



Planning Commission | Agenda

Thursday, February 26, 2026 – 4:30 PM

City Hall – Council Chambers
2309 15th Street, Gulfport

- A. Prayer**
- B. Pledge of Allegiance**
- C. Call to Order**
- D. Determination of a Quorum**
- E. Confirmation of Agenda**
- F. Adoption of Minutes**

F1. Planning Commission Meeting - 01-22-2026

G. Announcements

G1. If you are aggrieved by a vote of the Planning Commission, see below.

DECISION ITEMS: Except as noted below, items listed on this agenda as “Decision Items” may be appealed to the Gulfport City Council as follows: Any person or any officer, department or agency of the City aggrieved by a decision of the Planning Commission may, within fifteen (15) days thereafter, appeal therefore to the Gulfport City Council by submitting to the Planning Commission (Department of Urban Development – Planning Division) a written notice of appeal specifying the decision from which the appeal is taken. In the case of such appeal, the Planning Commission shall cause a transcript of the proceedings in the case to be certified to the City Council, and the matter will be heard on said transcripts. The filing fee for an appeal is based on the actual cost of the required official transcript and any related miscellaneous charges.

Exception: The disapproval of a general subdivision plan may be appealed by the subdivider by submitting to the Planning Commission and the Mayor and City Council a written notice of appeal. Upon receipt of notice of appeal, the planning commission shall transmit to the City Council a certified copy of the proceedings upon which the appeal is taken. The City Council may overrule such disapproval by a recorded vote of not less than 2/3 of its entire membership. No other right of appeal exists as to action taken by the Planning Commission on a general subdivision plan. The City Council hearing is not limited to the record created before the Planning Commission.

RECOMMENDATION ITEMS: As to items listed on this agenda as “Recommendation Items”, the recommendation of the Planning Commission, whether to approve (with or without condition) or disapprove, will automatically be submitted to the City Council by the Department of Urban

Development – Planning Division, and the item (except recommendations on Final Plats which are not so limited) will be considered by the City Council on the record created before the Planning Commission. It is not necessary to file anything with the Planning Commission in order to have the matter heard by the City Council.

G2. Anyone speaking today is asked to complete a "Speaker's Card".

Please provide the completed card at the time you speak to the Planning Commission. City staff personnel can assist in any questions you may have or in completing the card. This public meeting is open to all for comment.

H. Hearing of Cases

H1. Planning Commission Decision

1. Planning Commission Approval 2602PC021:

Planning Commission Approval 2602PC021, by owner Henry Lane Jr., seeking approval for a mobile home use, Tax Parcel 0710G-01-119.000, Lavender Street, Zoned R-1-5 (Single-family), Ward 3

2. Planning Commission Approval 2602PC022:

Planning Commission Approval 2602PC022, by agent Carol Leggett, seeking approval for an event center use, Tax Parcel 0808O-01-006.000, 14321 Dedeaux Road, Zoned B-2 (General Business), Ward 4

H2. Planning Commission Recommendation

1. Zoning Text & Map Amendment 2603PC028:

Zoning Text & Map Amendment 2603PC028, by City of Gulfport, consider amendment to the City's zoning map to modify Airport Environs and Airspace Zoning District (AEAZD) Land Use Compatibility Overlay Area and amend the Comprehensive Zoning Ordinance to appoint the Planning Commission to be the Airport Zoning Commission and clarify appeal procedures

I. Reports

J. Unfinished Business

K. Other Business

L. Adjournment

MINUTES
GULFPORT CITY PLANNING COMMISSION
Thursday, January 22, 2026, 4:30 P.M.
City Hall Council Chambers

- A. **Prayer:** The Planning Commission led a prayer.
- B. **Pledge of Allegiance:** The Pledge of Allegiance was recited.
- C. **Call to Order:** The meeting of the Planning Commission was called to order at **4:30 P.M.**
- D. **Determination of a Quorum:** A roll call was performed and a quorum was determined.

BOARD MEMBERS PRESENT:

WM. PRINCE JONES
KEITH WILLIAMS
TIM DAIGLE JR
CHRIS ROMANO
DOUG HANCOCK
BRYAN JACOBS
HAROLD SPANN
VIRGINIA ADOLPH

BOARD MEMBERS ABSENT:

CHARLIE HEWES
DANIEL KEATING
BILL WILLIAMS

STAFF MEMBERS PRESENT:

GREG HOLMES
MATILDA WELCH
SAMUEL SMITH
WILLIAM DICKINSON

COURT REPORTER:

NORMA JEAN SOROE

E. **Confirmation of Agenda:**

F. **Adoption of Minutes:**

Motion by **Tim Daigle Jr** and seconded by **Doug Hancock** to approve Minutes of the **December 18, 2025** Planning Commission meetings was carried unanimously.

G. **Hearing of Cases:**

G1. The PUBLIC DECLARATION OF APPEAL PROCESS was read by the Chairperson: Any person or any officer, department or agency of the City aggrieved by any decision of the Planning Commission may within fifteen (15) days thereafter appeal there from to the mayor and City Council by filing with the Planning Commission a written notice of appeal specifying the decision from which the appeal is taken. In case of such appeal, the Planning Commission shall cause a transcript of the proceedings in the case to be certified to the mayor and City Council, and the matter will be heard on said transcripts. The filing fee for an appeal is based on the actual cost of the required official transcript and any related miscellaneous charges. Any appeal shall be in writing and submitted to the Department of Urban Development–Planning Division stating what decision is being appealed and detailing how you are aggrieved.

G2. The Chairperson asked for anyone speaking at the meeting to complete a Speaker’s Card.

G3. Routine Agenda

H1. Planning Commission Decisions

1. Planning Commission Approval 2511SE126: (Withdrawn by Planning Staff)

Special Exception 2511SE126, by agent Timmithy Wilks, seeking approval for an assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3

Speaking for the Petition:

Speaking against the Petition:

Motion:

Second:

KEITH WILLIAMS	– Chairman
VIRGINIA ADOLPH	–
CHARLIE HEWES	–
DANIEL KEATING	–
WM. PRINCE JONES	–
DOUG HANCOCK	–
BRYAN JACOBS	–
TIM DAIGLE JR	–
CHRIS ROMANO	–
HAROLD SPANN	–
BILL WILLIAMS	–

Action:

2. Planning Commission Approval 2601PC009:

Planning Commission Approval 2601PC009, by agents Jeffery and Fallon May, seeking approval for a mobile home use, Tax Parcel 0810B-03-003.002, 8363 Virginia Avenue, Zoned R-1-5 (Single-family), Ward 3

Speaking for the Petition: Fallon May

Speaking against the Petition: Casey Lyons

Other: Malcolm Jones

Motion: Tim Daigle Jr – to deny applicants request based on manufactured homes are prohibited to be place within the airport noise contour per the City of Gulfport Ordinance with the conditions if the applicant can prove that they can modify the mobile home to meet the required decibels within 6 to 9 months.

Second: WM. Prince Jones

KEITH WILLIAMS	– Chairman
VIRGINIA ADOLPH	– Yea
CHARLIE HEWES	– Absent
DANIEL KEATING	– Absent
WM. PRINCE JONES	– Yea
DOUG HANCOCK	– Yea
BRYAN JACOBS	– Yea
TIM DAIGLE JR	– Yea
CHRIS ROMANO	– Yea
HAROLD SPANN	– Yea
BILL WILLIAMS	– Absent

Action: Motion carried unanimously.

H2. Planning Commission Recommendation

3. Zoning Map Amendment 2601PC010:

Zoning Map Amendment 2601PC010, by agent Michael Collins, requesting to rezone parcel to R-2 (Single-Family), Tax Parcel 0810I-01-040.000, 1218 37th Street, Zoned I-1 (Light Industry), Ward 3

Speaking for the Petition: Michael Collins

Speaking against the Petition: None

Other: Malcolm Jones

Motion: Tim Diagle Jr – to approve applicant’s request to withdraw application.

Second: Bryan Jacobs

KEITH WILLIAMS	– Chairman
VIRGINIA ADOLPH	– Yea
CHARLIE HEWES	– Absent
DANIEL KEATING	– Absent
WM. PRINCE JONES	– Yea
DOUG HANCOCK	– Yea
BRYAN JACOBS	– Yea
TIM DAIGLE JR	– Yea
CHRIS ROMANO	– Yea
HAROLD SPANN	– Yea
BILL WILLIAMS	– Absent

Action: Motion carried unanimously.

I. Adjournment

There being no further business , a Motion was made by Virginia Adolph to adjourn, seconded by Doug Hancock and carried unanimously. The meeting adjourned at 5:25 P.M.

William Prince Jones, Secretary

Date: _____



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, February 26, 2026

Planning Commission Decision



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, February 26, 2026

Planning Commission Approval 2602PC021: Planning Commission Approval 2602PC021, by owner Henry Lane Jr., seeking approval for a mobile home use, Tax Parcel 0710G-01-119.000, Lavender Street, Zoned R-1-5 (Single-family), Ward 3

Technical Report

PLANNING COMMISSION APPROVAL

GENERAL INFORMATION

Case File Number: 2602PC021

Hearing Date: February 19, 2026

Current Zoning/Use: R-1-5 / Vacant Lot

Legal: Planning Commission Approval 2602PC021, by owner Henry Lane Jr., seeking approval for a mobile home use, Tax Parcel 0710G-01-119.000, Lavender Street, Zoned R-1-5 (Single-family), Ward 3

TECHNICAL DETAILS

The applicant requests Planning Commission approval for the placement of a 28' x 60' mobile home on a vacant lot zoned R-1-5 (Single-Family). Per the chart of permitted uses and City of Gulfport's Ordinances, a mobile home use requires Planning Commission approval in a R-1-5 zoning district with the following setback requirements: front yard setback of 15-feet, side yard setback of 6-feet, and rear yard setback of 8-feet. The lot is on the corner of Danube Street and Lavender Street, located within the Rolling Meadows Subdivision in North Gulfport. Currently, the property is a vacant lot, but there are several cars on the lot and a camper trailer that rest on the slab where a single-family home used to be. While there are primarily single-family homes on Danube Street, there is an existing mobile home at the west end of the street at 16300 Danube Street. On the next street over, which is Hudson Street, there are four mobile homes located on this street. While conducting staff research, it was found that the mobile home located at 8100 Hawthorn Street was approved through Special Exception under both Zoning Board and Planning Commission (Case # 0612ZB298 and 0612PC299).

EXECUTIVE SUMMARY

Upon staff review, the parcel is currently vacant, however it does have existing cars parked within the lot and a camper trailer on the slab. The cars and camper trailer will need to be removed before permitting. The applicant has presented a site plan that appears to meet the setback requirements for a 28' x 60' mobile home dwelling in an R-1-5 zone. According to the site plan the mobile home will be located facing Lavender Street. The site plan identifies off street parking for two vehicles. Several of the neighboring properties have existing mobile homes. The area is a mixed use of single-family homes and a few mobile homes. Upon review of the site plan submitted by the applicant, parking and all required setbacks have been met. While conducting staff research, it was found that the mobile home located at 8100 Hawthorn Street was approved through Special Exception under both Zoning Board and Planning Commission (Case # 0612ZB298 and 0612PC299). Currently, Code Enforcement has an open case pertaining to several violations of the property and the applicant is still currently living in camper on property. If the request is to be approved, it would be in harmony with existing housing in the area.

Technical Report

PLANNING COMMISSION APPROVAL

Any approval should consider these conditions:

1. Approval would allow for a 28' x 60' mobile home use in an R-1-5 zone.
2. Cars parked within yard and camper trailer must be removed before permitting.
3. Must meet regulations for the Factory-Built Homes Law Regulation MH-5. Must meet minimum standards to occupy the mobile home. Mobile home must meet Wind Zone II standards.
4. Mr. Lane has been living in a camper on the lot for some time. Property is in disrepair and in violation of several city ordinances and codes. Current open case pertaining to several violations at the property and still currently living on property to our knowledge.

DEPARTMENTAL CONDITIONS

Engineering: No conditions. Memo dated 2/12/2026.

Public Works: No comments as of 2/13/2026.

Traffic and Safety: No conditions. Memo dated 2/4/2026.

Building Code Services: Must meet regulations for the Factory-Built Homes Law Regulation MH-5. Must meet minimum standards to occupy the mobile home. Mobile home must meet Wind Zone II standards. Memo dated 2/4/2026.

GIS: No conditions. Memo dated 2/11/2026.

Police Department: No comments as of 2/13/2026.

Fire Department: No conditions. Memo dated 2/4/2026.

City Arborist: No comments as of 2/13/2026.

Code Enforcement: Disapprove. Mr. Lane has been living in a camper on the lot for some time. Property is in disrepair and in violation of several city ordinances and codes. Current open case pertaining to several violations at the property and still currently living on property to our knowledge.

Technical Report
PLANNING COMMISSION APPROVAL

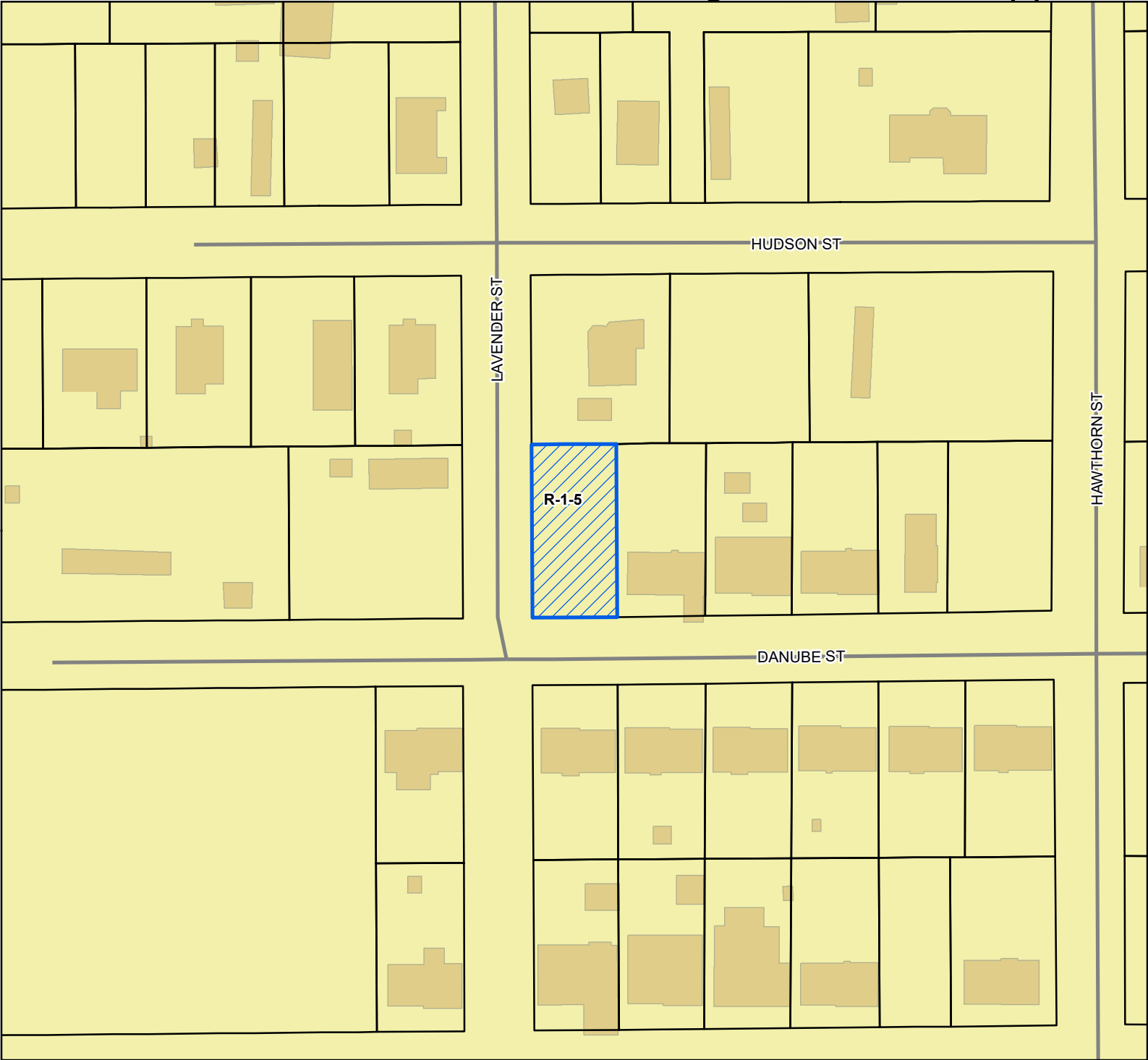
DIRECTOR APPROVAL

This report has been reviewed and approved by:



Greg Holmes

Director of Urban Development Department



Site

Street

Parcels

Buildings

City Limit

Zoning

R-1-5 - Single Family

Residence District (Medium Density)

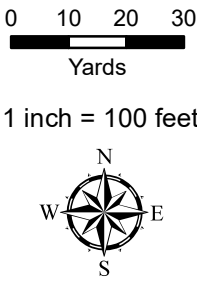
Site Information

0710G-01-119.000

Zoning: R-1-5 (Single Family)

Size: 7629.97 sqft

Flood: X



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CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

APPLICATION FOR PLANNING COMMISSION APPROVAL

For Staff Use Only

Case Number: 2602PC021Date Received: 1/5/26Receipt Number: 13644848Received By: WDZoning: R-1-5Ward: 3 Flood: XSize: 7629 sq ft

(If necessary, use separate sheet of paper)

Property Information

TAX PARCEL # 07106-01-119.000
0000
0000

Address of Property Involved: LAVERNER ST.Lot(s) 27, Block(s) 000, Subdivision ROLLING MEADOWSGeneral Location: on the corner of DANUBE ST. & LAVERNER ST.

