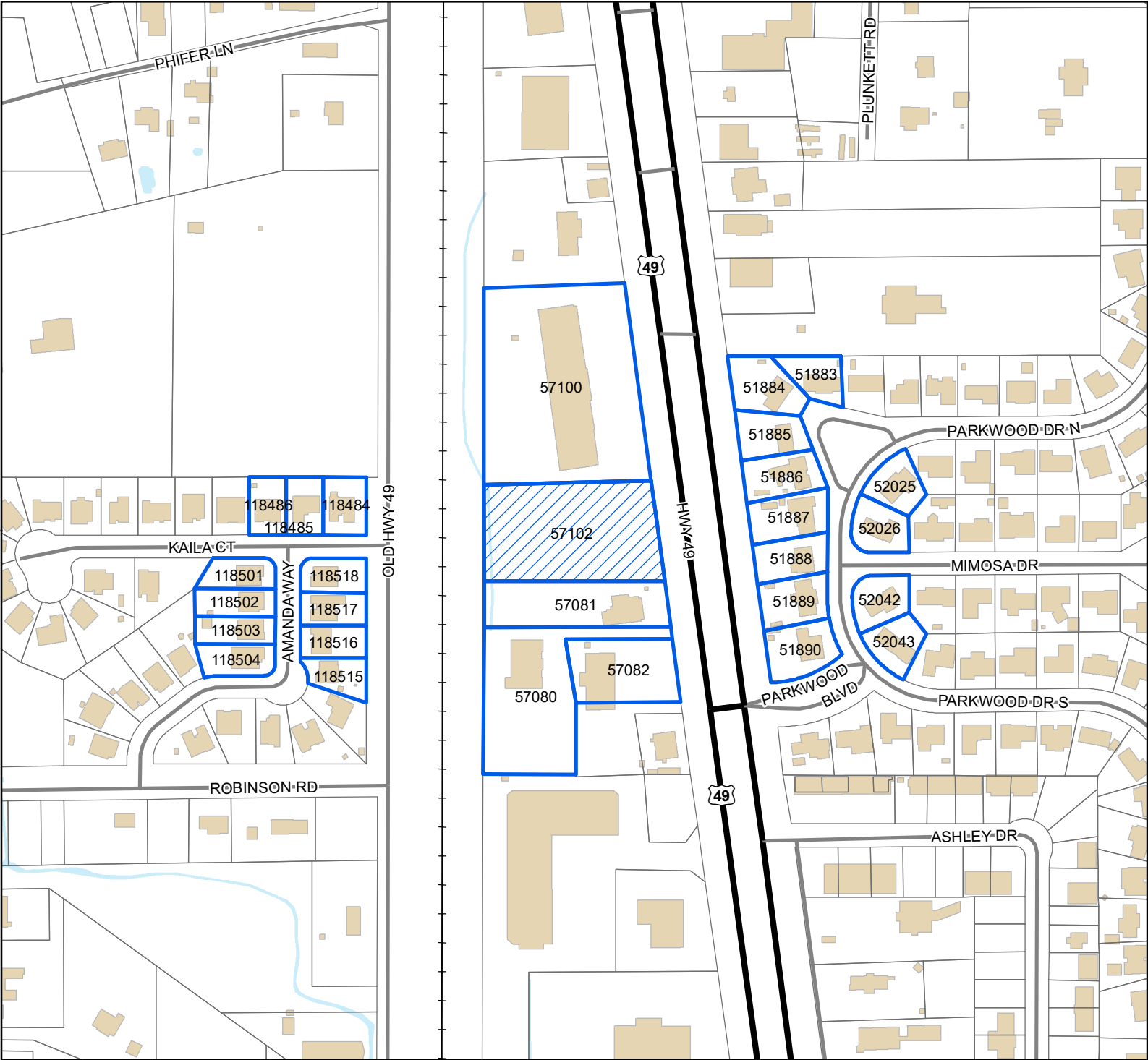
Legal Description: A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW ¼ OF THE NW ¼) OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST, HARRISON COUNTY, MISSISSIPPI, FIRST JUDICIAL DISTRICT, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

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AND ALSO:

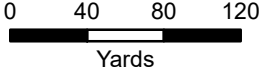
A CERTAIN LOT OR PARCEL OF LAND BEGINNING AT A POINT IN THE WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49, WHICH POINT IS 505 FEET SOUTH OF THE NORTHEAST CORNER OF THAT PROPERTY ACQUIRED BY THE GRANTOR, L. L. ROUSE AND HIS WIFE, FANNIE QUAVE ROUSE, FROM THOMAS E. DUNCAN BY WARRANTY DEED DATED AUGUST 30, 1946 AND RECORDED IN BOOK 294 AT PAGE 336 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI, AND FROM SAID POINT OF BEGINNING RUNNING NORTH ALONG SAID WEST RIGHT-OF-WAY OF NEW U. S. HIGHWAY 49 A DISTANCE OF 75 FEET TO A POINT IN SAID WEST RIGHT-OF-WAY; RUNNING THENCE WEST AND PARALLEL WITH THE SOUTHERN BOUNDARY OF SAID PROPERTY ACQUIRED BY MRS. FANNIE QUAVE ROUSE FROM SAID THOMAS E. DUNCAN A DISTANCE OF 375 FEET TO THE EAST RIGHT-OF-WAY OF THE G & S I RAILROAD; RUNNING THENCE SOUTH ALONG THE SAID EAST RIGHT-OF-WAY OF THE G & S I RAILROAD A DISTANCE OF 75 FEET; RUNNING THENCE EAST A DISTANCE OF 375 FEET TO A POINT OF BEGINNING, SAID PROPERTY BEING BOUNDED NORTH BY PROPERTY OF THE GRANTOR, WEST BY G & S I RAILROAD, SOUTH BY PROPERTY HERETOFORE CONVEYED BY GRANTORS TO GRANTEES UNDER DATE OF JUNE 10, 1955 AND RECORDED IN BOOK 397, PAGES 176-177 OF THE DEED RECORDS OF HARRISON COUNTY, MISSISSIPPI; AND EAST BY SAID NEW U. S. HIGHWAY 49; BEING THE NORTH 75 FEET OF THE SOUTH 211 FEET OF THE PROPERTY CONVEYED AS AFORESAID FROM THOMAS E. DUNCAN TO SAID MRS. FANNIE QUAVE ROUSE, SAID PARCEL OF LAND BEING IN THE SW 1/4 OF THE NW1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 11 WEST IN HARRISON COUNTY, MISSISSIPPI. (TAX PARCEL NUMBER: 0808D-04-007.000).