GENERAL DESCRIPTION OF REQUEST:

(28x60) To put a mobile Home
Trailer on the Lot (FACE LAVERNER ST.)

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request.

OWNER

AGENT

Henry LANE JR.

Printed Name of Owner

69 Holly Cr.

Mailing Address

Gulfport, MS. 39501

City

State

Zip code

Home Phone

Work/Cell Phone

Email

Signature of Owner

Printed Name of Agent

Mailing Address

City

State

Zip code

Home Phone

Work/Cell Phone

Email

Signature of Agent

If the property or properties listed above have more than one owner, please check this box. In the case of multiple owners, reverse side must be completed. Each additional owner will need to complete and sign the reverse side of this application. We can only accept applications with original signatures.



SECTIONS A. THROUGH G. MUST BE SUBMITTED FOR A COMPLETE APPLICATION.

① Transportation and access will remain the same.

② Water supply, waste disposal, Fire, and Police protection provided by City of Gulfport.

③ It was a house on the lot in the past and did not undue traffic congestion or create a traffic hazard.

④ There are several mobile homes in the area, on lavender, and Harrison street.

0710G-01-072.001

0710G-01-125.000

0710H-04-014.001

LAVENDER ST

↑
112'
↓

15'

← 28' →
0710G-01-119.000

↑
60'
↓

Trailer

18'

15'

← 39' →
DRIVEWAY
concrete

0710H-04-022.001

114 DANUBE ST

DANUBE ST

DATA DISCLAIMER:

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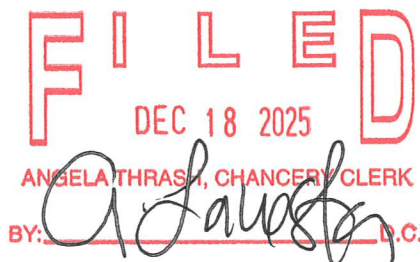
1 inch = 21 feet

Area Map

Parcels

Printed 12/3/2025





JOSEPH P. HUDSON
HUDSON & SMITH
Attorneys-at-Law
P. O. Box 908
Gulfport, MS 39502
228-863-3095

INDEXING: Lot 27, ROLLING MEADOWS, Unit Six
(6), Harrison Co., MS 1st JD

TITLE NOT EXAMINED

STATE OF MISSISSIPPI
COUNTY OF HARRISON

WARRANTY DEED

For and in consideration of the sum of TEN DOLLARS (\$10.00) cash in hand paid, and other good and valuable considerations, the receipt and sufficiency of all of which is hereby acknowledged, **I, the undersigned,**

KATRINA R. McPHERSON, 121 Danube Street, Gulfport, MS 39501 (228) 236-6456

do hereby sell, convey and warrant unto:

HENRY LANE, JR., 69 Holly Circle, Gulfport, MS 39501 (228) 234-9080

the following described land and real property being located in the First Judicial District of Harrison County, Mississippi, together with all improvements thereon situated and being more particularly described as follows:

(See Exhibit "A" attached hereto)

This conveyance is made subject to any and all restrictive covenants, easements, rights-of-way and reservations of oil, gas and other minerals of record.

All outstanding real estate taxes are assumed by the Grantee herein.

WITNESS my signature this the 17th day of December, 2025.

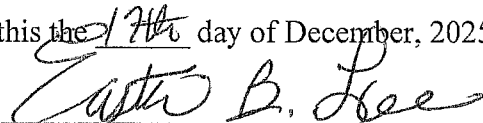

KATRINA R. McPHERSON

**STATE OF MISSISSIPPI
COUNTY OF HARRISON**

PERSONALLY appeared before me, the undersigned authority in and for said jurisdiction the within named **KATRINA R. McPHERSON**, who being by me first duly sworn on oath, acknowledged that she signed, executed and delivered the foregoing Warranty Deed on the day and year herein set forth as her voluntary act and deed.


KATRINA R. McPHERSON

SWORN to and subscribed before me this the 17th day of December, 2025,


NOTARY PUBLIC

My Commission Expires:



EXHIBIT "A"

Lot 27, ROLLING MEADOWS, Unit Six (6), a subdivision according to the official map or plat thereof on file and of record in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi, in Plat Book 28 at Page 29 thereof.

**PARCEL #0710G-01-119-000 - PPIN #054303
Property Address: Danube Street, Gulfport, MS 39501**

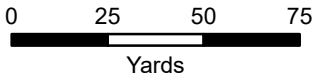
deed.HENRY LANE JR - deed Katrina McPherson 12-16-2025 (b)

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		0710G-01-119.000	HENRY LANE JR. (OWNER)	69 HOLLY CIRCLE	GULFPORT	MS	39501
			Adjacent Property Owners (2602PC021)				
	105931	0710G-01-072.001	HARRIS LATASHA	16275 HUDSON STREET	GULFPORT	MS	39507
	112432	0710G-01-073.001	SMITH S M JR	16280 DANUBE ST	GULFPORT	MS	39501
	47132	0710H-04-014.000	MCINNIS KELVIN O	24450 CUNNINGHAM RD	PASS CHRISTIAN	MS	39571
N	104039	0710H-04-014.001	MCINNIS KELVIN O	24450 CUNNINGHAM RD	PASS CHRISTIAN	MS	39571
	54300	0710H-04-023.000	SANFORD BETTY	115 DANUBE DR	GULFPORT	MS	39503
	54301	0710H-04-022.004	POWELL VALARIE	117 DANUBE ST	GULFPORT	MS	39501
	54302	0710G-01-118.000	PATTON ARTHUR RAY & BRETT C	222 LACY EVANS ROAD	WIGGINS	MS	39577
	47145	0710G-01-054.000	SJI LLC	9366 STONE RD	GULFPORT	MS	39503
	47146	0710G-01-056.000	POWELL TIMOTHY & RODENA	3603 LAVENDER ST	GULFPORT	MS	39501
	47130	0710G-01-072.000	CASTILLO SANDRA	16295 HUDSON ST	GULFPORT	MS	39501
	54299	0710H-04-024.000	HOWARD SHARON M	113 DANUBE ST	GULFPORT	MS	39503
	54281	0710G-01-082.000	SCOTT BERNICE -ESTATE-	121 DANUBE ST	GULFPORT	MS	39501
	54294	0710H-04-038.000	COLLINS GLENDA D	114 MISSOURI DR	GULFPORT	MS	39501
	54293	0710H-04-038.001	COLE LEE R & SHELLY JEAN	116 MISSOURI ST	GULFPORT	MS	39501
	54306	0710H-04-021.000	NGUYEN THUY T	8324 CABOCHON WAY	SACRAMENTO	CA	96829
	54305	0710H-04-022.000	KEYES MELVIN D	112 DANUBE ST	GULFPORT	MS	39501
	54304	0710H-04-022.001	GROVESNOR DORIS M	114 DANUBE ST	GULFPORT	MS	39503
	47139	0710H-04-013.001	NICHOLS IVAN ETAL	1502 MILL RD	GULFPORT	MS	39507
	112431	0710G-01-072.004	TIMS VERHONDA A	16285 HUDSON ST	GULFPORT	MS	39501
	54280	0710G-01-081.000	WILLIAMS MARIE D	120 MISSOURI ST	GULFPORT	MS	39501
	113116	0710G-01-125.000	MCINNIS KELVIN O & DONNA M DEDEAUX	24450 CUNNINGHAM RD	PASS CHRISTIAN	MS	39571
	47140	0710G-01-120.000	MURPHY CRAIG SR -L/E-	4 THRIVENT LN	LONG BEACH	MS	39560
	54303	0710G-01-119.000	MCPHERSON KATRINA R	121 DANUBE ST	GULFPORT	MS	39501
	54295	0710H-04-037.000	BJT HOLDINGS LLC	8635 WEST SAHARA AVE #569	LAS VEGAS	NV	89117
	54292	0710G-01-117.000	LOVE LETTYE B	118 MISSOURI DR	GULFPORT	MS	39501
	47131	0710G-01-073.000	ALEXANDER SHERMITA	16300 DANUBE ST	GULFPORT	MS	39503
	47138	0710H-04-013.000	PRESTON JOE LEE & WILLIAMS MATTIE	16250 HUDSON ST	GULFPORT	MS	39501
N	90625	0710G-01-083.000	MCPHERSON KATRINA	121 DANUBE ST	GULFPORT	MS	39501

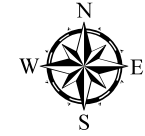


Legend

- Site
- Street
- Buildings



1 inch = 150 feet



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AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Cols	Depth
51445	IPL0311328	Legal Ad - IPL0311328		1.0	52.0L

ATTENTION: GULFPORT URBAN DEVELOPMENT IP
PO BOX 1780
GULFPORT, MS 39502
accountspayable@gulfport-ms.gov;sasmith@gulfport-ms.gov

LEGAL NOTICE PUBLIC HEARING

In conformance with Section VIII of the Comprehensive Zoning Ordinance of the City of Gulfport, Mississippi, 1979 as amended, notice is hereby given advising that the Gulfport City Planning Commission will hold a public hearing in the City of Gulfport, Mississippi at 4:30 P.M., Thursday, February 26, 2026 in the Council Chambers of the Gulfport City Hall located at 2309 15th Street to consider the following requests. A copy of the requests will be available for public review at the office of the Department of Urban Development, Planning Division, located on first floor of the William H. Hardy Building, 1410 24th Avenue.

Planning Commission Approval 2602PC021, by owner Henry Lane Jr., seeking approval for a mobile home use, Tax Parcel 0710G-01-119.000, Lavender Street, Zoned R-1-5 (Single-family), Ward 3

Planning Commission Approval 2602PC022, by agent Carol Leggett, seeking approval for an event center use, Tax Parcel 0808O-01-006.000, 14321 Dedeaux Road, Zoned B-2 (General Business), Ward 4

Zoning Text & Map Amendment 2603PC028, by City of Gulfport, consider amendment to the City's zoning map to modify Airport Environs and Airspace Zoning District (AEAZD) Land Use Compatibility Overlay Area and amend the Comprehensive Zoning Ordinance to appoint the Planning Commission to be the Airport Zoning Commission and clarify appeal procedures

This the 4th day of February 2026
Keith Williams, Chairman
City of Gulfport Planning Commission
IPL0311328
Feb 11 2026

STATE OF MISSISSIPPI
COUNTY OF HARRISON

Before me, the undersigned Notary personally appeared the undersigned, who, being by me first duly sworn, did depose and say that he/she is a clerk of The Sun Herald, a daily newspaper published in the city of Gulfport, in Harrison County, Mississippi and the publication of the notice, a copy of which is hereto attached, has been made in said paper in the issue(s) of:

1.0 insertion(s) published on:
02/11/26 Print

[Print Tearsheet Link](#)

[Marketplace Link](#)

Sherry Chasteen



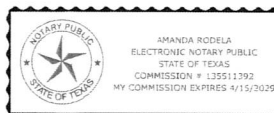
Sherry Chasteen

Amanda Rodela



Sworn to and subscribed before
me on

Feb 11, 2026, 10:27 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNiX



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, February 26, 2026

Planning Commission Approval 2602PC022: Planning Commission Approval 2602PC022, by agent Carol Leggett, seeking approval for an event center use, Tax Parcel 0808O-01-006.000, 14321 Dedeaux Road, Zoned B-2 (General Business), Ward 4

Technical Report

PLANNING COMMISSION APPROVAL

GENERAL INFORMATION

Case File Number: 2602PC022

Hearing Date: February 26, 2026

Current Zoning/Use: B-2 / Commercial Structure

Legal: Planning Commission Approval 2602PC022, by agent Carol Leggett, seeking approval for an event center use, Tax Parcel 0808O-01-006.000, 14321 Dedeaux Road, Zoned B-2 (General Business), Ward 4

TECHNICAL DETAILS

The applicant is seeking approval for an event center use in a B-2 zoning district. Ordinance requires that for B-2 zoning districts event centers are allowed with Planning Commission Approval with the following conditions: parking must be on the same site as the event center, must have the required alcohol license from the state to serve liquor, provide landscape buffering/screening from residential adjacent properties, provide health departments inspection documents if serving food, must comply with building codes for event use, must comply with fire code capacity, and must comply with the city's noise ordinance. The applicant claims in their application that the former use of the premises was a boutique and salon, and the proposed use is a DIY craft studio that includes a designated area for private events such as birthday parties and team-building activities. Upon staff review of the subject site, while records show that a beauty shop or salon was on this property prior, it was in a separate suite than where the proposed business is moving into. The current parking ordinance would require 1 parking space for every 300 square feet of gross floor area for the proposed use in addition to required ADA handicap parking space. According to the site plan provided, the suite will have a gross floor area of 3,812 square feet which will require 13 regular parking spaces, being 9 feet wide and 18 feet in depth, along with 1 ADA compliant van accessible parking space. The site plan notes the property is to have a total of 70 regular parking spaces and four handicap spaces being shared between the businesses on site. Staff reviewed the parking requirements for each existing business and proposed business, which would be the same requirement listed above for the retail, offices and proposed personal service establishment of 1 regular parking space for every 300 square feet of gross floor area, to determine if the site would be able to accommodate parking for all business uses present and proposed. The primary structure is approximately 19,307 square feet according to information provided by Harrison County's Tax Assessor's Office, which would require a total of 65 regular parking spaces and 3 ADA compliant handicap parking spaces. From what staff noted via a site visit, the existing businesses nearby include: Taste Budz ice cream shop, Southern Home Private Care office, The Car Doctor mechanic shop, the Sherwin Williams paint supply store, along with First Christian Church and Crossroads Assembly of God north of Dedeaux Road. In addition, while there are existing businesses nearby there also are residential homes in the nearby area such as Pecan Grove subdivision to the north and Southern Breeze Estates to the west.

Technical Report

PLANNING COMMISSION APPROVAL

EXECUTIVE SUMMARY

The applicant is seeking approval for an event center use on a property zoned B-2, which requires Planning Commission Approval for the use. The parking ordinance requires 1 regular 9-foot by 18-foot parking space for every 300 square feet of gross floor area. The provided site plan notes the suite the event center is going into has 3,812 square feet of gross floor area, which would require 13 regular parking spaces and minimum 1 ADA compliant van-accessible parking space. The provided site plan notes the site to accommodate 70 regular parking spaces and 4 ADA handicap spaces that would be shared with the other businesses on site. Upon staff review of the parking requirements for the proposed personal service establishment and existing offices and retail business, the approximate 19,307 square foot primary structure would require 65 regular parking spaces and 3 ADA compliant handicap parking spaces. Upon a site visit conducted by staff, it was noted that the existing business in the nearby area include Taste Budz ice cream shop, Southern Home Private Care office, The Car Doctor mechanic shop, the Sherwin Williams paint supply store, along with First Christian Church and Crossroads Assembly of God north of Dedeaux Road. In addition, while there are existing businesses nearby there also are residential homes in the nearby area such as Pecan Grove subdivision to the north and Southern Breeze Estates to the west. There are some conditions listed below from other departments regarding any approval for the proposed event center use.

Any approval should consider these conditions:

1. Approval allows for an event center use in a B-2 zoning district.
2. This will be a change of use into an Assembly (A2) Occupancy. This building must meet all current adopted City of Gulfport Codes and Ordinances.

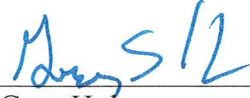
DEPARTMENTAL CONDITIONS

<u>Engineering:</u>	No conditions. Memo dated 2/12/26.
<u>Public Works:</u>	No comment as of 2/13/26.
<u>Traffic and Safety:</u>	No conditions. Memo dated 2/4/26.
<u>Building Code Services:</u>	This will be a change of use into an Assembly (A2) Occupancy. This building must meet all current adopted City of Gulfport Codes and Ordinances. Memo dated 2/4/26.
<u>GIS:</u>	No conditions. Memo dated 2/11/26.
<u>Police Department:</u>	No comment as of 2/13/26.
<u>Fire Department:</u>	No conditions. Memo dated 2/4/26.
<u>City Arborist:</u>	No comment as of 2/13/26.
<u>Landscape Manager:</u>	No conditions. Memo dated 2/4/26.

Technical Report
PLANNING COMMISSION APPROVAL

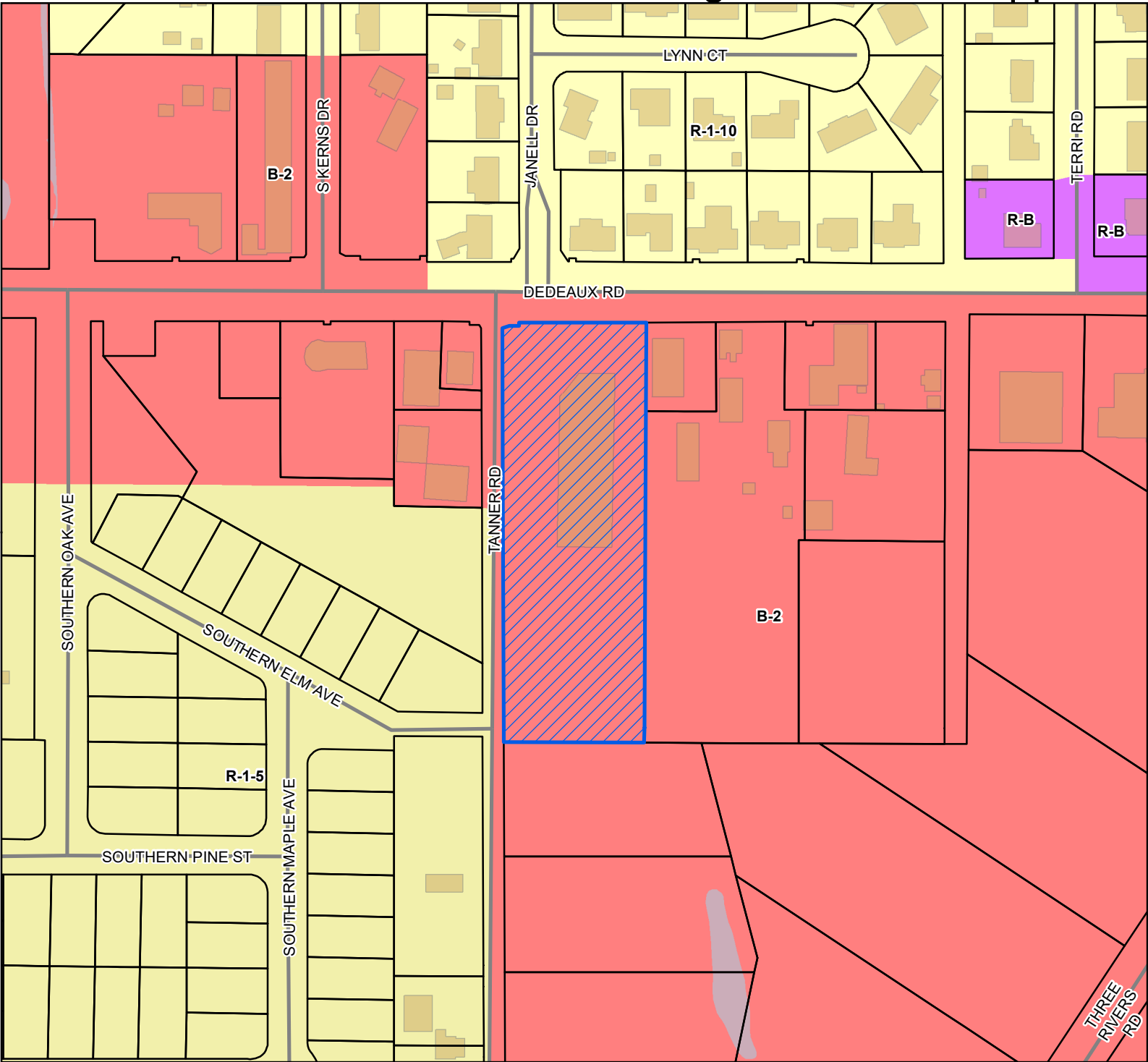
DIRECTOR APPROVAL

This report has been reviewed and approved by:



Greg Holmes

Director of Urban Development Department



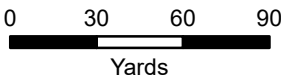
Legend

- Site
- Street
- Parcels
- Buildings
- Water Features
- City Limit

Zoning

- B-2 - General Business District
- R-1-10 - Single Family Residence (Low Density)
- R-1-5 - Single Family Residence District (Medium Density)
- R-B - Residence-Business District

Site Information
0808O-01-006.000
Zoning: B-2 (General Business)
Size: 2.8 acres
Flood: X, AE



1 inch = 200 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

APPLICATION FOR PLANNING COMMISSION APPROVAL

For Staff Use Only

Case Number: 2602 PC022Date Received: 1-5-26Receipt Number: 13645653Received By: Samuel SmithZoning: B-2Ward: 4 Flood: AESize: 2.8 Acres

(If necessary, use separate sheet of paper)

TAX PARCEL #	0	8	0	8	0	-	0	1	-	0	0	6	.	0	0	0
						-			-				.			
						-			-				.			

Address of Property Involved: 14321 Dedeaux Rd., Suites 1-3Lot(s) _____, Block(s) _____, Subdivision See Attached Legal DescriptionGeneral Location: South Side of Dedeaux Road, east of Hwy 49 and West of Hwy 605**GENERAL DESCRIPTION OF REQUEST:**Space to be used for a DIY Craft Studio with small space for private parties + indoor amusement**OWNERSHIP AND CERTIFICATION:**

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request.

OWNER

Box Properties, LLC

Printed Name of Owner

11130 Canal Road

Mailing Address

Gulfport MS 39503

City

State

Zip code

Home Phone

Work/Cell Phone

Email

Bruce E Box

Signature of Owner

AGENT

Carol Leggett Initium Novum DBA Pinspiration Gulfport

Printed Name of Agent

17316 Country Cove

Mailing Address

Saucier MS 39574

City

State

Zip code

Home Phone

Work/Cell Phone

Email

Carol C Leggett

Signature of Agent

If the property or properties listed above have more than one owner, please check this box. In the case of multiple owners, reverse side must be completed. Each additional owner will need to complete and sign the reverse side of this application. We can only accept applications with original signatures.

X

SECTIONS A. THROUGH G. MUST BE SUBMITTED FOR A COMPLETE APPLICATION.

Special Approval of Use Request

Property Address: 14321 Dedeaux Rd., Gulfport, MS

The following information is submitted in support of the requested Special Approval of Use:

- **Existing and Proposed Use:**

The former use of the premises was a boutique and salon. The proposed use is a DIY craft studio, including a small, designated area for private events such as birthday parties and team-building activities.

- **Transportation and Access:**

Transportation patterns and site access will remain unchanged from the prior use. Customers will primarily arrive via private vehicles. Existing parking is sufficient to accommodate anticipated demand. Access will continue via Dedeaux Road and Tanner Road, with multiple established points of entry.

- **Water Supply and Waste Disposal:**

Water service and waste disposal will remain unchanged and are provided by the City of Gulfport Utilities.

- **Fire and Police Protection:**

Fire protection and law enforcement services are provided by the City of Gulfport Fire Department and Police Department, respectively.

- **Utilities and Waste Services:**

Electrical service is provided by Coast Electric. Waste and recycling services will be handled through city-contracted providers or a privately contracted dumpster, depending on operational needs.

- **Traffic Impact and Hours of Operation:**

The business model anticipates that the majority of activity will occur outside traditional business hours and is not expected to result in a significant increase in daily traffic. Customers will visit either by reservation or walk-in and typically remain on-site for approximately 1½ to 2 hours. Even at full capacity, traffic generated by this use is expected to be substantially less than peak traffic associated with nearby church services, including the church located adjacent to the property.

- **Food and Beverage Service:**

Although the franchise model allows for limited beer and wine service, this option will not be pursued due to the presence of the adjacent church. Should that circumstance change during the lease term, this option may be reconsidered subject to all applicable approvals. At this time, only prepackaged snack-type food and beverages will be offered. Customers may bring their own celebratory food items (e.g., cake or cupcakes), and temporary cold storage will be provided during private events.



Michael Watson

SECRETARY OF STATE

This is not an official certificate of good standing.

Name History

Name	Name Type
BOX PROPERTIES, LLC	Legal

Business Information

Business Type:	Limited Liability Company
Business ID:	690541
Status:	Good Standing
Effective Date:	08/10/2000
State of Incorporation:	Mississippi
Principal Office Address:	11130 CANAL RD, P O BOX 3475 GULFPORT, MS 39503

Registered Agent

Name
BRUCE E. BOX 11130 CANAL RD, P O BOX 3475 GULFPORT, MS 39505

Officers & Directors

Name	Title
Babs Box P O B OX 3475 GULFPORT, MS 39505	Member
KALEEL SALLOUM JR 2400 14TH ST GULFPORT, MS 39501	Other

January 5, 2025

City of Gulfport
Urban Development
Planning Commission
1410 24th Ave.
Gulfport, MS 39501

RE: Application for Planning Commission Approval
14321 Dedeaux Rd., Suites 1-3, Gulfport, MS 39503

TO WHOM IT MAY CONCERN:

By this letter, we, as owners of the above referenced property, hereby give authority to Carol Leggett, Initium Novum d/b/a Pinspiration Gulfport to act as our agent for this Planning Commission Application Approval process.

Sincerely,
Box Properties, LLC

BY: Bruce e Box
Bruce Box, Registered Agent

BY: Babs L. Box
Babs L. Box, Member

STATE OF MISSISSIPPI
COUNTY OF HARRISON

Personally appeared before me the undersigned authority in and for the above jurisdiction, the within named **Bruce Box, of Box Properties, LLC, Registered Agent**, who acknowledged to me that he signed and delivered the above and foregoing Authorization Letter on the day and in the year first mentioned.

Given under my hand and official seal, this the 5th day of January, 2026.

Earline C. Sawyer
Notary Public

My commission expires: 8/28/2026



STATE OF MISSISSIPPI
COUNTY OF HARRISON

Personally appeared before me the undersigned authority in and for the above jurisdiction, the within named **Babs L. Box, Member of Box Properties, LLC**, who acknowledged to me that he signed and delivered the above and foregoing Authorization Letter on the day and in the year first mentioned.

Given under my hand and official seal, this the 5th day of January, 2026.
Earline C. Sawyer
Notary Public

My commission expires: 8/28/26



BOOK 1590 PAGE 224

Loan No.: 162 111 4500

STATE OF MISSISSIPPI

COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT



J. Stancel
1st Judicial District
Instrument Number 2002 5102 D
Filed 7 11 2002 3 4 P
Total Fees 8.00
Book 1590 Page 224-225 Recorded 7/12/02

DEED OF CONVEYANCE

FOR AND IN CONSIDERATION of the sum of Two Hundred Thousand and No/100 Dollars (\$200,000.00), the receipt of which is hereby acknowledged, the Administrator of the SMALL BUSINESS ADMINISTRATION, an Agency of the United States, does hereby sell and convey without warranty unto Box Properties, LLC, the following described real property lying and being in the First Judicial District, Harrison County, Mississippi:

The West 74 feet of Lot Four (4), all of Lots Five (5) and Six (6), and the West 74 feet of Lot Seven (7); Block Thirteen (13), RESURVEY OF PECAN GROVE TRUCK FARMS, subdivision according to the official map or plat thereof on file and of record in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi, in Plat Book 6 at Page 21 (Copy Book 3 at Page 211) thereof, reference to which is hereby made in aid of and as a part of this description.

The property hereby conveyed was conveyed unto the Grantor herein named by Trustee's Deed recorded in Book No. 1581, page 430-434, in the office of the Chancery Clerk of said county.

IN WITNESS WHEREOF, said Agency has executed this Deed this 27th day of June 2002, by its undersigned representative, duly authorized in the premises, pursuant to delegations published at 47 Federal Register 2305 et seq.

SMALL BUSINESS ADMINISTRATION

HECTOR V. BARRETO, ADMINISTRATOR

By: *Donald H. Stancel*
Donald H. Stancel, Acting Chief
Portfolio Management Division
Mississippi District Office
Jackson, Mississippi

BOOK 1590 PAGE 225

Grantor:

Small Business Administration
210 E. Capitol Street, Suite 900
Jackson, Mississippi 39201
(601) 965-4378

Grantee:

Box Properties, LLC
Address: Post Office Box 3475
City and State: Gulfport, MS 39505
Telephone: (228) 832-1526

STATE OF MISSISSIPPI

COUNTY OF HINDS

Before me, the undersigned, a Notary Public in and for the State and county aforesaid, personally appeared Donald H. Stancel, with whom I am personally acquainted and who, upon oath, acknowledged himself to be Acting Chief, Portfolio Management Division, Jackson District Office, Small Business Administration, who acknowledged that, he being duly authorized in the premises, signed and delivered the within and foregoing Deed of Conveyance on the day and year therein mentioned as the voluntary act and deed of said agency and its Administrator.

WITNESS MY HAND AND OFFICIAL SEAL of office in Jackson, Mississippi,
this 27th of June 2002.


NOTARY PUBLIC

(SEAL)

Notary Public State of Mississippi At Large
My Commission Expires: September 21, 2004
Bonded Thru Holden, Brooks & Garland, Inc.