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		1010F-02-022.000	EXPRESS OIL CHANGE, LLC (OWNER)	1880 SOUTH PARK DR	BIRMINGHAM	AL	35244
			CARL B HAMILTON (AGENT)	1603 KESINGTON ST	OCEAN SPRINGS	MS	39564
			Adjacent Property Owners (2603ARC007)				
	51883	0808D-02-033.000	CASTIGLIA MICHAEL A & KAREN E	15464 PARKWOOD DR N	GULFPORT	MS	39503
	118518	0708A-01-007.035	TAYLOR DERICK & EBONY	12310 AMANDA WAY	GULFPORT	MS	39503
	57081	0808D-04-008.000	LAKEVIEW MANAGEMENT INC	12303 HWY 49	GULFPORT	MS	39503
	51890	0808D-02-032.000	COGGINS JAN L	15506 PARKWOOD DR N	GULFPORT	MS	39503
	118515	0708A-01-007.032	SALVAGGIO REGINA S	12280 AMANDA WAY	GULFPORT	MS	39503
	52043	0808D-03-085.000	VACATION BEACH CONDOS LLC	3163 SKYPARK DR	HOUSTON	TN	77082
	52025	0808D-03-018.000	HOSMER MARY T -TRUSTEE-	15465 N PARKWOOD DR	GULFPORT	MS	39503
	51886	0808D-02-028.000	HARRELL MICHAEL A & SHALISA D CARY	15470 PARKWOOD DR N	GULFPORT	MS	39503
	118502	0708A-01-007.019	CUEVAS ALEXANDRA DAWN	12301 AMANDA WAY	GULFPORT	MS	39503
	57100	0808D-04-006.000	DIP SOUTH LLC	P O BOX 3226	GULFPORT	MS	39505
	51889	0808D-02-031.000	SAUCIER MARY ANN	15496 N PARKWOOD DR	GULFPORT	MS	39503
	51887	0808D-02-029.000	ELLIS BRYAN B	15478 N PARKWOOD DR	GULFPORT	MS	39503
	118503	0708A-01-007.020	PALMER BENJAMIN & CATHERINE	12291 AMANDA WAY	GULFPORT	MS	39503
	51884	0808D-02-026.000	MESHREKI HANAA	15468 PARKWOOD DRIVE NORTH	GULFPORT	MS	39503
	118501	0708A-01-007.018	KOSTNER BRENTEN R	12311 AMANDA WAY	GULFPORT	MS	39503
	52042	0808D-03-084.000	RODRIGUEZ NESTOR	15449 MIMOSA DRIVE	GULFPORT	MS	39503
	118485	0708A-01-007.002	NGUYEN KEVIN QUOC DUONG & JULIE	16010 KAILA CT	GULFPORT	MS	39503
	118484	0708A-01-007.001	GRIZZARD CHRIS & KIM	16000 KAILA COURT	GULFPORT	MS	39503
	118517	0708A-01-007.034	WARE TIFFANY R & FELICIA A KEYHEA	12300 AMANDA WAY	GULFPORT	MS	39503
	118504	0708A-01-007.021	MEDINA JOSE	12281 AMANDA WAY	GULFPORT	MS	39503
	51888	0808D-02-030.000	CUNNINGHAM CHARLES C	15488 PARKWOOD DR	GULFPORT	MS	39503
	57102	0808D-04-007.000	COMPTON FRANCES LOURETTE ROUSE-EST	C/O ELLEN GUIDRY	SAUCIER	MS	39574
	52026	0808D-03-019.000	GMC ENTERPRISES LLC	205 BARTLETT AVE	WOODLAND	CA	95695
	118516	0708A-01-007.033	ANDERSON CHARITY & JUSTIN	12290 AMANDA WAY	GULFPORT	MS	39503
	51885	0808D-02-027.000	BOTROS MAGDY ADIEB & MESHREKI H	15468 PARKWOOD DR N	GULFPORT	MS	4E+08
	118486	0708A-01-007.003	HOANG ON -L/E-	16020 KAILA CT	GULFPORT	MS	39503
	57080	0808D-04-010.000	TDL OFFICE LLC	PO BOX 3630	BAY ST LOUIS	MS	39521
	57082	0808D-04-009.000	ANTHONY'S INVESTMENTS LLC	13386 ROAD 513	SAUCIER	MS	39571



Legend

-  Site
-  US or State Highway
-  Street
-  Railroad
-  Buildings
-  Water Features



1 inch = 300 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



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228.868.5710 | PLANNERS@GULFPORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE

Hearing Date: Thursday, March 12, 2026

Architectural Review Committee Permits