THIS DOCUMENT PREPARED BY:

DEBBIE W. DEAN, LEGAL ASSISTANT
OFFICE OF THE DISTRICT COUNSEL
SMALL BUSINESS ADMINISTRATION
AMSOUTH BANK PLAZA
210 E. CAPITOL STREET, SUITE 900
JACKSON, MISSISSIPPI 39201
(601) 965-4378, EXT. 230

2025 Landroll Information				
BOX PROPERTIES LLC P O BOX 3475 GULFPORT, MS 39505				
Physical Street Address: 14321 DEDEAUX RD				
Parcel #:	PPIN	Tax District	Homestead Exp.	Judicial Dist.
08080-01-006.000	53278	4GO		1
Supervisor District:		Subdivision:		
4		PECAN GROVE TRUCK FARMS RESURVEY		
Exemption Code				
Non-Exempt				
Section	Township	Range		
10	07	11		
Instrument Number(s)				
1590/0224, 1581/0430, 1388/0363, 1362/0387, 1174/0530				
Acres	Land Value	Improvements	Total Value	Assessed Value
0	80500	740952	821452	123219 0 / 123217.8
Legal Description				
2.8 AC(C) BEG 430 FT W OF INTER OF E LINE OF BLK 13 RESURVEY OF PECAN GROVE TRUCK FARMS SUBD & S MAR OF DEDEAUX RD S 605.9 FT W 200 FT TO E MAR OF TANNER RD NLY ALONG RD 596.2 FT TO DEDEAUX RD N 29 DG E 5.8 FT E 13.7 FT N 5 FT ELY ALONG RD 183.4 FT TO POB BEING PART OF LOTS 4,5 & 7 & ALL OF LOT 6 BLK 13 RESURVEY OF PECAN GROVE TRUCK FARMS SUBD SEC 10-7-11				

There are 2 building description records attached to this parcel.

Improvement 1 (Primary)	
Year Built:	0
Base Square Feet:	13450
Second Floor Area:	0

Improvement 2	
Year Built:	0
Base Square Feet:	40175
Second Floor Area:	0

AGREEMENT FOR THE SALE AND PURCHASE OF REAL ESTATE

Agreement made this the 21st day of June, 2002, between the United States Small Business Administration, hereinafter called SBA and Bruce Box Box Properties L.L.C. P. O. Box 3475 hereinafter called Purchaser. Gulfport Ms 39505

1. SALE: The SBA will sell and the Purchaser will purchase the following described real estate: See Attached Legal Description

Physical Address: 14321 Dedeaux Road
Gulfport, Ms. Harrison County, Mississippi

2. PURCHASE PRICE: The purchase price shall be \$200,000.00, of which the sum of \$20,000.00 By way of deposit is now paid, the receipt of which SBA acknowledges and the balance shall be paid at closing.
3. TITLE AND DEED: SBA believes title to be good but agrees only to convey all of its right, title and interest in said described real estate. Possession and Quit Claim Deed shall be delivered at closing.
4. CLOSING COSTS: All closing costs will be the responsibility of the purchaser.
5. TAXES: Taxes for the year 2002 previous taxes due are to be assumed by the Purchaser / Seller.
6. CLOSING: Sale shall be consummated on or before the day of 9th of July, 2002.
7. SPECIAL PROVISIONS:

Seller
UNITED STATES SMALL BUSINESS
ADMINISTRATION

By Z Roman A. Maxley

Purchaser

Bruce Box



Sharon N. Barnett
Harrison County
Tax Collector
PO Box 1270
Gulfport MS 39502

Real Property
Tax Notice
Tax Year 2025

RETURN SERVICE REQUESTED

093394

Handwritten: 1/22/24



BOX PROPERTIES LLC
P O BOX 3475
GULFPORT MS 39505

56815

Page 2 of 5

This courtesy tax notice is for Real Property Taxes. You can pay in person, on line by using the QR Code or by mailing a check to the address above. You may reach us by calling 228-865-4040 option 3 or by text at 228-236-5379. Always include a phone number with your payment when mailing a check. You will need to indicate to us if you've updated your mailing address.

PPIN	053278	Description
Parcel Number	08080-01-006.000	DR: 1590/0224 07/11/2002-WD 2.8 AC(C) BEG 430 FT W OF INTER OF E LINE OF BLK 13 RESURVEY OF PECAN GROVE TRUCK FARMS SUBD & S MAR OF DEDEAUX RD S 605.9 FT W 200 FT TO E MAR OF TANNER RD NLY ALONG RD 596.2 FT TO DEDEAUX RD N 29 DG E 5.8 FT E 13.7 FT N
Acres	0.00	
True Value	821,452	
Assessed Value	123,218	
County Tax	4487.60	
School Tax	6006.88	
City Tax	4189.41	
Homestead Credit	0.00	
Net Advalorem Tax	14683.89	
TOTAL TAXES DUE	\$14,683.89	14321 DEDEAUX RD Due on or before February 1, 2026

TAX DISTRICT 4GO

Delinquent after February 1, 2026.

Keep this portion for your records

New Acct # 01-225-769-6

12257696

BUSINESS RESOURCE ACCOUNT

LIMITED LIABILITY COMPANY AUTHORIZATION RESOLUTION

HANCOCK BANK
ONE HANCOCK PLAZA
GULFPORT, MS 39501

By: BOX PROPERTIES LLC
(Limited Liability Company)

P O BOX 3475
(Address)

GULFPORT, MS 39505
(City, State, and Zip Code)

A. I, Babs Box, certify that I am a manager of, or a member designated to act on behalf of, the above named limited liability company organized under the laws of MS, Federal Employer I.D. Number _____, engaged in business under the trade name of BOX PROPERTIES LLC, and that the following is a correct copy of resolutions adopted at a duly and properly called meeting held on _____ of all members of the limited liability company or the persons

designated by the members of the limited liability company to manage the liability company as provided in the articles of organization or an operating agreement, hereinafter referred to as "Managers". These resolutions appear in the minutes of that meeting and have not been rescinded or modified.

B. Be it resolved that,

(1) The Financial Institution named above is designated as a depository for the funds of this limited liability company.

(2) This resolution shall continue to have effect until express written notice of its rescission or modification has been received and recorded by this Financial Institution.

(3) All transactions, if any, with respect to any deposits, withdrawals, rediscounts and borrowings by or on behalf of this limited liability company with this Financial Institution prior to the adoption of this resolution are hereby ratified, approved and confirmed.

(4) Any of the persons named below, so long as they act in a representative capacity as agents of this limited liability company, are authorized to make any and all other contracts, agreements, stipulations and orders which they may deem advisable for the effective exercise of the powers indicated below, from time to time with this Financial Institution, concerning funds deposited in this Financial Institution, moneys borrowed from this Financial Institution or any other business transacted by and between this limited liability company and this Financial Institution subject to any restrictions stated below including, but not limited to, agreements for the issuance to authorized persons of debit and/or ATM cards, and this limited liability company agrees to, and shall be bound by, the terms and conditions of and shall otherwise be liable under the terms of all such contracts, agreements, stipulations and orders.

(5) Any and all prior resolutions adopted by the Managers of this limited liability company and certified to this Financial Institution as governing the operation of this limited liability company's accounts, are in full force and effect, unless supplemented or modified by this authorization.

(6) This limited liability company agrees to the terms and conditions of any account agreement, properly opened by any authorized representative(s) of this limited liability company. The Financial Institution may charge this limited liability company for all checks, drafts, or other orders for the payment of money that are drawn on this Financial Institution which contain the required number of signatures for this purpose. The Financial Institution may rely on the facsimile signature(s) or mark(s) regardless of by whom or by what means the facsimile signature(s) or mark(s) may have been affixed as provided for in the Deposit Agreement.

C. If indicated, any person listed below (subject to any expressed restrictions) is authorized to:

Name and Title	Signature	Facsimile Signature (if used)
(A) <u>BABS L BOX</u>	<u>Babs Box</u>	
(B) <u>BRUCE E BOX</u>		
(C) _____		
(D) _____		

indicate A, B, C and/or D.

A or B (1) Exercise all of the powers listed in (2) through (5).
A or B (2) Open any deposit or checking account(s) in the name of this limited liability company.
A or B (3) Endorse checks and orders for the payment of money and withdraw funds on deposit with this Financial Institution.
Number of authorized signatures required for this purpose: One
A or B (4) Receive and use any debit and/or ATM card issued to him or her for the account of this limited liability company to make deposits and withdraw fund of this limited liability company, make purchases chargeable to this limited liability company and receive information, enter into transactions that may otherwise be available, from time to time, through the use of such card(s).
A or B (5) Enter into written lease for the purpose of renting and maintaining a Safe Deposit Box in this Financial Institution.
Number of authorized persons required to gain access and to terminate the lease One

D. I further certify that the Managers of this limited liability company have, and at the time of adoption of this resolution had, full power and lawful authority to adopt the foregoing resolution and to confer the powers granted to the person named who have full power and lawful authority to exercise the same.

IMPRINT
SEAL
HERE

In Witness Whereof, I have hereunto subscribed my name and affixed the seal of this Limited Liability Company on

9/13/00
(date)

Manager

Attest by One Other Manager

Babs Box

From: Mississippi Secretary of State <donotreply@sos.ms.gov>
Sent: Monday, January 20, 2025 1:38 PM
To: Babs Box
Subject: Filing Approved Notification

Business Id: 690541

Tracking Number: 2025039181

Business Name: BOX PROPERTIES, LLC

A filing for the above entity has been approved!

Click the link below to view the Filing
[BOX PROPERTIES, LLC](#)

You are receiving this email because the above filing was submitted to the Mississippi Secretary of State's office from your user account.

Looking for targeted Mississippi consumer, economic, and population data to help grow or start your business? Visit [Y'all Business](#), the first step toward your successful Mississippi business.

Salloum Law Firm

a Professional Limited Liability Company

2400 14th Street
Northrop Building - Suite 105
Gulfport, Mississippi 39501

Kaleel "Teal" Salloum, Jr., LL.M. (in Taxation)

September 25, 2000

Post Office Box 1717
Gulfport, Mississippi 39502

Telephone: 228-863-6727
Telefax: 228-863-6734
email: teal@salloumlawfirm.com

Our File No.
334-0001

CERTIFIED MAIL

Bruce Box
Babs Box
Post Office Box 3475
Gulfport, Mississippi 39505

Re: Box Properties, LLC

Dear Bruce and Babs:

Enclosed for your records please find (i) a copy of that Certificate of Formation of Box Properties, LLC (the "LLC"), as filed with the Office of the Mississippi Secretary of State on August 10, 2000, (ii) Appointment of Initial Members of Box Properties, (iii) original Limited Liability Company Agreement of Box Properties, and (iv) original Quitclaim Deed conveying the property described therein to Box Properties, LLC.

It is important that you remember that the LLC is a separate legal entity, and must always be respected as such. Accordingly, any action you take on behalf of the LLC should be signed as follows:

Box Properties, LLC

By: _____
Bruce Box [or Babs Box], Member

If you have not done so already, you should open a bank account in the name of the LLC; all receipts and disbursements of the LLC should be made through such account. All Assets of the LLC should be titled in the name of the LLC, and you should maintain a separate set of accounting records for the LLC. You should advise your insurers of the formation and business of the LLC, so that they may advise you in making sure that the entity has the appropriate coverage.

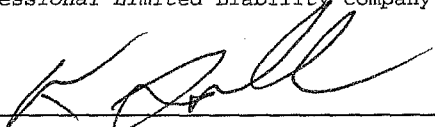
Bruce Box
Babs Box
September 25, 2000
Page No. 2

You also are responsible for the tax returns required to be filed with by the LLC; you should engage an accountant for the LLC and request him or her to make sure that all required returns are filed. You also should have your accountant obtain from the Internal Revenue Service a taxpayer identification number for the LLC.

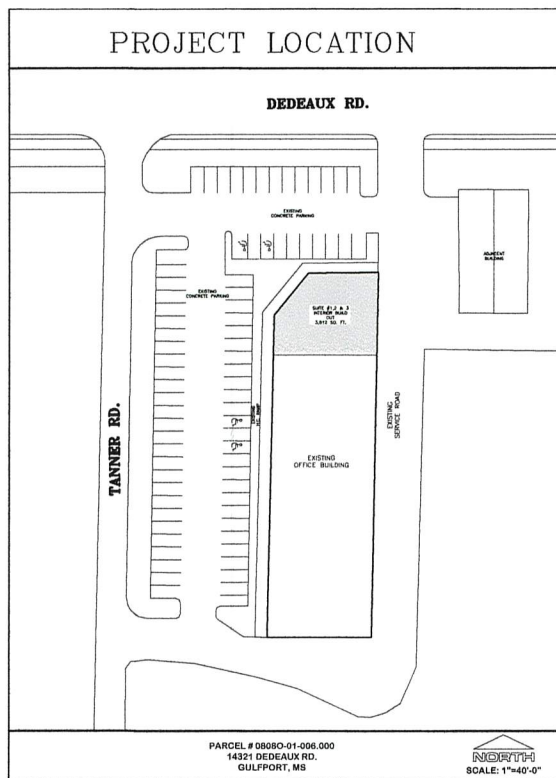
If you should have any questions now or at any time in the future regarding the LLC, or if we may be of any further assistance in this matter, please do not hesitate to contact us.

Sincerely,

SALLOUM LAW FIRM,
a Professional Limited Liability Company

By: 
Kaleel "Teal" Salloum, Jr.

KGS/kan
Enclosures



Interior Build-Out for INITIUM NOVUM LLC. DBA PINSPARATION 14321 Dedeaux Rd. Ste. # 1,2&3 Gulfport, MS

October 02, 2025

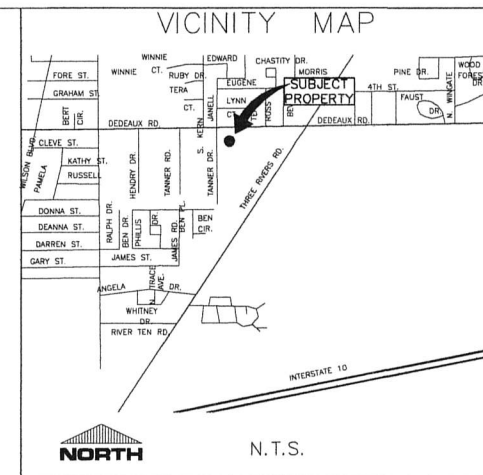


**TERRY MORAN
& ASSOCIATES, PLLC**
TERRILL J. MORAN, P.E., P.L.S.
1806 23rd. Ave., Ste. B
Gulfport, MS 39503
Ph (228) 896-4733 Fax (228) 896-6769

IN ASSOCIATION WITH

HEINRICH & ASSOCIATES

RESIDENTIAL & COMMERCIAL DESIGN
1806 23rd AVE., Suite B - Gulfport, MS 39501
Ph (228) 896-6768



*Building shall meet requirements:
2018 IBC Building Code, including appendices A,B,D,E,F,G,I,J,&K.
Accessible and Usable Buildings and Facilities ICC
A117.1-2009
2018 Existing Building Code, including appendices B&C.
2018 ICC Fuel Code, including all appendices
2018 ICC Mechanical Code, including appendix A.
2018 ICC Plumbing Code, including appendix C&E.
2018 Private Sewage Disposal Code, including appendix A.
2018 Property Maintenance Code, including appendix A.
2018 National Fire Code, including all appendices.
2017 National Fire Prevention Association NFPA 70 National
Electric Code.
2018 National Fire Prevention Association NFPA 101 Life Safety
Code including
Annexes Hereto.
2018 International Energy Conservation Code. (IECC)
City of Gulfport Code Ordinances

INTERNATIONAL BUILDING CODE 2018 INFO & GENERAL DATA

Zoning:	R-B
Minimum Type of Construction:	VB
Sprinklers Provided:	YES
Height of building:	EXISTING
Number of stories:	1
Total Square Footage:	3,812 SQ.FT.
F.F.E.:	EXISTING
Design Wind Speed:	161 MPH Vult
Flood Zone (FIRM)	AE-EL 15
FEMA Map#	28047C0254H (DEC. 21, 2017)

SETBACKS		FIRE RATINGS		
REQUIRED	PROVIDED	HR PROV.	% OPEN	ALLOWED
Front	n/a	n/a	n/a	25%
Rear	n/a	n/a	n/a	25%
Right	n/a	n/a	n/a	25%
Left	n/a	n/a	n/a	25%

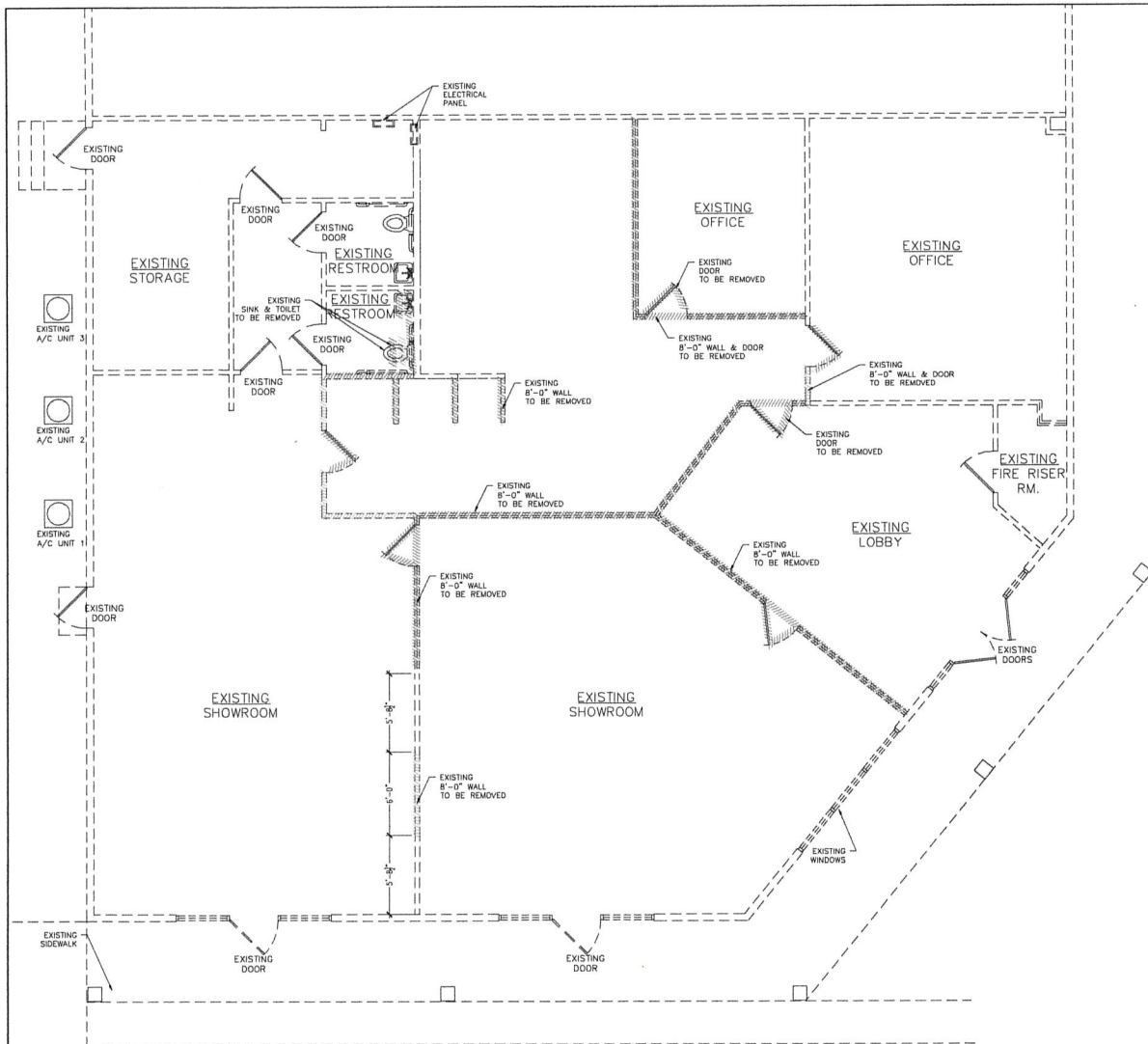
*Building shall meet requirements of the 2018 IBC Building Code
and Local Commercial Building Codes and 2018 Fire Codes.

ATTENTION: NO CONSTRUCTION IS TO COMMENCE ON THIS PROJECT
BEFORE THE APPROPRIATE PERMITS HAVE BEEN OBTAINED.

SHEET INDEX

PLAN COVER SHEET	T1
DEMOLITION PLAN	B1
NEW FLOOR PLAN	B2
PLUMBING PLAN	P1
MECHANICAL PLAN	M1
POWER PLAN	E1
LIGHTING PLAN	E2

Sheet
T1
Project No
25-132



DEMOLITION PLAN

SCALE: 1/4"=1'-0"

GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING DEMOLITION.
- COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION SHOWN IN THE DRAWINGS. DUE CARE IS TO BE TAKEN TO AVOID UNDOE DAMAGE TO ADJACENT FINISHES SCHEDULED TO REMAIN.
- REMOVE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE. DO NOT ALLOW MATERIAL AND DEBRIS TO ACCUMULATE ON SITE. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED. COORDINATE LOCATION OF DUMPSTER WITH BUILDING OWNER PRIOR TO ITS DELIVERY.
- CONSTRUCTION MATERIALS SHALL BE REMOVED BEFORE BUILDING IS OCCUPIED OR USED FOR ANY PURPOSE AND CONTRACTOR SHALL REMOVE PROTECTIVE MEASURES AT COMPLETION OF WORK AND LEAVE INTERIOR AREAS BROOM CLEAN.
- COORDINATE DEMOLITION IN AREAS THAT ARE TO REMAIN OCCUPIED DURING CONSTRUCTION IF NECESSARY. PROVIDE FREE AND SAFE ACCESS TO AND FROM OCCUPIED AREAS OF THE BUILDING AT ALL TIMES.
- PROVIDE DUST BARRIERS TO PROTECT OCCUPIED AREAS OF BUILDING DURING DEMOLITION AND NEW WORK IF NECESSARY.
- COORDINATE DEMOLITION, RELOCATING, DISCONNECTING, AND CAPPING OF HVAC, PLUMBING, AND ELECTRICAL SERVICES WITH THE APPROPRIATE SUBCONTRACTORS PRIOR TO START OF DEMOLITION. PROVIDE BY-PASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE BUILDING. PROVIDE ADEQUATE NOTICE TO OWNER IF SHUT-DOWN OF SERVICES IS REQUIRED.
- IF UNANTICIPATED HVAC, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS ARE ENCOUNTERED, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN, NOTIFY ENGINEER IMMEDIATELY.
- GENERAL CONTRACTOR IS TO CATALOG AND PROPERLY STORE ALL EXISTING ITEMS SCHEDULED TO BE REINSTALLED.
- IF MASONRY WALLS ARE PRESENT TO BE DEMOLISHED, THEN THE CONTRACTOR IS TO DEMOLISH MASONRY WALLS IN SMALL SECTIONS AND BRACING AND SHORING SHALL BE USED WHERE NECESSARY TO AVOID COLLAPSE OF THE STRUCTURE. SHORING MUST BE DONE IN A MANNER THAT WILL NOT INTERFERE WITH NEW WORK. IN NO CASE WILL PRESENTLY SUPPORTED LOADS BE ALLOWED TO BE UNSUPPORTED.
- CONTRACTOR SHALL PROTECT FLOORS WITH APPROPRIATE COVERINGS WHERE NECESSARY.
- PROMPTLY REPAIR DAMAGES TO ADJACENT AREAS CAUSED BY DEMOLITION WORK SCHEDULED TO REMAIN.
- REMOVE ALL ELECTRICAL RECEPTACLES, SWITCHES, LIGHTING FIXTURES, AND WIRING AS REQUIRED IN AREA OF NEW WORK. SEE PLANS FOR FINAL ELECTRICAL LAYOUT. IF AN EXISTING SWITCH, LIGHT FIXTURE, OR RECEPTACLE IS LOCATED IN A REQUIRED LOCATION, THAT ITEM MAY REMAIN UNLESS THE EXISTING ITEM OR WIRING IS FAULTY. FIELD DETERMINE.
- PROVIDE TEMPORARY SHORINGS AS REQUIRED AT ANY LOAD BEARING WALLS SCHEDULED TO BE REMOVED.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND OR WORKMEN ON SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT, OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- CONTRACTOR SHALL MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.

AREA CALCULATIONS

8 OCCUPANCY

EXISTING AREA 3,812 SF
TOTAL SF 3,812 SF

DEMOLITION LEGEND

EXISTING WALL TO REMAIN = - - - - -
EXISTING TO BE DEMOLISHED = // // // //

NOTE

NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.



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In Association With

HEINRICH & ASSOCIATES

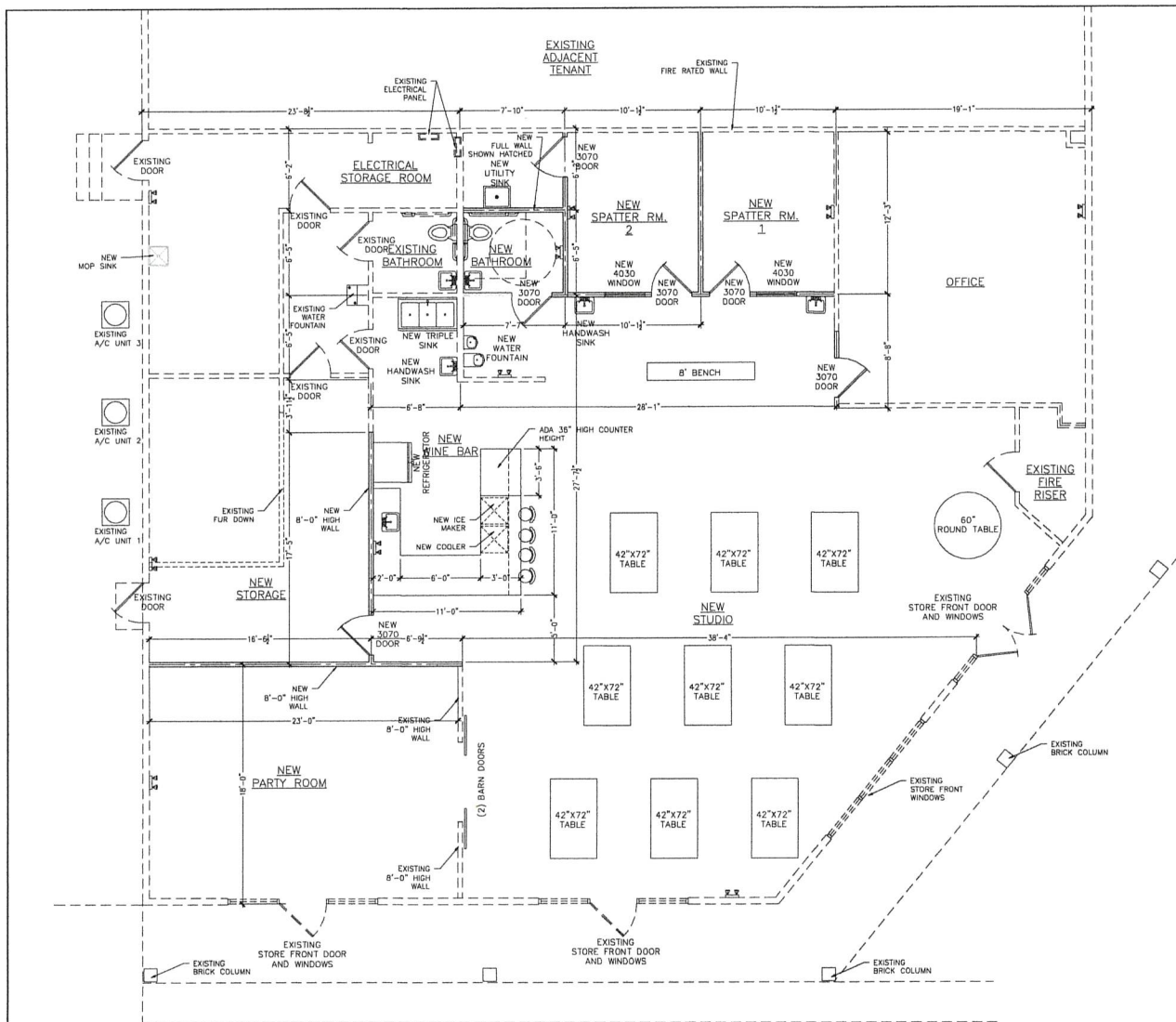
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Sheet Title
DEMOLITION PLAN

Date 10-02-25
Drawn By J.N.
Check By J.B.H.
REV

Sheet
B1

Project Title
DEMOLITION
14321 DEBAUX RD. STE. 1,2,43
GULFPORT, MISSISSIPPI
Project No
25-132



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

AREA CALCULATIONS

B OCCUPANCY

EXISTING AREA 3,812 SF
TOTAL SF 3,812 SF

WALL LEGEND

EXISTING WALL	=====
NEW WALL @ 8' TALL	=====
NEW WALL TO ROOF DECK	=====

GENERAL PLAN NOTES:

1. FINISHES, APPLIANCES, WINDOWS, DOORS, FLOORING, ETC. PER OWNER AND CONTRACTOR.
2. ALL DETAILS OF CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2018 EDITION, AND ALL APPLICABLE LOCAL CODES THEREON.
3. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION, THE LIFE SAFETY CODE, 2018 EDITION, AND ALL APPLICABLE LOCAL ORDINANCES.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR VARIANCES TO THE DESIGN PROFESSIONAL PRIOR TO COMMENCEMENT OF CONSTRUCTION OR WITHIN A TIMELY MANNER DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL OF ANY FOUND DIFFERENCES BETWEEN THE SITE DRAWINGS AND THE ACTUAL FIELD VERIFIED CONDITION THAT WOULD AFFECT THE QUALITY OF AESTHETIC NATURE OF THE WORK.
6. DEVIATIONS FROM THE DRAWINGS NOT APPROVED BY THE DESIGN PROFESSIONAL PRIOR TO PERFORMANCE OF SAID CHANGE, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING ANY AND ALL RESULTING EFFECTS TO OTHER TRADES WITHIN OR ABOUT THE CONSTRUCTION OF THE BUILDING.
7. CONTRACTOR SHALL VERIFY WITH THE OWNER, ALL DOORS AND WINDOWS (MFR, TYPE, SIZE, LOCATION), PLUMBING AND ELECTRICAL FIXTURES AND EQUIPMENT (MFR, TYPE, SIZE, LOCATION AND MOUNTING HEIGHT), AIR CONDITIONING SUPPLY AIR AND RETURN AIR GRILLES AND DUCT LOCATIONS (MFR, TYPE, SIZE, LOCATION AND MOUNTING HEIGHT IF ON VERTICAL SURFACES), HARDWOOD TBM AND FINISHES (COLOR, TEXTURE AND LOCATION) PRIOR TO INSTALLATION.

NOTE:

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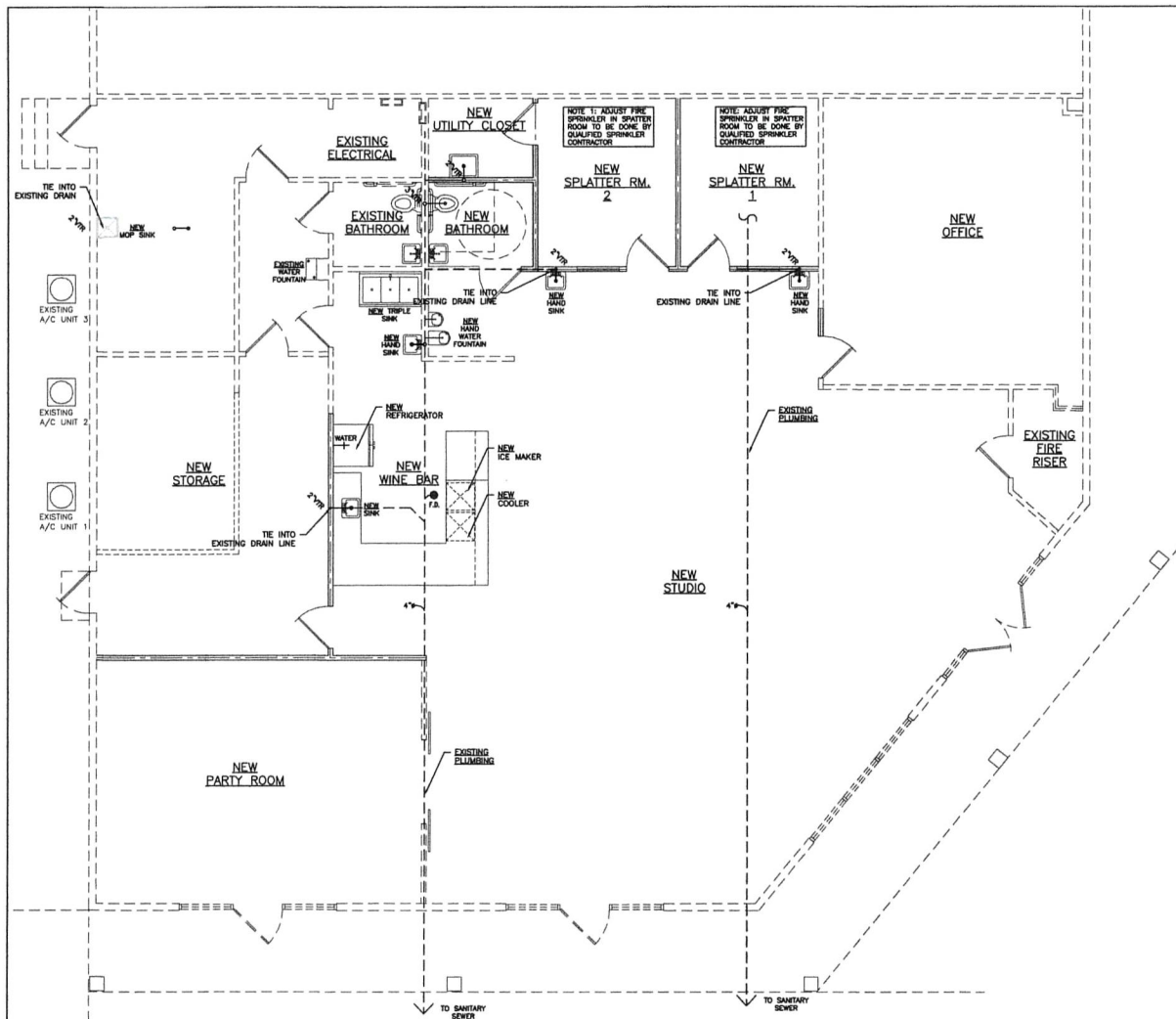


In Association With

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Sheet Title
Date 10-10-25
Drawn By J.N.
Check By R.B.H.
Project Title INSPIRATION
14321 DEDEAUX RD. STE. 12-A3
GULFPORT, MISSISSIPPI

Sheet
B2
Project No
25-1-132



PLUMBING PLAN

SCALE: 1/4"=1'-0"

PLUMBING LEGEND

- WASTE LINE - EXISTING
- WASTE LINE - ABOVE FINISH FLOOR
- WASTE LINE - BELOW FINISH FLOOR
- PIPE DIAMETER
- GAS CONNECTION VALVE
- WATER CONNECTION VALVE
- FLOOR DRAIN
- ELBOW UP
- ELBOW DOWN
- TEE UP
- TEE DOWN
- REDUCER/INCREASER FITTING
- STUDIOS AIR VALVE
- WATER CLOSET UP
- CLEAN OUT
- FLOOR DRAIN

PLUMBING NOTES

- CONTRACTOR SHALL LOCATE & VERIFY ALL EXISTING UTILITIES AND UTILITY
- CONTRACTOR SHALL SUPPLY AND INSTALL PLUMBING IN ACCORDANCE WITH LIFE SAFETY CODE, 2018 EDITION AND INTERNATIONAL PLUMBING CODE, 2018 EDITION.
- CONTRACTOR SHALL CONSULT WITH OWNER AND PROVIDE EQUIPMENT AND MATERIALS ACCORDING TO OWNER'S REQUIREMENTS.
- CONTRACTOR SHALL TIE INTO EXISTING SEWER & WATER SERVICES.
- ALL SEWER PIPING SHALL MAINTAIN A MIN. DOWNWARD SLOPE OF 1/4" PER FOOT.

PLUMBING PLAN SHEET NOTES

- CONNECT NEW SINK TO EXISTING PLUMBING.
- CONNECT NEW FIXTURES TO EXISTING PLUMBING.

AREA CALCULATIONS

B OCCUPANCY

EXISTING AREA 3,812 SF
TOTAL SF 3,812 SF

WALL LEGEND

- EXISTING WALL
- NEW WALL 6" TALL
- NEW WALL TO ROOF DECK

NOTE:
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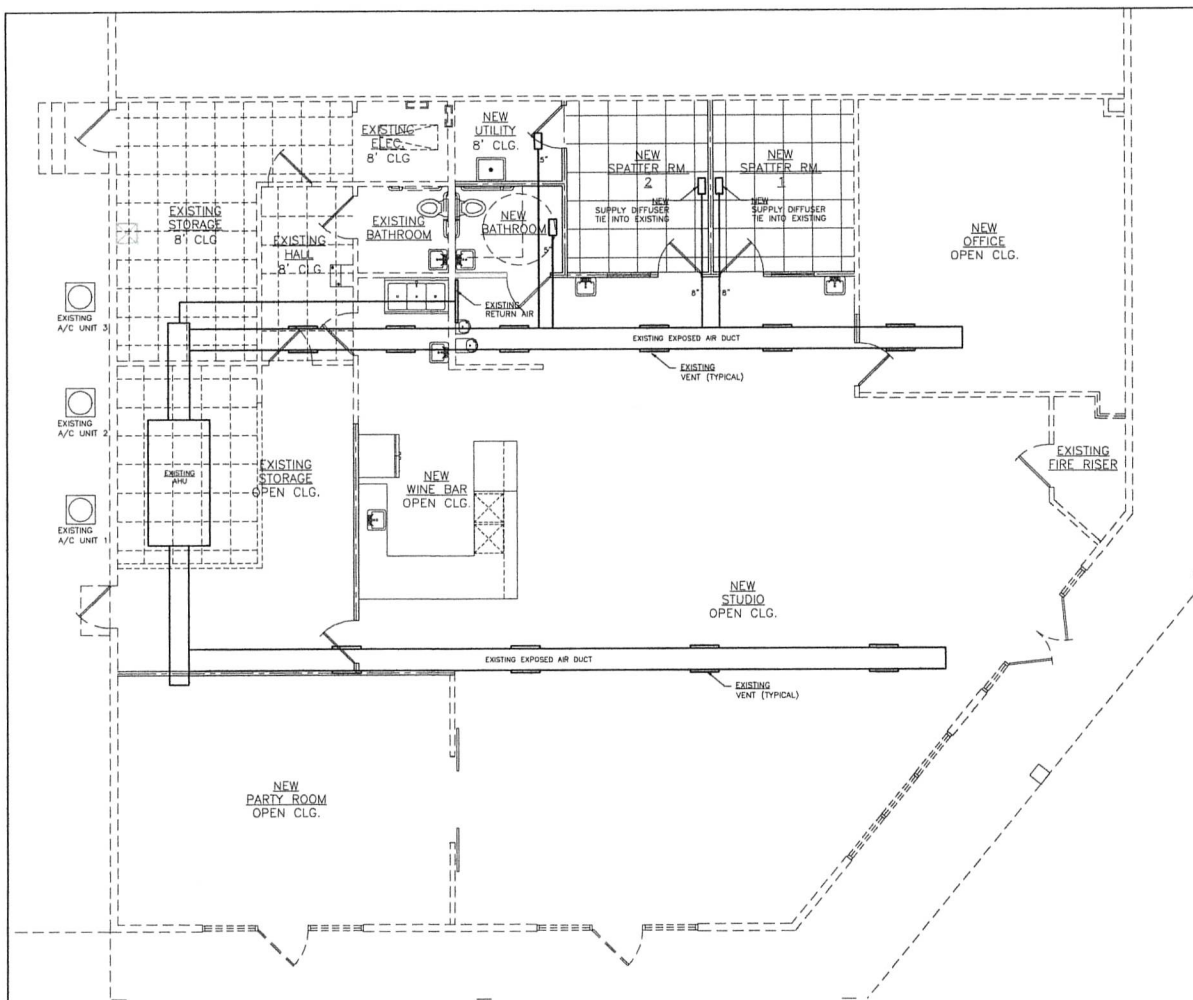
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EXISTING FLOOR PLAN

Date 10-02-25
Drawn By J.H.H.
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Project No.
25-132

Project Title
14321 DEDEAUX RD. STR. 12 & J
GULFPORT, MISSISSIPPI



MECHANICAL PLAN

SCALE: 1/4"=1'-0"

MECHANICAL NOTES:

1. HVAC DESIGN AND INSTALLATION TO BE BY A MISSISSIPPI LICENSED MECHANICAL CONTRACTOR AND TO BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE, 2018 EDITION, AND ALL REQUIRED LOCAL CODES & ORDINANCES THEREIN.
2. CONTRACTOR SHALL CONSULT WITH OWNER AND PROVIDE EQUIPMENT AND MATERIALS ACCORDING TO OWNER'S REQUIREMENTS.
3. HVAC CONTRACTOR SHALL USE EXISTING 5 TON UNIT.
4. CONTRACTOR SHALL VERIFY ALL UNIT AND DUCT SIZES BEFORE CONSTRUCTION. PREFAB FITTINGS SHALL BE REQUIRED.
5. CONTRACTOR SHALL VERIFY LOCATION OF CONDENSING UNITS BEFORE CONSTRUCTION.
6. ALL CONDENSING UNITS SHALL BE INSTALLED AT PEST LEVEL ON A 4" THICK CONCRETE PAD.
7. CONTRACTOR SHALL SUPPLY SMOKE SHUTOFF SWITCH AT ALL AIR CONDITIONER HANDLER LOCATIONS.
8. CONTRACTOR SHALL PROVIDE DUCT WORK INSULATION (INSIDE, OUTSIDE, OR BOTH) ACCORDING TO OWNER'S REQUIREMENTS.
9. CONTRACTOR SHALL SUPPLY SMOKE/FIRE DAMPERS AT ALL LOCATIONS WHERE DUCTWORK PENETRATES A FIREWALL.
10. WHERE APPLIANCE PLACEMENT IN ATTIC IS REQUIRED, A CONTINUOUS FLOORING NOT LESS THAN A 24" WIDE WALK WAY AND 30" WORK AREA SHALL BE PRESENT ALONG ALL EQUIPMENT ACCESS LOCATIONS.
11. A/C UNITS(a) WILL HAVE A FAN SHUT DOWN AS PER SECTION 406 OF THE STANDARD MECHANICAL CODE 2018.

AREA CALCULATIONS

B OCCUPANCY

EXISTING AREA 3,812 SF
TOTAL SF 3,812 SF

WALL LEGEND

EXISTING WALL
NEW WALL @ 8' TALL
NEW WALL TO ROOF DECK

NOTE

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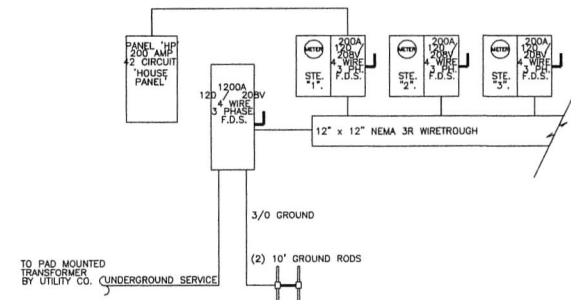
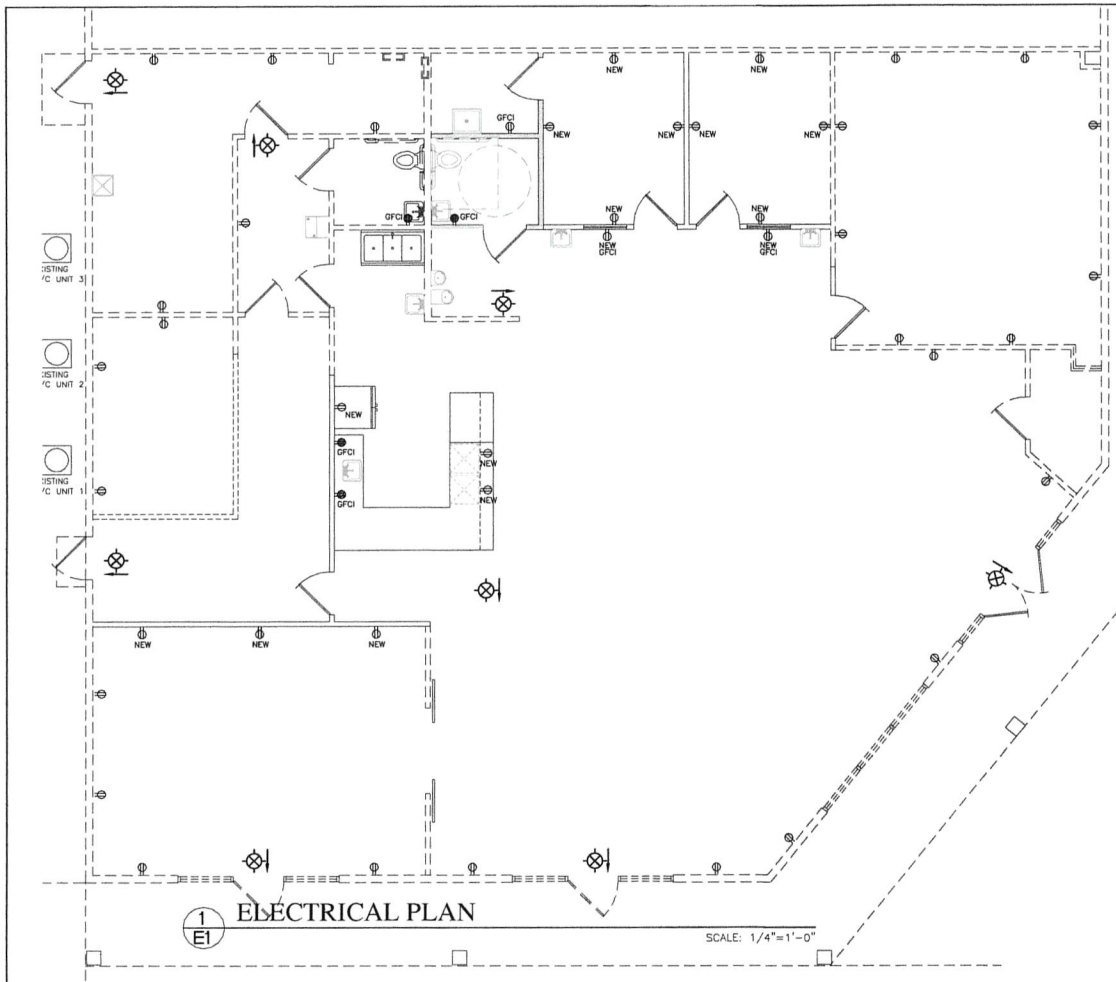
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Sheet Title
Date: 10-02-25
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Check By: J.B.H.

Project Title
PINSPIRATION
14391 BIRCHWOOD DRIVE, L.P. & J.
GULFPORT, MISSISSIPPI

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Project No.
25-132



EXISTING ELECTRICAL RISER DIAGRAM

N.T.S.

FIXTURE LEGEND

- | | |
|---|--|
| 1 SINGLE POLE WALL SWITCH | WALL MOUNTED LIGHT |
| 2 MULTI POLE WALL SWITCH | DAYLIGHT SENSOR |
| 3 SINGLE POLE DIMMER WALL SWITCH | EMERGENCY BATTERY BACKUP ON FIXTURE |
| 4 110V DUPLEX CIRCUIT | MOTION SENSOR |
| 5 110V DUPLEX CIRCUIT 48" ABOVE FINISH FLOOR (UNLESS OTHERWISE SPECIFIED) | RECESSED LIGHT |
| 6 DEDICATED CIRCUIT (SEE MARK SPECIFICATION) | BATH VENT FAN/LIGHT |
| 7 220V DUPLEX CIRCUIT | TRACK LIGHTING |
| GFCI GROUND FAULT CIRCUIT INTERRUPT | FIRE ALARM PULL SWITCH |
| WP WATERPROOF HOUSING OR TRIM | FIRE ALARM HORN |
| CATS DATA 1" CONDUIT STUB | FIRE ALARM STROBE LIGHT |
| PHONE CONNECTION | EXTERIOR SECURITY LAMP (ON-ON BOARD) |
| CONVEX CABLE CONNECTION | SERVICE PANEL (TO BE SIZED BY CONTRACTOR) |
| HIGH BAY LED CEILING MOUNTED FIXTURE | LITHONIA ELM2 EMERGENCY LIGHTING UNIT |
| 1X4 LED BAY LIGHT (FIRE RISK CEILING) | LITHONIA LHQM SWIR 120/277 EXIT/EMER. PACK |
| 2X2 LED BAY LIGHT (CEILING MOUNT) | FIRE EXTINGUISHER |
| | EXISTING SPRINKLER |

ELECTRICAL NOTES

- ALL ELECTRICAL ARE REQUIRED TO BE IN CONDUITS.
- ELECTRICAL FIXTURES, SWITCHES, OUTLETS ETC. ARE SHOWN FOR GENERAL LOCATION ONLY. MOUNTING HEIGHTS, FIXTURE TYPES, AND EXACT LOCATIONS PER OWNER AND CONTRACTOR.
- CONTRACTOR SHALL INSTALL ELECTRICAL POWER AND LIGHTING IN ACCORDANCE WITH LIFE SAFETY CODE, 2018 EDITION AND NATIONAL ELECTRIC CODE, 2017 EDITION.
- CONTRACTOR SHALL ENSURE THAT ALL EMERGENCY LIGHTING (SECTION 1006) AND EXIT LIGHTING (SECTION 1011) IS IN COMPLIANCE THE INTERNATIONAL BUILDING CODE 2018 EDITION.
- A/C UNIT SHALL HAVE 10KW RESISTANCE HEAT STRIPS.
- CONTRACTOR SHALL VERIFY WITH OWNER, PHONE, AND CABLE LOCATIONS.
- ELECTRICAL PANELS SIZE TO BE CONFIRMED BY CONTRACTOR AND LEGIBLY LABELED ACCORDINGLY.
- FIRE AND SMOKE DETECTION TO BE DESIGNED BY OTHERS.
- CONTRACTOR SHALL ENSURE THAT ALL ELECTRICAL EQUIPMENT INSTALLED OR USED SHALL BE REASONABLY SAFE TO PERSONS AND PROPERTY WITH THE PROVISIONS OF THIS ARTICLE, THE APPLICABLE STATUTES OF THE STATE AND ANY ORDERS, RULES OR REGULATIONS ISSUED BY THE AUTHORITY THEREOF. CONFORMITY WITH THE APPLICABLE STANDARDS OF THE UNDERWRITERS' LABORATORIES, INC., SHALL BE PRIMA FACIE EVIDENCE THAT SUCH EQUIPMENT IS REASONABLY SAFE TO PERSONS AND PROPERTY.
- ALL COMMERCIAL BUILDINGS SHALL BE WIRED IN METAL GALVANIZED RIGID CONDUIT, ELECTRICAL METALLIC TUBING, POLYVINYL CHLORIDE (PVC) CONDUIT OR AFC CABLING SYSTEMS INCLUDING MC AND AC CABLE. ALL RACEWAY SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED METHODS OF THE 2017 NEC.
- CONTRACTOR SHALL NOT USE ANY ELECTRICAL CONDUCTOR SMALLER THAN NUMBER TWELVE-GAUGE COPPER AND ALL ALUMINUM WIRING IS PROHIBITED AND SHALL NOT BE USED WITHIN OR ON ANY BUILDING, STRUCTURE OR PREMISES, PUBLIC OR PRIVATELY OWNED.

ELECTRICAL NOTES

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- A/C UNIT SHALL BE SIZED BY OTHERS.
- CONTRACTOR SHALL VERIFY WITH OWNER, PHONE, AND CABLE LOCATIONS.
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AREA CALCULATIONS

EXISTING AREA	3,812 SF
TOTAL SF	3,812 SF

WALL LEGEND

EXISTING WALL	=====
NEW WALL 8' TALL	=====
NEW WALL TO ROOF DECK	=====

NOTE:

NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL SURROUNDING FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.



Terry Moran & Associates, PLLC

Terrill J. Moran, P.E., P.L.S.

1806 23rd. Ave., Ste. B
Gulfport, MS 39501

PH 228.896.4733
FAX 228.896.6708



In Association With

HEINRICH & ASSOCIATES
ARCHITECTURAL & COMMERCIAL DESIGN
1806 23rd Avenue, Suite B, Gulfport, MS 39501
Ph (228) 896-6708

Sheet Title
ELECTRICAL PLAN
Project Title
INSURANCE
14321 DEDRAUX RD. STE. 1 & 2
GULFPORT, MISSISSIPPI

Date: 10-10-25
Drawn By: H.N.
Check By: R.B.H.
REV.

Sheet
E1
Project No
25-132



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EN



1. Choose Your DIY

Select a project from dozens of our current craft options including art, decor, gifts, and accessories. Each person in your group can select their own, unique craft.



2. Make a reservation or walk in

Contact us for a reservation, or walk in to our studio! Reservations are recommended but not required.



3. Have fun!

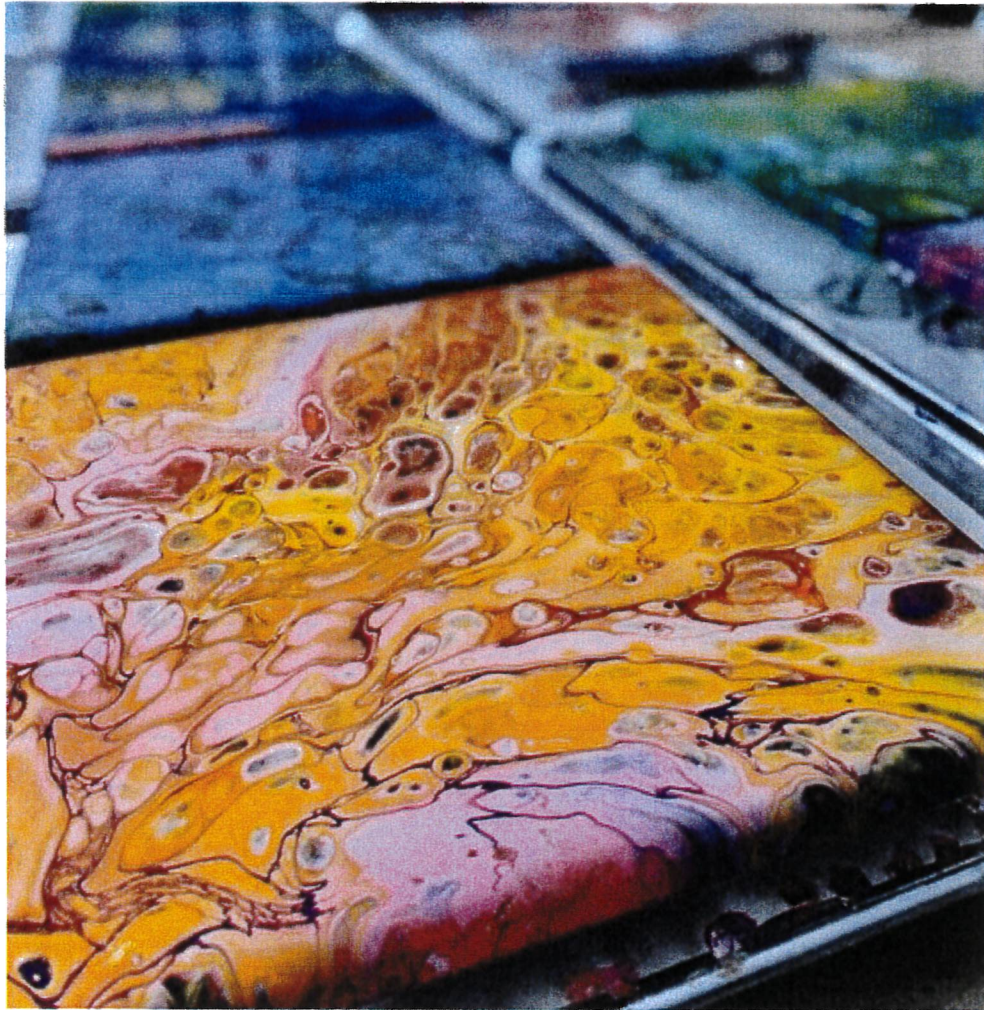
No hassle, no mess, no excuses! We provide project kits, tutorials and all the supplies to allow you to personalize your project. Relax and enjoy some wine or a snack.



Go home with your completed, handmade craft, ready to be enjoyed in your home.

Book a Project

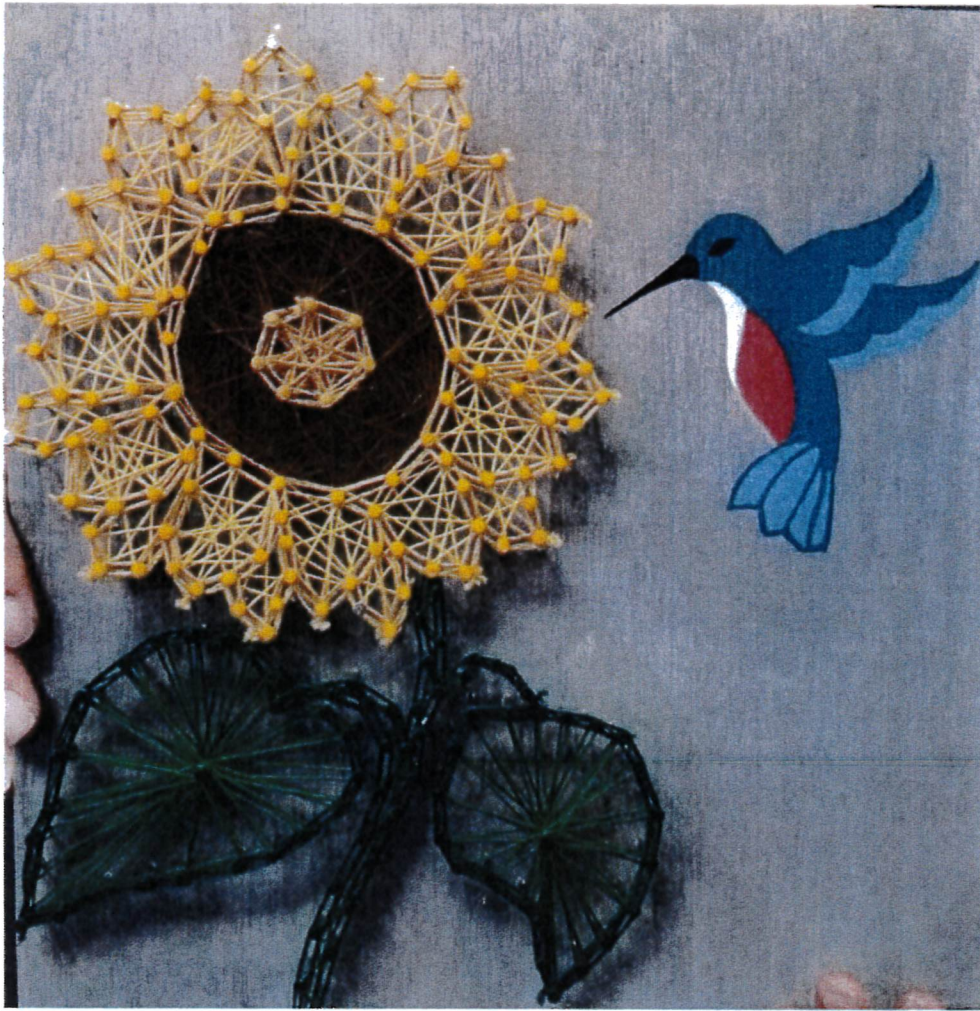
Featured Projects



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Painted Wine Glass



String Art

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Featured Parties



Kids' Boho Party



Splatter Party™



Choose-Your-Own DIY Party

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Drinks and Bites

Our studios feature a menu of beverages and snacks to fuel your creativity! Most locations have a wine and beer bar in addition to nonalcoholic options. Check your local studio to view the menu.

[Find a Local Menu](#)



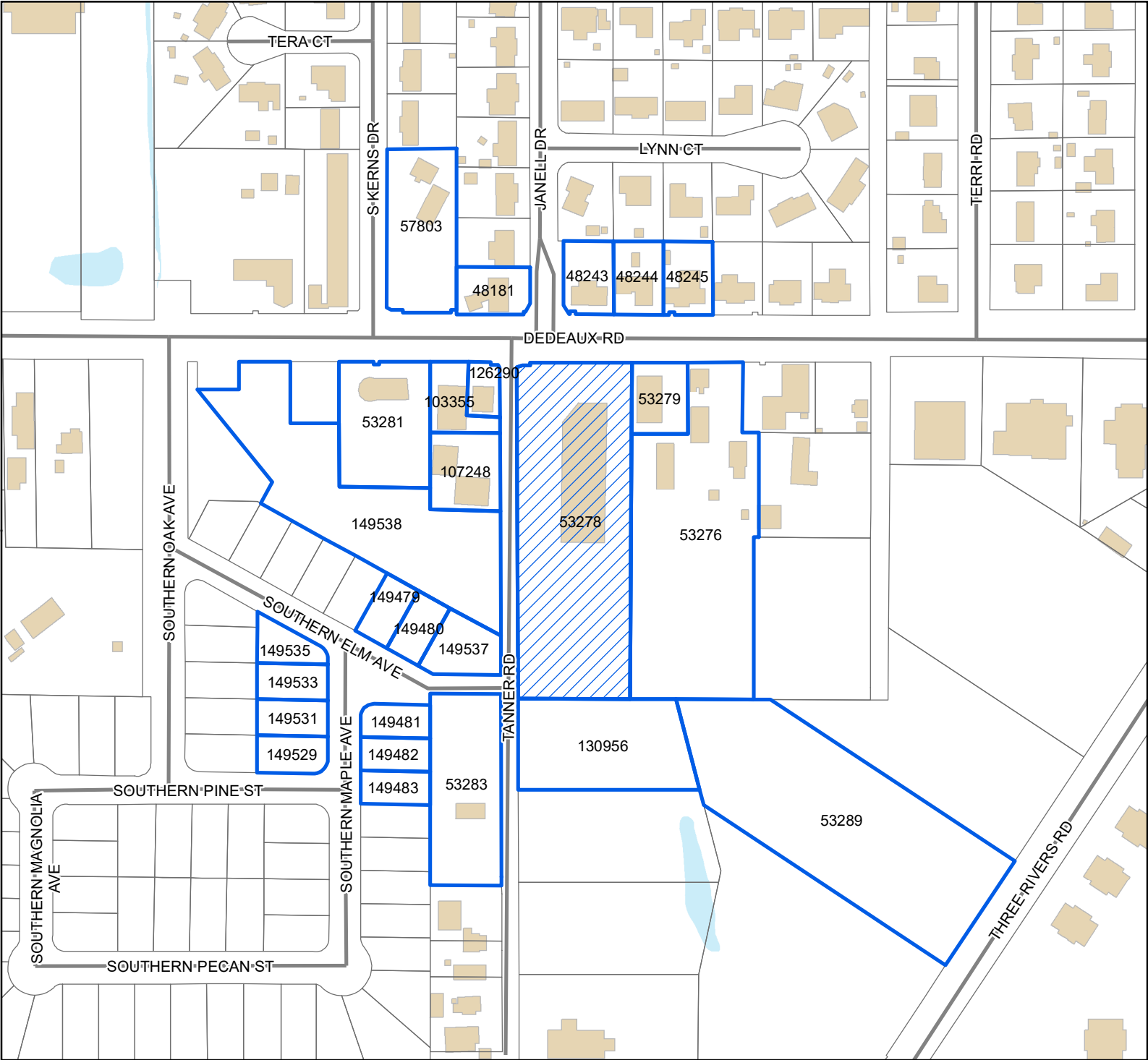
Our Studio

Pinspiration is a DIY creative studio space where everyone (young and old) is an artist! Get inspired inside our beautiful makerspace, hold an event in our party room, indulge in our wine bar, and experience messy fun in our Jackson-Pollock-inspired Splatter Room™!

[View More](#)



Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		0808O-01-006.000	BOX PROPERTIES, LLC (OWNER)	11130 CANAL ROAD	GULFPORT	MS	39503
			CAROL LEGGETT (AGENT)	17316 COUNTRY COVE	SAUCIER	MS	39574
			Adjacent Property Owners (2602PC022)				
	48245	0808J-02-087.000	HOANG BINH T	14300 DEDEAUX RD	GULFPORT	MS	39503
	53289	0808O-01-007.000	GUICE SPINNER & ORGLER HOLDINGS LLC	2747 PASS RD	BILOXI	MS	39531
	130956	0808O-01-007.005	WARD S ETHAN	4281 BEATLINE RD	LONG BEACH	MS	39560
	48243	0808J-02-085.000	WILLIAMS GREGORY L	2422 BIENVILLE BLVD	OCEAN SPRINGS	MS	39564
N	53279	0808O-01-005.000	BOX PROPERTIES LLC	P O BOX 3475	GULFPORT	MS	39505
	107248	0808O-02-001.002	JOHNSON MARK & DEBORAH A	11237 B TANNER RD	GULFPORT	MS	39503
N	57803	0808J-02-084.000	FIRST CHRISTIAN CHURCH (DISCIPLES O	(DISCIPLES OF CHRIST)	GULFPORT	MS	39503
	48181	0808J-02-083.000	BLAKELY BONNIE L	101 JANELL DR	GULFPORT	MS	39503
	53281	0808O-02-002.000	PERRY PROPERTY HOLDINGS LLC	14355 DEDEAUX RD	GULFPORT	MS	39503
	53283	0808O-02-003.000	JONES ALBERT H & ANTOINETTE A	PO BOX 1135	LONG BEACH	MS	39560
N	53276	0808O-01-004.000	BOX PROPERTIES LLC	P O BOX 3475	GULFPORT	MS	39505
N	53278	0808O-01-006.000	BOX PROPERTIES LLC	P O BOX 3475	GULFPORT	MS	39505
	48244	0808J-02-086.000	MCCLAIN BELINDA	14310 DEDEAUX RD	GULFPORT	MS	39503
	126290	0808O-02-001.003	BELLWETHER LLC	14335 DEDEAUX ROAD	GULFPORT	MS	39503
	103355	0808O-02-001.001	RED CREEK PROPERTIES LLC	14335 DEDEAUX ROAD	GULFPORT	MS	39505
	149529	0808O-02-016.056	BLESSED INVESTMENTS TEAM LLC	P O BOX 2353	GULFPORT	MS	39503
N	149535	0808O-02-016.062	BLESSED INVESTMENTS TEAM LLC	P O BOX 2353	GULFPORT	MS	39503
N	149533	0808O-02-016.060	BLESSED INVESTMENTS TEAM LLC	P O BOX 2353	GULFPORT	MS	39503
N	149531	0808O-02-016.058	BLESSED INVESTMENTS TEAM LLC	P O BOX 2353	GULFPORT	MS	39503
N	149537	0808O-02-016.064	BLESSED INVESTMENTS TEAM LLC	P O BOX 2353	GULFPORT	MS	39503
N	149538	0808O-02-016.065	GULFPORT CITY OF	P O BOX 1780	GULFPORT	MS	39502
	149479	0808O-02-016.006	NECAISE TIFFANY NICOLE	14360 SOUTHERN ELM AVE	GULFPORT	MS	39503
	149480	0808O-02-016.007	GONZALEZ SYLVESTER & CHELSEA	14356 SOUTHERN ELM AVE	GULFPORT	MS	39503
N	149481	0808O-02-016.008	BLESSED INVESTMENTS TEAM LLC	P O BOX 2353	GULFPORT	MS	39503
N	149482	0808O-02-016.009	BLESSED INVESTMENTS TEAM LLC	P O BOX 2353	GULFPORT	MS	39503
N	149483	0808O-02-016.010	BLESSED INVESTMENTS TEAM LLC	P O BOX 2353	GULFPORT	MS	39503



Legend

- Site
- Street
- Buildings
- Water Features

0 40 80 120
Yards

1 inch = 250 feet

N
W E
S

DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Cols	Depth
51445	IPL0311328	Legal Ad - IPL0311328		1.0	52.0L

ATTENTION: GULFPORT URBAN DEVELOPMENT IP
PO BOX 1780
GULFPORT, MS 39502
accountspayable@gulfport-ms.gov;sasmith@gulfport-ms.gov

LEGAL NOTICE PUBLIC HEARING

In conformance with Section VIII of the Comprehensive Zoning Ordinance of the City of Gulfport, Mississippi, 1979 as amended, notice is hereby given advising that the Gulfport City Planning Commission will hold a public hearing in the City of Gulfport, Mississippi at 4:30 P.M., Thursday, February 26, 2026 in the Council Chambers of the Gulfport City Hall located at 2309 15th Street to consider the following requests. A copy of the requests will be available for public review at the office of the Department of Urban Development, Planning Division, located on first floor of the William H. Hardy Building, 1410 24th Avenue.

Planning Commission Approval 2602PC021, by owner Henry Lane Jr., seeking approval for a mobile home use, Tax Parcel 0710G-01-119.000, Lavender Street, Zoned R-1-5 (Single-family), Ward 3

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Zoning Text & Map Amendment 2603PC028, by City of Gulfport, consider amendment to the City's zoning map to modify Airport Environs and Airspace Zoning District (AEAZD) Land Use Compatibility Overlay Area and amend the Comprehensive Zoning Ordinance to appoint the Planning Commission to be the Airport Zoning Commission and clarify appeal procedures

This the 4th day of February 2026
Keith Williams, Chairman
City of Gulfport Planning Commission
IPL0311328
Feb 11 2026

STATE OF MISSISSIPPI
COUNTY OF HARRISON

Before me, the undersigned Notary personally appeared the undersigned, who, being by me first duly sworn, did depose and say that he/she is a clerk of The Sun Herald, a daily newspaper published in the city of Gulfport, in Harrison County, Mississippi and the publication of the notice, a copy of which is hereto attached, has been made in said paper in the issue(s) of:

1.0 insertion(s) published on:
02/11/26 Print

[Print Tearsheet Link](#)

[Marketplace Link](#)

Sherry Chasteen



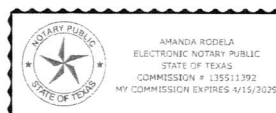
Sherry Chasteen

Amanda Rodela



Sworn to and subscribed before
me on

Feb 11, 2026, 10:27 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNiX®



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, February 26, 2026

Planning Commission Recommendation



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, February 26, 2026

Zoning Text & Map Amendment 2603PC028: Zoning Text & Map Amendment 2603PC028, by City of Gulfport, consider amendment to the City's zoning map to modify Airport Environs and Airspace Zoning District (AEA-ZD) Land Use Compatibility Overlay Area and amend the Comprehensive Zoning Ordinance to appoint the Planning Commission to be the Airport Zoning Commission and clarify appeal procedures



CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

APPLICATION FOR ZONING MAP AMENDMENT/LAND USE RECLASSIFICATION (SMARTCODE)

Property Information

For Staff Use Only

Case File #: 2603PC028Date Received: 1/29/26

Receipt #: _____

Received By: SJS

Zoning: _____

Ward: _____ Flood: _____

TAX PARCEL #

 -

 -

 •

(If necessary, use separate sheet of paper)

Address of Property Involved: _____

Lot(s) _____, Block(s) _____, Subdivision _____

General Location: _____

GENERAL DESCRIPTION OF REQUEST:

Consider amendment to the City's zoning map to modify Airport Environs and Airspace Zoning District (AEAZD)

Land Use Compatibility Overlay Area

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request.

OWNER

City of Gulfport, Urban Development

Printed Name of Owner

1410 24th Ave

Mailing Address

Gulfport

MS

39501

City

State

Zip code

Home Phone

Work/Cell Phone

Email

Signature of Owner

AGENT

Printed Name of Agent

Mailing Address

City

State

Zip code

Home Phone

Work/Cell Phone

Email

Signature of Agent

If the property or properties listed above have more than one owner, please check this box. In the case of multiple owners, reverse side must be completed. Each additional owner will need to complete and sign the reverse side of this application. We can only accept applications with original signatures.

☐

SECTIONS A. THROUGH G. MUST BE SUBMITTED FOR A COMPLETE APPLICATION.

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP AND THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GULFPORT, MISSISSIPPI, ADOPTED THE 29TH DAY OF JUNE 1979, AS AMENDED, TO MODIFY THE AIRPORT ENVIRONS AND AIRSPACE ZONING DISTRICT LAND USE COMPATIBILITY AREA TO MATCH THE NOISE EXPOSURE CONTOURS AS REVISED BY THE GULFPORT-BILOXI REGIONAL AIRPORT AUTHORITY AND FOR RELATED PURPOSES

WHEREAS the City Council previously adopted Ordinance No. 2091 on August 19, 1997, which modified the Gulfport-Biloxi Regional Airport Environs and Airspace Zoning District (AEAZD) Land Use Compatibility Overlay Area pursuant to its authority in MCA Section 61-7-7, which was incorporated in its Comprehensive Zoning Ordinance and made a part of the City's zoning map pursuant to MCA Section 61-7-9;

WHEREAS, the Gulfport-Biloxi Regional Airport Authority has since revised the boundaries of the Environs and Airspace Zoning District (AEAZD) Land Use Compatibility Overlay Area in _____; and

WHEREAS, pursuant to Section III (I)(3)(b) of the City's zoning ordinance the City Council is required to review and amend its Environs and Airspace Zoning District (AEAZD) Land Use Compatibility Overlay Area Map whenever the Gulfport-Biloxi Regional Airport Authority updates or amends their official Noise Exposure Map and the Gulfport-Biloxi Regional Airport Authority has provided the City staff with a copy of such updated Map.

WHEREAS, the Planning Commission is hereby appointed to be the Airport Zoning Commission pursuant to MCA Section 61-7-13 and after an advertised public hearing as provided in MCA Section 61-7- 11 the Planning Commission acting in such capacity has determined and recommended that there has been a change in the circumstances of the neighborhood surrounding the Gulfport-Biloxi International Airport and a public need exists that warrants an amendment to the Airport Environs and Airspace Zoning District (AEAZD) Land Use Compatibility Overlay Area as a part of the City's zoning map.

WHEREAS, after taken into consideration the record made in this case before the Planning Commission, the character of the flying operations expected to be conducted at the airport, the nature of the terrain within the airport hazard area, the character of the neighborhood, and the uses to which the property to be zoned is put and adaptable as provided in MCA Section 61-7-15 and the Commission's recommendation, the Governing Authority did find that the record, which was presented, and based on the common understandings and experiences of the Governing Authority's members, that the City's Zoning Ordinance and Map for the Airport Environs and Airspace Zoning District (AEAZD) Land Use Compatibility Overlay Area should be amended so that the City's Airport Land Use Compatibility Area map shall match the noise exposure contours provided by the Gulfport-Biloxi Regional Airport Authority.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF GULFPORT, MISSISSIPPI, AS FOLLOWS:

SECTION 1: The Comprehensive Zoning Ordinance is hereby amended to provide the Planning Commission is hereby appointed to be the Airport Zoning Commission pursuant to MCA Section 61-7-13 and the Commission shall be responsible for the administration and enforcement of such airport zoning regulations, except for the powers vested in the Board of Adjustment to decide appeals from decisions of the Planning Commission, variances, and special exceptions as provided in MCA Section 61-7-21. Any person aggrieved by any decision of the Planning Commission made in its administration and enforcement of airport zoning regulations may within a reasonable time, but not to exceed thirty (30) days, appeal to the board of adjustment authorized to hear and decide appeals from its decisions as provided in MCA Section 61-7-23. Any aggrieved person, or taxpayer affected, by any decision of the board of adjustment may appeal to the Mayor and City Council within fifteen (15) days of their decision in the manner provided in the zoning ordinance. Appeals from any action of the Mayor and City Council may be filed in the circuit court of the county wherein such decision was rendered within thirty (30) days after the decision is filed by a verified petition setting forth that the decision is illegal, in whole or in part, and specifying the grounds of illegality as provided in MCA Section 61-7-25.

SECTION 2. The official Zoning Map of the Comprehensive Zoning Ordinance of the City of Gulfport, adopted the 29th day of June, 1979, and as revised, be and the same is hereby amended to modify Airport Environs and Airspace Zoning District (AEA ZD) Land Use Compatibility Overlay Area as shown on the attached location map, which is incorporated herein by reference as Exhibit "A".

SECTION 3. To provide for the immediate and temporary preservation of the public peace, health and safety, this Ordinance shall be in full force and become effective upon its passage by unanimous vote and enactment according to law and shall be spread on the minutes of the Gulfport City Council. The Ordinance shall be published according to law and for failure to pass unanimously, shall take effect thirty (30) days after the date of passage.

SECTION 4. The Governing Authority further finds that the following shall serve as an explanatory statement of this Ordinance for purposes of publication: "This Ordinance provides for the amendment of the City's Zoning Ordinance and Map to modify the Airport Environs and Airspace

Zoning District (AEAZD) Land Use Compatibility Overlay Area and for related purposes.” A copy of the full text of this Ordinance is available to municipal residents upon request to the City Clerk." For the next thirty (30) days, a copy of the full text of this Ordinance shall be posted by the City Clerk: (a) in the first floor lobby at City Hall (2309 15th Street, Gulfport, Mississippi 39501); (b) in the first floor lobby of the City's Hardy Building (1410 24th Avenue, Gulfport, Mississippi 39501); and (c) in the first floor lobby of the County Courthouse in Gulfport (1801 23rd Avenue, Gulfport, Mississippi 39501). The City Clerk shall further furnish any resident of the City a copy of the full text of this Ordinance upon request.

The above and foregoing Ordinance, after having been first reduced to writing and read by the Clerk, was introduced by Councilmember _____, seconded by Councilmember _____, and was adopted by the following roll call vote:

YEAS:

NAYS:

ABSENT:

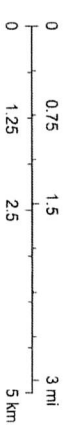
WHEREUPON the President declared the motion carried and the Ordinance adopted, this the _____ day of _____, 2026.

Airport Land Use Compatibility Area



January 22, 2026

1:72,224



Earthstar Geographics, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

AFFIDAVIT OF PUBLICATION

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51445	IPL0311328	Legal Ad - IPL0311328		1.0	52.0L

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PO BOX 1780
GULFPORT, MS 39502
accountspayable@gulfport-ms.gov;sasmith@gulfport-ms.gov

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This the 4th day of February 2026
Keith Williams, Chairman
City of Gulfport Planning Commission
IPL0311328
Feb 11 2026

STATE OF MISSISSIPPI
COUNTY OF HARRISON

Before me, the undersigned Notary personally appeared the undersigned, who, being by me first duly sworn, did depose and say that he/she is a clerk of The Sun Herald, a daily newspaper published in the city of Gulfport, in Harrison County, Mississippi and the publication of the notice, a copy of which is hereto attached, has been made in said paper in the issue(s) of:

1.0 insertion(s) published on:
02/11/26 Print

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Sherry Chasteen



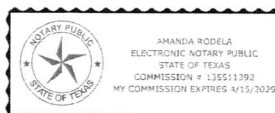
Sherry Chasteen

Amanda Rodela



Sworn to and subscribed before
me on

Feb 11, 2026, 10:27 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNIX®