



Planning Commission | Agenda

Thursday, November 20, 2025 – 4:30 PM

City Hall – Council Chambers
2309 15th Street, Gulfport

- A. Prayer
- B. Pledge of Allegiance
- C. Call to Order
- D. Determination of a Quorum
- E. Confirmation of Agenda
- F. Adoption of Minutes

F1. Planning Commission Meeting - 10-23-2025

G. Announcements

G1. If you are aggrieved by a vote of the Planning Commission, see below.

DECISION ITEMS: Except as noted below, items listed on this agenda as “Decision Items” may be appealed to the Gulfport City Council as follows: Any person or any officer, department or agency of the City aggrieved by a decision of the Planning Commission may, within fifteen (15) days thereafter, appeal therefore to the Gulfport City Council by submitting to the Planning Commission (Department of Urban Development – Planning Division) a written notice of appeal specifying the decision from which the appeal is taken. In the case of such appeal, the Planning Commission shall cause a transcript of the proceedings in the case to be certified to the City Council, and the matter will be heard on said transcripts. The filing fee for an appeal is based on the actual cost of the required official transcript and any related miscellaneous charges.

Exception: The disapproval of a general subdivision plan may be appealed by the subdivider by submitting to the Planning Commission and the Mayor and City Council a written notice of appeal. Upon receipt of notice of appeal, the planning commission shall transmit to the City Council a certified copy of the proceedings upon which the appeal is taken. The City Council may overrule such disapproval by a recorded vote of not less than 2/3 of its entire membership. No other right of appeal exists as to action taken by the Planning Commission on a general subdivision plan. The City Council hearing is not limited to the record created before the Planning Commission.

RECOMMENDATION ITEMS: As to items listed on this agenda as “Recommendation Items”, the recommendation of the Planning Commission, whether to approve (with or without condition) or disapprove, will automatically be submitted to the City Council by the Department of Urban

Development – Planning Division, and the item (except recommendations on Final Plats which are not so limited) will be considered by the City Council on the record created before the Planning Commission. It is not necessary to file anything with the Planning Commission in order to have the matter heard by the City Council.

G2. Anyone speaking today is asked to complete a "Speaker's Card".

Please provide the completed card at the time you speak to the Planning Commission. City staff personnel can assist in any questions you may have or in completing the card. This public meeting is open to all for comment.

H. Hearing of Cases

H1. Planning Commission Decision

1. Planning Commission Approval 2511PC125: (Withdrawn by Planning Staff)

Planning Commission Approval 2511PC125, by owners Joshua & Shelby Stinson, seeking approval for an administrative office for a transportation service as a home occupation, Tax Parcel 1009M-03-010.056, 9166 Ashburn Lane, Zoned R-1-7.5 (Single-Family), Ward 5

2. Special Exception 2511SE126:

Special Exception 2511SE126, by agent Timmity Wilks, seeking approval for a assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3

3. Planning Commission Approval 2511PC128:

Planning Commission Approval 2511PC128, by owners Albert & Gwendolyn Dunlap, seeking approval for administrative office for a real estate management company as a home occupation, Tax Parcel 0711L-02-113.000, 1430 Lewis Avenue, Zoned R-1-7.5 (Single-Family), Ward 1

4. General Plan 2512PC141:

General Plan 2512PC141, by agent Kim Savant, seeking approval for a 30-lot subdivision with 3 outparcels (Wrigleyville Subdivision), Tax Parcels 0710K-01-039.000, 0710K-01-034.001, 34th Street, Zoned R-2 (Single-family), Ward 1

H2. Planning Commission Recommendation

1. Zoning Text Amendment 2511PC127:

Zoning Text Amendment 2511PC127, by agent Schwartz, Orgler, Jordan, & Williams, PLLC, Amendments to the Comprehensive Zoning Ordinance, to amend Section III, District Regulations (K) Chart of Permitted Uses, to allow Medical Clinics to be allowed in I-1 zoning districts with Planning Commission Approval.

2. Zoning Text Amendment 2512PC145:

Zoning Text Amendment 2512PC145, by the City of Gulfport, amendments to the Comprehensive Zoning Ordinance, as amended, to amend Section I, Definitions to define

Intermodal Shipping Container and Shipping Container Park (residential); Section III, District Regulations (C)(10), to include residential Shipping Container Parks and to add such use to subsection (K) of the Chart of Permitted Uses by Planning Commission Approval in R-B, Residence-Business Districts only; and Section IV, Supplementary Regulations, to create subsection 11C to provide for Shipping Container Park (residential) requirements.

I. Reports

J. Unfinished Business

K. Other Business

L. Adjournment

MINUTES
GULFPORT CITY PLANNING COMMISSION
Thursday, October 23, 2025, 4:30 P.M.
City Hall Council Chambers

- A. **Prayer**: The Planning Commission led a prayer.
- B. **Pledge of Allegiance**: The Pledge of Allegiance was recited.
- C. **Call to Order**: The meeting of the Planning Commission was called to order at **4:31 P.M.**
- D. **Determination of a Quorum**: A roll call was performed and a quorum was determined.

BOARD MEMBERS PRESENT:

WM. PRINCE JONES
CHARLIE HEWES
KEITH WILLIAMS
HAROLD SPANN
VIRGINIA ADOLPH
BILL WILLIAMS
TIM DAIGLE JR
CHRIS ROMANO

BOARD MEMBERS ABSENT:

DANIEL KEATING
BRYAN JACOBS
DOUG HANCOCK

STAFF MEMBERS PRESENT:

SAMUEL SMITH
WILLIAM DICKINSON
SU-LIN FEATHERSTON

COURT REPORTER:

NORMA JEAN SOROE

E. **Confirmation of Agenda**:

F. **Adoption of Minutes**:

Motion by **Tim Daigle** and seconded by **WM. Prince Jones** to approve Minutes of the **September 25, 2025** Planning Commission meetings was carried unanimously.

G. **Hearing of Cases**:

G1. The PUBLIC DECLARATION OF APPEAL PROCESS was read by the Chairperson: Any person or any officer, department or agency of the City aggrieved by any decision of the Planning Commission may within fifteen (15) days thereafter appeal there from to the mayor and City Council by filing with the Planning Commission a written notice of appeal specifying the decision from which the appeal is taken. In case of such appeal, the Planning Commission shall cause a transcript of the proceedings in the case to be certified to the mayor and City Council, and the matter will be heard on said transcripts. The filing fee for an appeal is based on the actual cost of the required official transcript and any related miscellaneous charges. Any appeal shall be in writing and submitted to the Department of Urban Development–Planning Division stating what decision is being appealed and detailing how you are aggrieved.

G2. The Chairperson asked for anyone speaking at the meeting to complete a Speaker’s Card.

G3. Routine Agenda

H1. Planning Commission Decisions

1. Tree Permit Appeal 2510PC117:

Tree Permit Appeal 2510PC117, by agent Tony Vu, seeking to appeal denied tree permit, Tax Parcel 0911B-02-015.000, 30 E Beach Blvd, Zoned T6 (Urban Core Zone), Ward 2

Speaking for the Petition: Tony Vu

Speaking against the Petition: Alan Featherston (City of Gulfport Arborist)

Motion: Charlie Hewes – to deny applicant’s request to remove 2 live oak trees.

Second: Tim Daigle

KEITH WILLIAMS	– Chairman
VIRGINIA ADOLPH	– Yea
CHARLIE HEWES	– Yea
DANIEL KEATING	– Absent
WM. PRINCE JONES	– Yea
DOUG HANCOCK	– Absent
BRYAN JACOBS	– Absent
TIM DAIGLE JR	– Yea
CHRIS ROMANO	– Yea
HAROLD SPANN	– Yea
BILL WILLIAMS	– Yea

Action: Motion approved unanimously.

2. Special Exception 2510SE118:

Special Exception 2510SE118, by owner 3 Rivers LLC, seeking approval for a liquor store use, Tax Parcel 0807P-01-023.002, 13111 Three Rivers Road, Zoned B-2 (General-business), R-2 (Single-Family), Ward 7

Speaking for the Petition: Omandeep Singh

Speaking against the Petition: None

Motion: Tim Daigle – to approve applicant’s request with stated conditions.

Second: Chris Romano

KEITH WILLIAMS	– Chairman
VIRGINIA ADOLPH	– Yea
CHARLIE HEWES	– Yea
DANIEL KEATING	– Absent
WM. PRINCE JONES	– Yea
DOUG HANCOCK	– Absent
BRYAN JACOBS	– Absent
TIM DAIGLE JR	– Yea
CHRIS ROMANO	– Yea
HAROLD SPANN	– Yea
BILL WILLIAMS	– Yea

Action: Motion approved unanimously.

H2. Planning Commission Recommendation

3. Zoning Map Amendment 2510PC119:

Zoning Map Amendment 2510PC119, by owner Cast Developments LLC, requesting to rezone parcels to T4+ (General Urban Zone "Plus"), Tax Parcels 0911A-02-099.000, 0911A-02-098.000, 139 Palmetto Lane, 418 16th Street, Zoned T4+ (General Urban Zone "Plus"), T5 (Urban Center Zone), Ward 2

Speaking for the Petition: Juan Castano

Speaking against the Petition: None

Motion: Charlie Hewes – to approve applicant’s request due to the change in circumstances of the neighborhood.

Second: Virginia Adolph

- KEITH WILLIAMS – Chairman
- VIRGINIA ADOLPH – Yea
- CHARLIE HEWES – Yea
- DANIEL KEATING – Absent
- WM. PRINCE JONES – Yea
- DOUG HANCOCK – Absent
- BRYAN JACOBS – Absent
- TIM DAIGLE JR – Yea
- CHRIS ROMANO – Yea
- HAROLD SPANN – Yea
- BILL WILLIAMS – Yea

Action: Motion approved unanimously.

4. Zoning Map Amendment 2511PC122:

Zoning Map Amendment 2511PC122, by agent John Dees, requesting to rezone parcel to be T5 (Urban Center Zone), Tax Parcels 0811F-05-026.000, 0811F-05-027.000, 2100 24th Avenue, 2122 24th Avenue, Zoned T4L (General Urban Zone "Limited"), T5 (Urban Center Zone), Ward 3

Speaking for the Petition: W.F. Holder II

Speaking against the Petition: None

Motion: Chris Romano – to approve applicant’s request due to the public need and the change of the character of the neighborhood.

Second: WM. Prince Jones

- KEITH WILLIAMS – Chairman
- VIRGINIA ADOLPH – Yea
- CHARLIE HEWES – Yea
- DANIEL KEATING – Absent
- WM. PRINCE JONES – Yea
- DOUG HANCOCK – Absent
- BRYAN JACOBS – Absent
- TIM DAIGLE JR – Yea
- CHRIS ROMANO – Yea
- HAROLD SPANN – Yea
- BILL WILLIAMS – Yea

Action: Motion approved unanimously.

K. Other Business

K1. Other Business

General Plan 2512PC134: (Revision of General Plan 2406PC082) seeking approval for 36 lot townhome development with 5 outparcels where was originally approved for 46 lot townhome development with 4 outparcels, Tax Parcels 1010K-04-021.000, 1010K-04-010.000, 1010K-04-006.000, Cowan Road, Zoned T4+ (General Urban Zone "Plus"), T4L (General Urban Zone "Limited"), Ward 2

Speaking for the Petition: Freddie Fountain, Rick Caramena

Speaking against the Petition: None

Motion: Charlie Hewes – to approve applicant’s request with conditions emailed from engineering department.

Second: Tim Diagle

KEITH WILLIAMS	– Chairman
VIRGINIA ADOLPH	– Yea
CHARLIE HEWES	– Yea
DANIEL KEATING	– Absent
WM. PRINCE JONES	– Yea
DOUG HANCOCK	– Absent
BRYAN JACOBS	– Absent
TIM DAIGLE JR	– Yea
CHRIS ROMANO	– Yea
HAROLD SPANN	– Yea
BILL WILLIAMS	– Yea

Action: Motion approved unanimously

I. Adjournment

There being no further business , a Motion was made by Virginia Adolph to adjourn, seconded by Charlie Hewes and carried unanimously. The meeting adjourned at 5:31 P.M.

William Prince Jones, Secretary

Date: _____



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, November 20, 2025

Planning Commission Decision

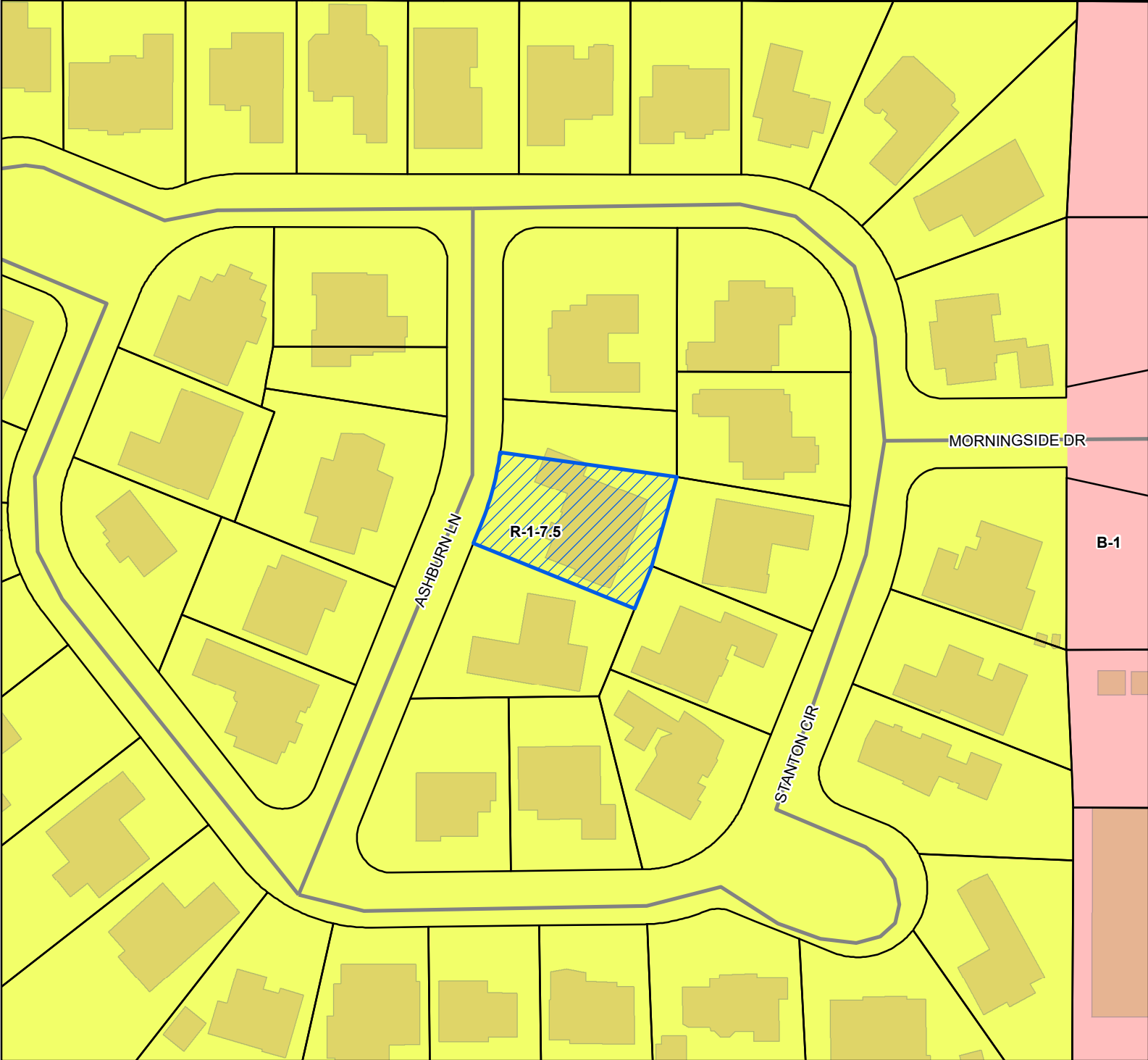


URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

PLANNING COMMISSION

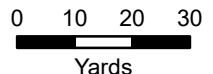
Hearing Date: Thursday, November 20, 2025

Planning Commission Approval 2511PC125: (Withdrawn by Planning Staff) Planning Commission Approval 2511PC125, by owners Joshua & Shelby Stinson, seeking approval for an administrative office for a transportation service as a home occupation, Tax Parcel 1009M-03-010.056, 9166 Ashburn Lane, Zoned R-1-7.5 (Single-Family), Ward 5



- Site
- Street
- Parcels
- Buildings
- City Limit
- Zoning**
- B-1 - Neighborhood Business District
- R-1-7.5 - Single Family Residence District (Low Density)
- R-O - Residence-Office

Site Information
 1009M-03-010.056
 Zoning: R-1-7.5 (Single Family)
 Size: 10561.53 sqft
 Flood: X



1 inch = 100 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

For Staff Use Only



CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

Case Number: 2511PC125

Date Received: 10/11/2025

Receipt Number: 13502188

Received By: AGA

Zoning: R-1-7.5

Ward: 5 Flood: X

Size: 10561 Sqft

APPLICATION FOR PLANNING COMMISSION APPROVAL FOR A HOME OCCUPATION

Property Information

TAX PARCEL #

1	0	0	9	M	-	0	3	-	0	1	0	●	0	5	6
1	0	0	9	M	-	0	3	-	0	1	0	●	0	5	7
					-			-				●			

(If necessary, use separate sheet of paper)

Address of Property Involved: 9166 Ashburn Lane Gulfport, MS 39503

Lot(s) 48, S 1/2 of 49, Block(s) _____, Subdivision Stanton Place

General Location: _____

GENERAL DESCRIPTION OF REQUEST:

Home office for luxury transportation service, No employees at home occupation

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request.

OWNER

AGENT

Joshua K. Stinson
Printed Name of Owner

Printed Name of Agent

Mailing Address

Mailing Address

City State Zip code

City State Zip code

Home Phone Work/Cell Phone

Home Phone Work/Cell Phone

Email

Email

[Signature]
Signature of Owner

Signature of Agent

If the property or properties listed above have more than one owner, please check this box. In the case of multiple owners, reverse side must be completed. Each additional owner will need to complete and sign the reverse side of this application. We can only accept applications with original signatures.

SECTIONS A. THROUGH G. MUST BE SUBMITTED FOR A COMPLETE APPLICATION.

CHECKLIST FOR HOME OCCUPATIONS

Owner's Name: Joshua K. Stinson and Shelby Stinson

Address: 9166 Ashburn Lane Gulfport MS 39503

Phone: (Home) _____ (Work/Cell) _____

If rented, then the name of owner or manager is required, along with a letter of approval from same: _____

Name of business or service to be used as home occupation: Const Luxe Limo, LLC

Nature of business: Luxury Transportation; Point A → Point B;
hourly rate

Please fill in all the appropriate blanks:

Hours of operation: 8:00 a.m. until 5:00 p.m. X

Earlier than 8:00 a.m. _____

Give hours: _____

Later than 5:00 p.m.: X

Give hours: 5:00pm - 8:00pm

Method of conducting business:

Telephone: X

Mail order: _____

Personal computer: X

Appointment: _____

Traffic generation:

Is there any delivery of goods or products to the residence? No

If so, specify the number and frequency of deliveries: N/A

Describe size of vehicle making deliveries: N/A

Is service by appointment only or are there drop-by visits by customers or clientele? _____

No, Not coming by home occupation - meeting at customer location

Specify number and frequency of visits by clients and customers: N/A

Is everything made, manufactured, or provided on site? N/A

Is special equipment required in production? N/A

If so, described it, giving size of motor, etc. N/A

Are sales made from the premises? No

If sales are made from other places, indicate on what basis:

Local stores on consignment: N/A

Arts and crafts or flea markets: N/A

Trade shows: N/A

Other: N/A

Is there a Protective Covenant that exists that prohibits a home occupation at the proposed located?

Yes _____ No X

I certify the above to be true and accurate as it pertains to this application. I recognize that failure to comply with the assurances made in this application may result in the denial or removal of the permit after due notice and public hearing thereon.

Printed Name: Joshua K. Stinson

Signature: 

Date: 9/24/2025

September 21, 2025

From: Joshua Stinson

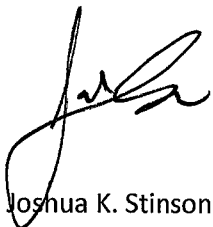
Subject: Home Occupation Application Subsection F

To Whomever it may concern,

From Subsection F of the importance notice, I am required to answer the following questions to ensure application approval:

1. Transportation and access: There will be no change here. As the home owner, I will be the only one involved in the home office. The business will be structured so that we go to pick up the customers and drive them to their location (Point A to Point B). No customers will be met at home.
2. Water Supply: Again, no change here, no additional water requirements or changes to current usage.
3. Waste Disposal: No waste generated, this will only be home office to answer phone calls and add bookings to calendar.
4. Fire and Police Protection: Again, this will only be a home office. Existing fire and police protection is adequate for the home occupation.
5. No other public facilities will be affected.
6. This proposal will not cause any undue traffic congestion or hazard because it will not add any additional traffic. This will only be a home office for Josh Stinson, the homeowner, to use.
7. This proposal is in harmony with orderly and appropriate development of the district because there will be no external change to the home. No negative affects to neighbors, or the community in general. This will strictly be an office to manage to business.

I hereby certify that I have answered each of the questions to the best of my knowledge the answers are true and correct.



Joshua K. Stinson

+ No employees at home occupation JK 10/1/2025

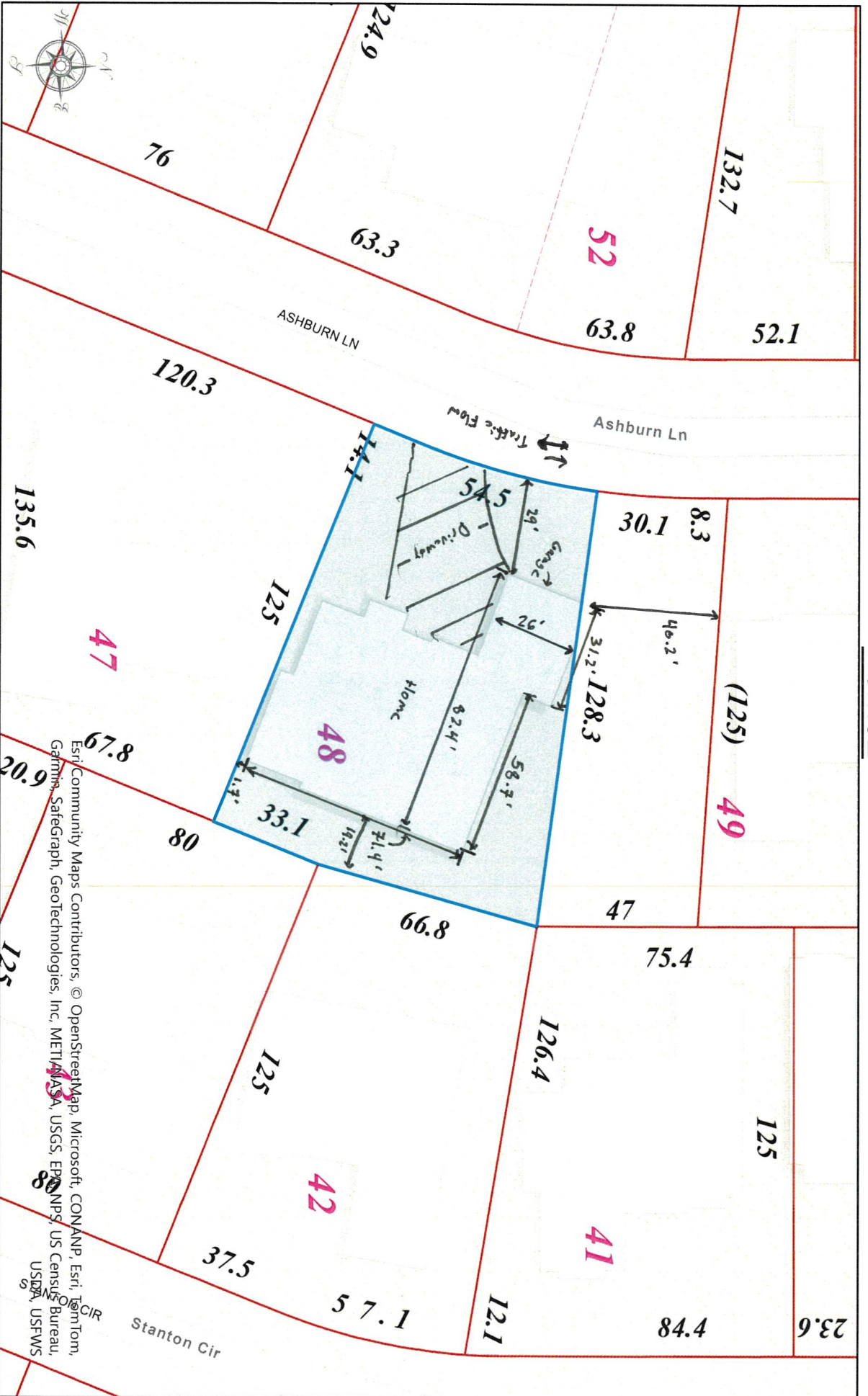
+ Vehicle not stored at home occupation JK 10/1/2025



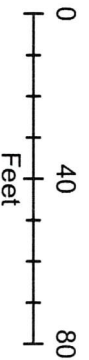
HARRISON COUNTY, MISSISSIPPI

DISCLAIMER: THIS MAP IS FOR PROPERTY TAX ASSESSMENT PURPOSES ONLY. IT WAS CONSTRUCTED FROM PROPERTY INFORMATION RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS AND IS NOT CONCLUSIVE AS TO LOCATION OF PROPERTY OR LEGAL OWNERSHIP. TAL FLURRY, TAX ASSESSOR.

MAP DATE: September 24, 2025



Home2



Esri, Community Maps Contributors, © OpenStreetMap, Microsoft, CONANP, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/ASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS



J.P.D. 1st JUDICIAL DISTRICT
INSTRUMENT 2023-0006488-D-J1
FILED/RECORDED 4/14/2023 1:44:01 PM
TOTAL FEES \$26.00
3 PAGES RECORDED

PREPARED BY AND RETURN TO:
MICHAEL B. MCDERMOTT (2379)
PAGE, MANNINO, PERESICH & MCDERMOTT, P.L.L.C.
759 HOWARD AVENUE
BILOXI, MS 39530
(228)374-2100

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), cash in hand paid, and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, the undersigned,

LORENZO A. HINTON and RENE D. HINTON
Cannon Air Force Base, General Delivery
PSC Box 9999
Clovis, NM 88103
(813)417-6228

do hereby sell, convey and warrant unto

JOSHUA STINSON and SHELBY STINSON
9166 Ashburn Lane, Gulfport, MS 39503
(228)363-0417

as joint tenants with the full right of survivorship, and not as tenants in common, the following described real property, together with all improvements thereon, located in the First Judicial District of Harrison County, State of Mississippi, more particularly and certainly described as follows:



SEE EXHIBIT "A" ATTACHED HERETO

INDEXING INSTRUCTIONS: LOT 48 and SOUTH 1/2 of LOT 49, STANTON PLACE S/D

This conveyance is subject to all restrictions, reservations, easements affecting said property on file and of record in the Office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi.

Ad valorem taxes for the current tax year have been prorated between the parties hereto and the obligation to pay same is assumed by the Grantee herein, who will pay same when due.

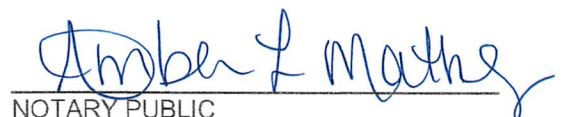
WITNESS our signatures on this the 7 day of April, 2023.


Lorenzo A. Hinton

Rene D. Hinton

STATE OF Nm
COUNTY OF CURRY

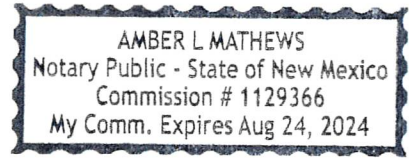
PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the said county and state, on this the 7th day of April, 2023, the within named LORENZO A. HINTON, who acknowledged that he executed and delivered the above and foregoing instrument.

(SEAL)


NOTARY PUBLIC

My Commission Expires:

08/24/2024



STATE OF MISSISSIPPI
COUNTY OF HARRISON

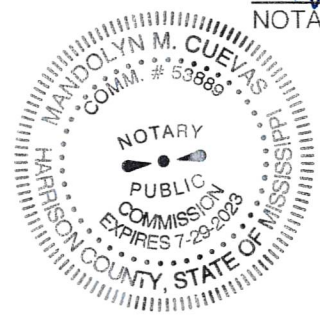
PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the said county and state, on this the 14th day of April, 2023, the within named RENE D. HINTON, who acknowledged that she executed and delivered the above and foregoing instrument.

(SEAL)


NOTARY PUBLIC

My Commission Expires:

07/29/2023

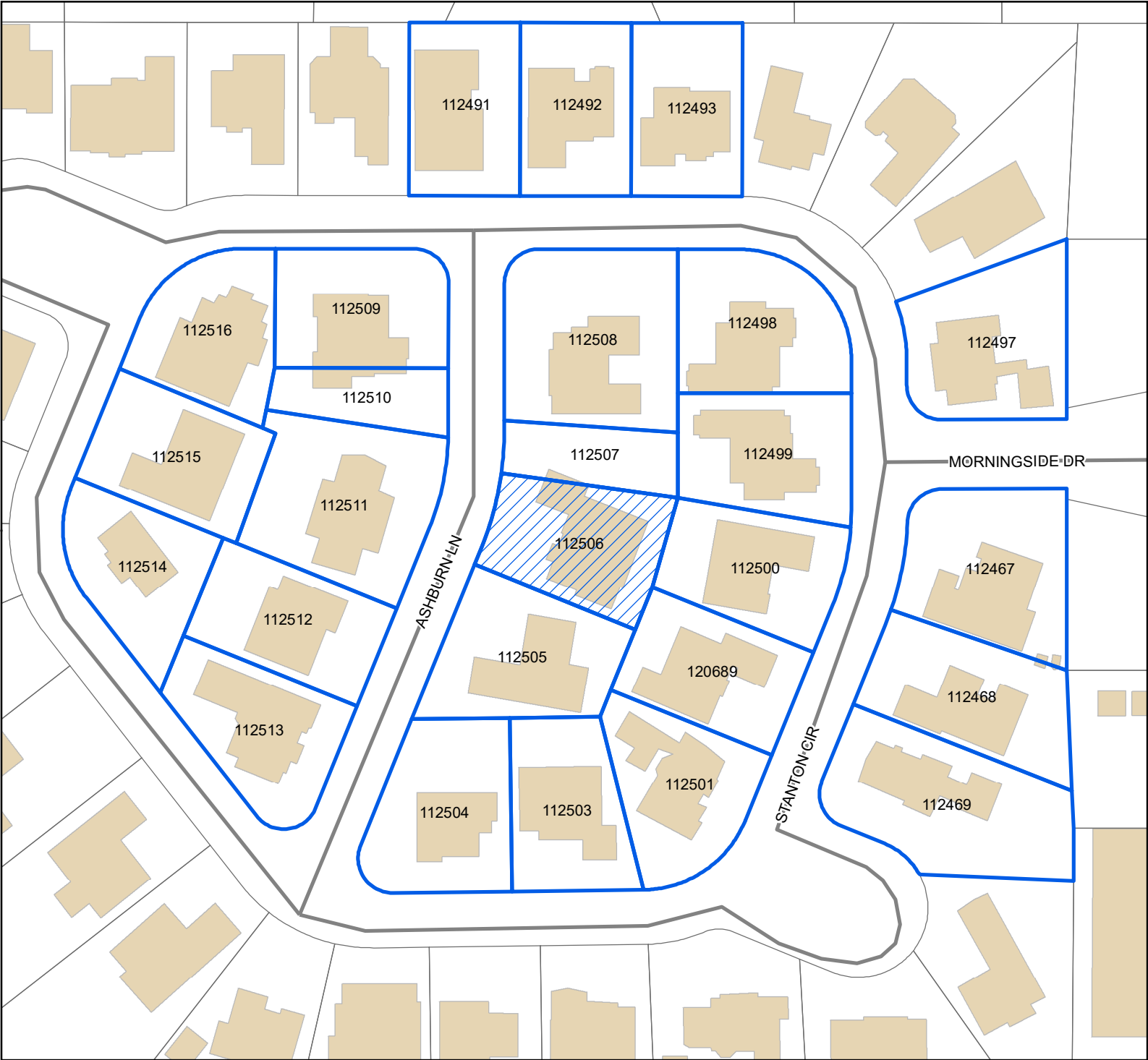


File No.: A00168

EXHIBIT "A"
LEGAL DESCRIPTION

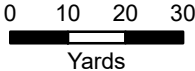
LOT 48 and SOUTH 1/2 of LOT 49, STANTON PLACE SUBDIVISION, a subdivision according to the official map or plat thereof on file and of record in the Office of the Chancery Clerk of Harrison County, First Judicial District, Mississippi, as recorded in Plat Book 40 at Page 22 thereof, reference to which is hereby made in aid of and as a part of this description.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		1009M-03-010.056	JOSHUA & SHELBY STINSON (OWNERS)	9166 ASHBURN LANE	GULFPORT	MS	39503
			Adjacent Property Owners (2511PC125)				
	112497	1009M-03-010.047	CLEVELAND GAINES H & RACHELLE R	11450 STANTON CIR	GULFPORT	MS	39503
	112508	1009M-03-010.058	KNOX WILLIAM III & SHELLEY R	9188 ASHBURN LN	GULFPORT	MS	39503
	112516	1009M-03-010.066	MASSEY JUSTIN C & HELEN ELIZABETH P	11501 BRIARSTONE PLACE	GULFPORT	MS	39503
	112509	1009M-03-010.059	GAINES STEPHEN M & JULIE P	9189 ASHBURN LANE	GULFPORT	MS	39503
	112498	1009M-03-010.048	VASQUEZ ALEX WADE & MARGOT DANE	11461 STANTON PL	GULFPORT	MS	39503
	112512	1009M-03-010.062	JACOBS COURTNEY & BRYAN	9163 ASHBURN LANE	GULFPORT	MS	39503
	112505	1009M-03-010.055	PHILLIPS JOY L & FRANK W	9164 ASHBURN LN	GULFPORT	MS	39503
N	112510	1009M-03-010.060	GAINES STEPHEN M & JULIE P	9189 ASHBURN LANE	GULFPORT	MS	39503
	112467	1009M-03-010.017	SANCHEZ VINCENTE & COOPER CHRISTOPH	11662 STANTON CIRCLE	GULFPORT	MS	39503
	112492	1009M-03-010.042	GANDOUR THERESA STRAUSS	114800 STANTON CIR	GULFPORT	MS	39503
	112469	1009M-03-010.019	HARRISON CECIL P III	11644 STANTON CIR	GULFPORT	MS	39503
	112493	1009M-03-010.043	KARETAS JOHN ALEX & CARA M	11474 STANTON CIRCLE	GULFPORT	MS	39503
	112499	1009M-03-010.049	ROGERS JANET L	11445 STANTON CIRCLE	GULFPORT	MS	39503
N	112506	1009M-03-010.056	STINSON JOSHUA & SHELBY	9166 ASHBURN LANE	GULFPORT	MS	39503
N	112507	1009M-03-010.057	STINSON JOSHUA & SHELBY	9166 ASHBURN LANE	GULFPORT	MS	39503
	112515	1009M-03-010.065	RODGERS EDWARD J & PAMELA J	11539 STANTON CIR	GULFPORT	MS	39503
	112514	1009M-03-010.064	CROAL EDWARD J & LORI M	11555 STANTON CIRCLE	GULFPORT	MS	39503
	112513	1009M-03-010.063	CLEMENTS COLIN & CHELSEA JONES	9155 ASHBURN LANE	GULFPORT	MS	39503
	112503	1009M-03-010.053	BREDEMEIER GREG F & KIMBERLY	11605 STANTON CIRCLE	GULFPORT	MS	39503
	112504	1009M-03-010.054	CALDWELL JOSHUA R & APRIL C	11595 STANTON CIR	GULFPORT	MS	39503
	112491	1009M-03-010.041	HARRIS TYLER A & AMANDA LEBLANC	11490 STANTON CIR	GULFPORT	MS	39503
	112511	1009M-03-010.061	ANDERSON WILEY & ERIN S	9169 ASHBURN LANE	GULFPORT	MS	39503
	112500	1009M-03-010.050	HOLLEMAN HOLLIS TAYLOR & LUCY J	11655 STANTON CIR	GULFPORT	MS	39503
	112468	1009M-03-010.018	HANCOCK DOUGLAS A & TIFFANY R	11650 STANTON CIRCLE	GULFPORT	MS	39503
	120689	1009M-03-010.070	RED CREEK PROPERTIES LLC	11511 TREELAWN ST	GULFPORT	MS	39503
	112501	1009M-03-010.051	BRADFORD DENNIS TODD & CHASE M	11635 STANTON CIRCLE	GULFPORT	MS	39503



Legend

-  Site
-  Street
-  Buildings



1 inch = 100 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, November 20, 2025

Special Exception 2511SE126: Special Exception 2511SE126, by agent Timmity Wilks, seeking approval for a assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3

Technical Report

SPECIAL EXCEPTION

GENERAL INFORMATION

Case File Number: 2511SE126

Hearing Date: Zoning Board November 20, 2025
Planning Commission November 20, 2025

Current Zoning/Use: R-1-5 / Single-Family

Legal: Special Exception 2511SE126, by agent Timmity Wilks, seeking approval for a assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3.

TECHNICAL DETAILS

The applicant requests a Special Exception to allow assisted living facility use located at 3601 Meadowlark Drive, zoned R-1-5 (Single-family). The applicant states, "that he will be living in the home with the clients to ensure they cared for 24 hours a day." They will be carefully selecting individuals who require personal care services or individuals, due to functional impairments, may require mental health services to compensate for activities of daily living. Clients will live in the home on a full-time basis and will receive services such as hot meals, snacks, transportation to doctor appointments, recreational events, laundry service, as well as medication management if needed. Further, it is implied that the living facility will have six or fewer clients. The home has three bedrooms and two bathrooms; two bedrooms will be shared by clients, and the third bedroom will be occupied by live-in caregiver. Off-street parking is a requirement and will use Rooming Houses parking requirements; 1.5 spaces per guest room. The applicant already has existing parking requirements for 2 vehicles and will provide an additional parking plan with 2 regular parking spaces and one handicapped van accessible parking space that will need to pull a permit for upon approval. The additional parking spaces should be concrete or asphalt and must be lined parking spaces. Upon visit, this single-family home is located just six houses down from the intersection of Meadowlark Drive and 34th Avenue on the left.

EXECUTIVE SUMMARY

The applicant requests a special exception to allow a group home with care giver on site. Clients will live in the home on a full- time basis and will receive services such as hot meals, snacks, transportation to doctor appointments, recreational events, laundry service, as well as medication management. The applicant has existing parking requirements for 2 vehicles and will provide additional parking with 2 regular parking spaces and one handicapped van accessible parking space that will fit in behind the back of the house making a total of 4 parking spaces and one handicapped van accessible parking space. The additional parking spaces must be concrete or asphalt and must be lined parking spaces. Parking shall not back out into the right-of-way. Parking lot shall meet City design standards. Handicap parking shown will not meet ADA standards. Revise the plan to provide an accessible door into the structure.

Technical Report

SPECIAL EXCEPTION

Any approval should consider these conditions:

1. Must comply with all current Building Codes and City of Gulfport Ordinances.
2. Parking shall not back out into the right-of-way.
3. Parking lot shall meet City design standards.
4. Handicap parking shown will not meet ADA standards. Revise the plan to provide an accessible route from the space to the accessible door into the structure.

DEPARTMENTAL CONDITIONS

Engineering: Parking shall not back out into the right-of-way. Parking lot shall meet City design standards. Handicap parking shown will not meet ADA standards. Revise the plan to provide an accessible door into the structure. Memo dated 11-6-2025.

Public Works: Parking shall not back out into the right-of-way. Parking lot shall meet City design standards. Handicap parking shown will not meet ADA standards. Revise the plan to provide an accessible door into the structure. Memo dated 11-6-2025.

Traffic and Safety: Parking shall not back out into the right-of-way. Parking lot shall meet City design standards. Handicap parking shown will not meet ADA standards. Revise the plan to provide an accessible door into the structure. Memo dated 11-6-2025.

Building Code Services: Must comply with all current Building Codes and City of Gulfport Ordinances. Memo dated 10/30/2025.

GIS: No conditions. Memo dated 11/6/2025.

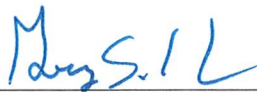
Police Department: No comment as of 11/7/2025.

Fire Department: No conditions. Memo dated 10/30/2025.

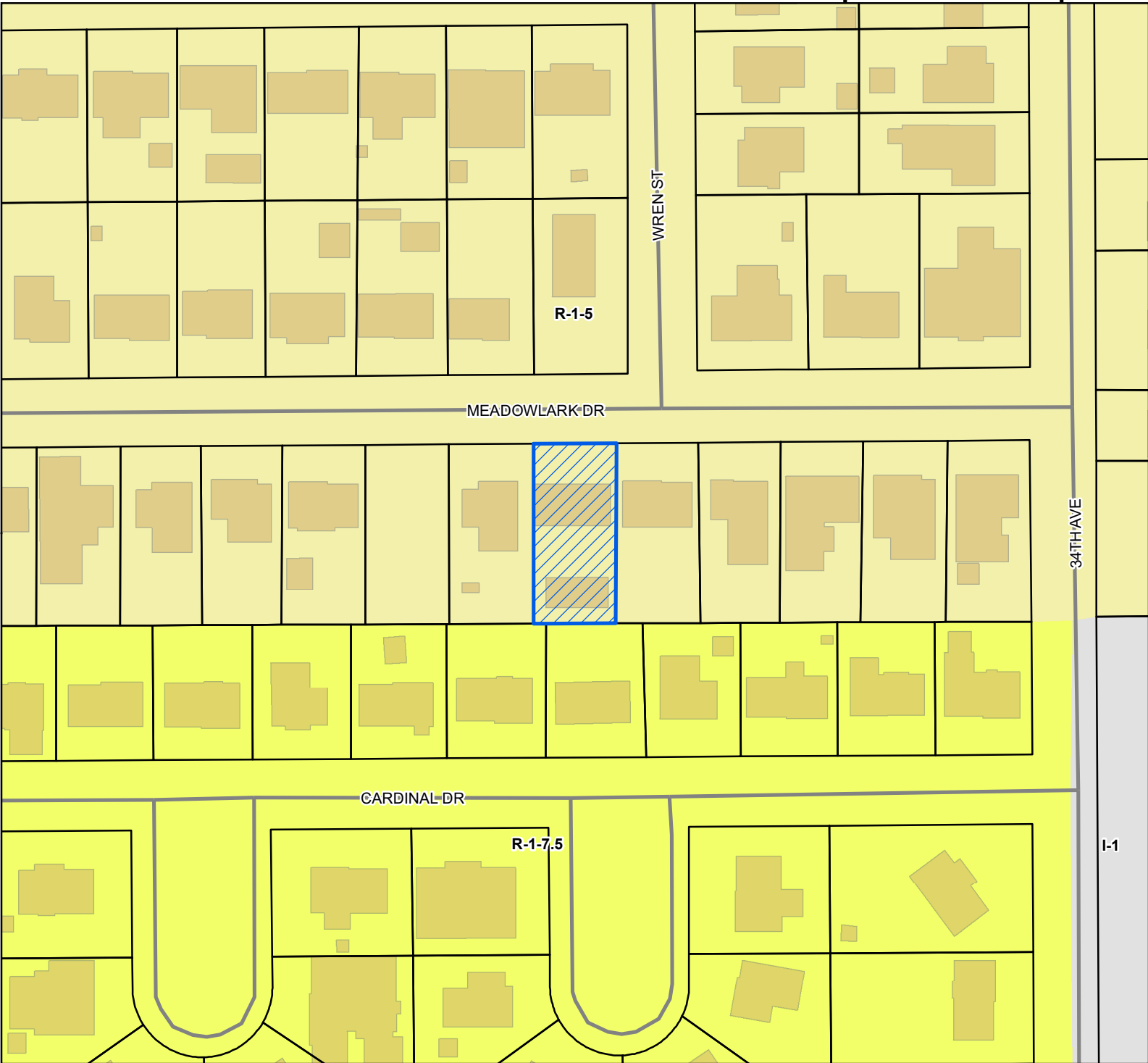
City Arborist: No conditions. Memo dated 10/31/2025.

DIRECTOR APPROVAL

This report has been reviewed and approved by:

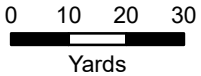


Greg Holmes
Director of Urban Development Department



- Site
- Street
- Parcels
- Buildings
- City Limit
- Zoning**
- I-1 - Light Industry District
- R-1-5 - Single Family Residence District (Medium Density)
- R-1-7.5 - Single Family Residence District (Low Density)

Site Information
 0710H-03-006.000
 Zoning: R-1-5 (Single Family)
 Size: 7666 sqft
 Flood: X



1 inch = 100 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



Designation of Agent

I, Gregory Pittman, being property owner of 3601 MEADOWLARK DR which is the subject of this application hereby authorize Timothy Wilks to act as my representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this petition. This designation authorizes my agent to make verbal or written representations and/or declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in approval or denial of said petition.

Gregory Pittman
Signature

10-3-2025
Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 3rd day of October, 20 25

Autumn D. Zacharias

Notary Public

3-30-26

Commission Expiration





Covenant Affidavit

I, Timothy Wilks being owner or agent of the property 3601 meadowlark

which is the subject of this application, hereby state that this variance request is not in violation of any restrictive or protective covenants.

Timothy Wilks
Signature

10/3/25
Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 3rd day of October, 2025
3-30-26

Autumn D. Zacharias

Notary Public

Commission Expiration



Written Statement for Zoning Board

1 Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and covariance , traffic flow and control and access in case of fire or catastrophe.

Response- The property already has fire and safety in place as well as a certificate of occupancy due to housing tenants. It was used as a single family dwelling so everything is up to code as far as fire safety or catastrophe. The traffic flow will be similar to that of a standard single family dwelling. The parking spaces at the home will be for the staff that will be overseeing the clients. The clients will not have their own transportation.

2 Off street parking and loading areas where required, with particular attention to those items listed in the above bullet statement and the economic, noise, glare or odor effects of the special exception on adjoining properties and properties generally in the district

Response- The building and its offsets will not be altered in any way. This will be an adult foster care facility. It will have no impact on the adjoining properties and properties generally in the district.

3 Refuse and service areas, with reference to the two items in the above

Response- We have waste and recycling containers provided by the City of Gulfport

4 Utilities with reference to the location, availability, and compatibility.

Response- Utilities will be provided by Mississippi Power

5 Screening and buffering with reference to type, dimensions and character.

Response- NA

6 Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district.

Response- NA

7 Required yards and other open space.

Response- We have enough yards and open space to operate the facility.

8 General compatibility with adjacent properties and other properties in the district.

Response- The structure will not be altered in any way.

9 Overview of why the special exception will be in harmony with the general purpose and intent of the zoning ordinance.

Response- There is a strong need for adult foster care facilities in the local area.

Written Statement for Planning Commission

1 Transportation and access –

Response- We will provide transportation for our clients. We will also use CTA when needed.

2 Water Supply and Disposal-

Response- Water supply and disposal will be provided by the city of Gulfport.

3 Fire, police, protection and other public facilities.

Response- Fire, police, protection and other public facilities will be provided by the city of Gulfport. We also have our own security company.

Not causing undue traffic congestion for creating a traffic hazard as being in harmony with the orderly and appropriate development of the district in which the use is located.

Response- our security team will ensure that traffic flow is kept to a minimum. They will also prevent traffic congestion and traffic hazards. No unauthorized personal will be allowed on the premises outside of scheduled visitations from family and guardians who are on the visitation/ pick up list.

24 Hour Care Plan

I will be living with the clients to ensure they are cared for 24 hours a day. I will provide the food , transportation, and activities. I will also make sure that our nurses provide medication to the clients as needed.

The Care schedule will go as follows:

6:30 AM- Beginning of 1st shift.

7:00 AM- Clients will be woken up, showered, and provided with dental and hygiene care as well as dressing them.

8:00 AM- Breakfast will be served to clients.

9:00 AM- Medication will be provided by the nurse to the appropriate clients.

10:00 AM – Games and activities and snacks

11:00 AM- Games and activities

12:00 PM- Lunch will be provided by staff.

1:00. PM- Medication will be provided as needed by nurse .

2:00- 3:00 PM- Games and activities. They will be indoors or outdoors depending on weather conditions. Twice a week this will consist of going out into the community, shopping, and other events that are appropriate for the clients to enjoy. Snacks will also be provided by staff.

4:00 PM- Dinner will be served by staff.

5:00 PM- Medication will be provided by nurse as needed.

6:00 PM- Wind down time. TV, Games, lounging ect.

6:30 PM- End of first shift Start of second shift

7:00 PM Showers, hygiene care.

8:00 PM – Snacks

9:00 PM- Bedtime

10:00 PM Make rounds and check on clients.

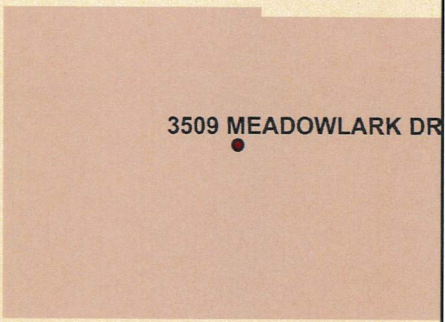
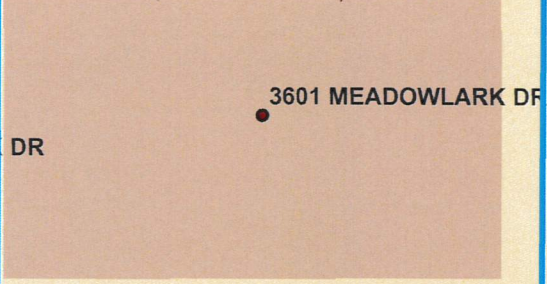
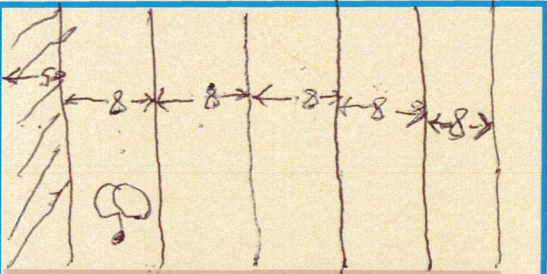
11:00 PM - Sweep, mop, and disinfect living area and kitchen. Make rounds and check on clients.

12:00 -400 AM- Laundry. Make rounds and check on clients every hour on the hour.

5:00 – 6:00 AM Complete logs and any other paperwork from shift. Make final rounds and check on clients.

6:30 AM. End of second shift. Start of first Shift.

MEADOWLARK DR



0710I-01-006.000

0710I-01-005.000

0710I-01-004.000



Gregory Pittman 10-3-2025
DATA DISCLAIMER:

All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness or adequacy of the information contained on this map are expressed or implied.

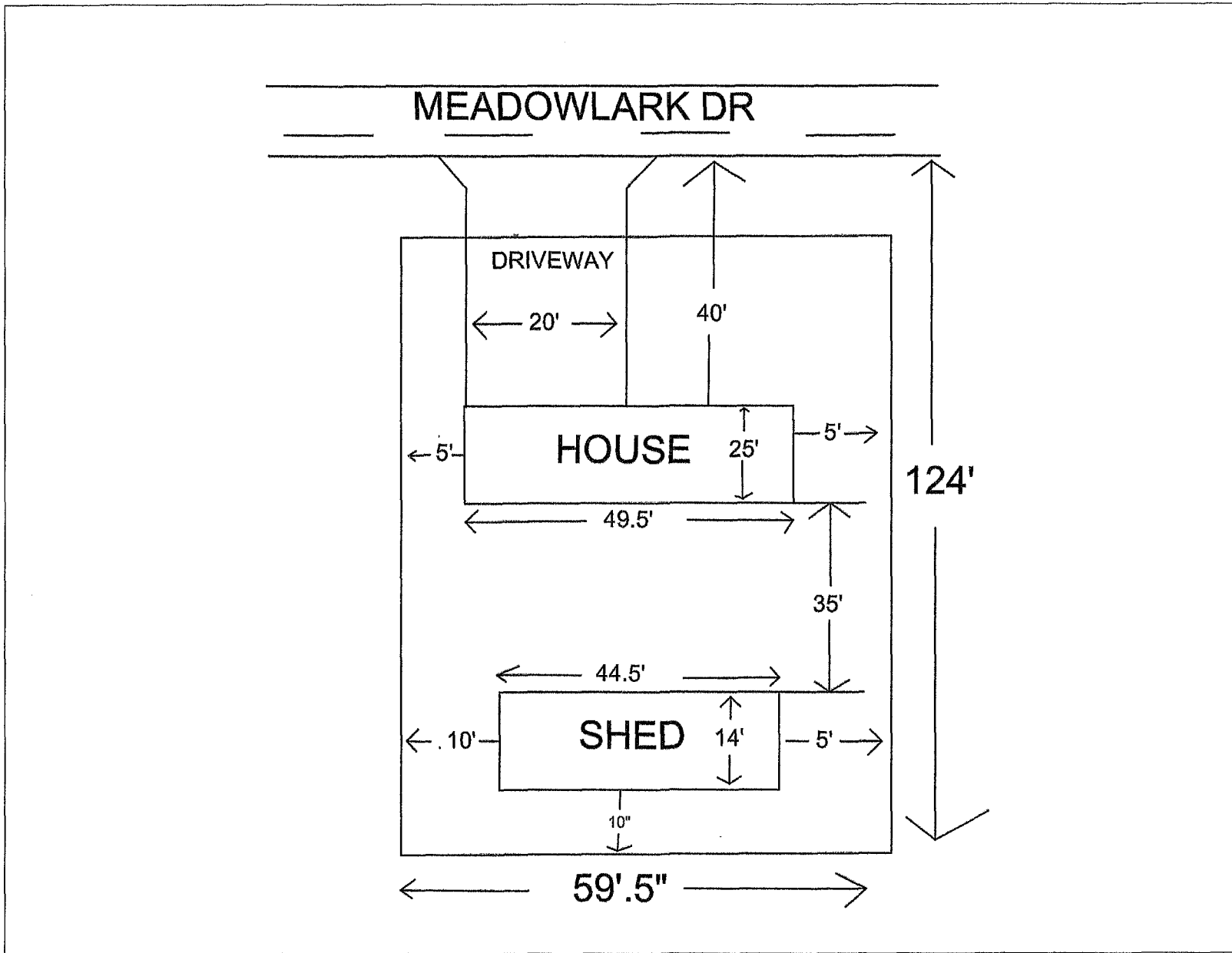
1 inch = 21 feet

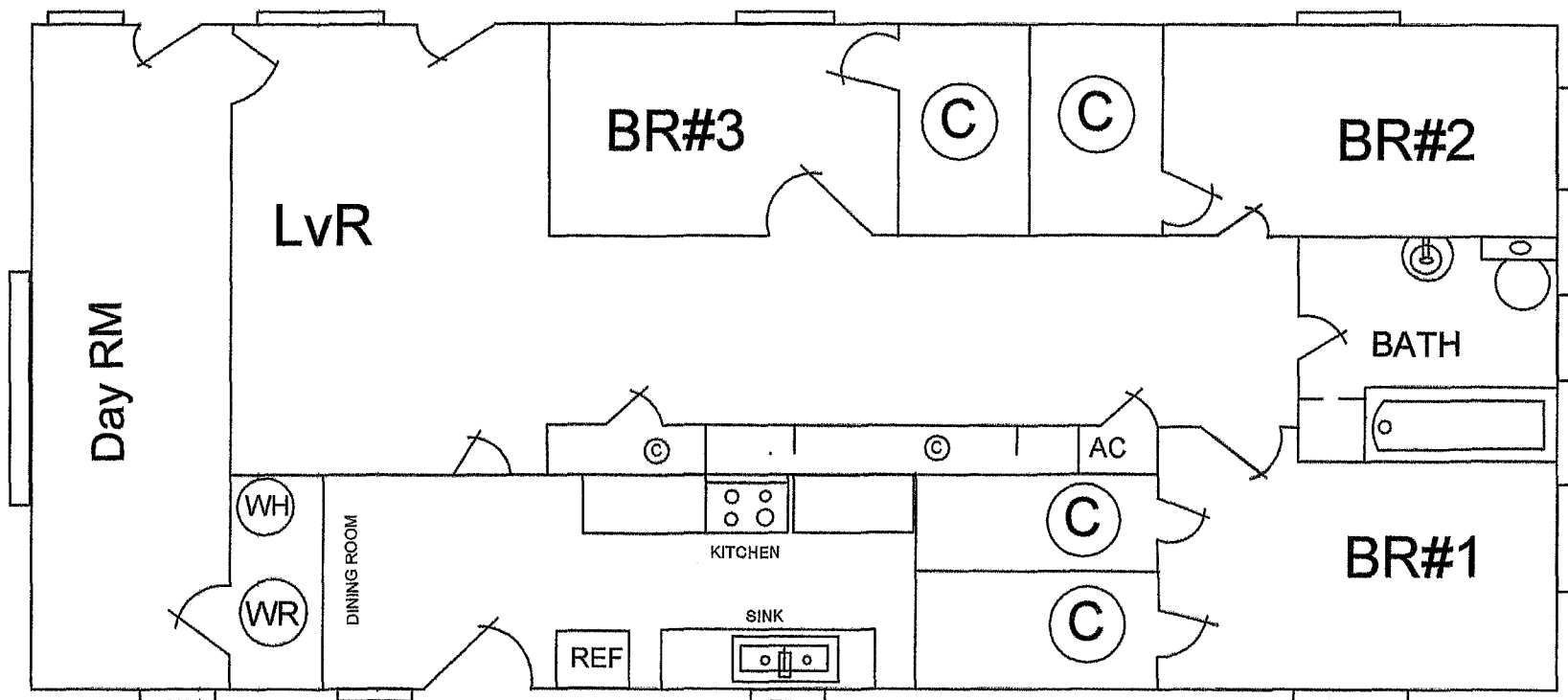
Area Map

Parcels

Printed 10/3/2025







STATE OF MISSISSIPPI
COUNTY OF HARRISON

BOOK 1010 PAGE 418

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10 00) cash
in hand paid and other good and valuable consideration the receipt and
sufficiency of all of which is hereby acknowledged the undersigned Irma L.
Peyton do(es) hereby sell convey and warrant unto Gregory Pittman a single
person the following land and property located and situated in the County of
Harrison State of Mississippi and being more particularly described as
follows to-wit:

Lot 5 ROLLING MEADOWS Unit I to the County of Harrison State of Mississippi
as per map or plat thereof on file and of record in Plat Book 25 Page 3 of the
Plat Records of Harrison County Mississippi

THIS CONVEYANCE is subject to any and all recorded restrictive coven-
ants rights of way easements and prior reservation of any oil gas minerals
and other rights

TAXES for the current year are prorated as of this date and assumed
by the Grantee(s) herein

EXECUTED this the 14th day of May 1985

Irma L. Peyton
Irma L. Peyton

STATE OF MISSISSIPPI
COUNTY OF HARRISON

PERSONALLY appeared before me the undersigned authority in and for the
aforesaid jurisdiction the within-named Irma L. Peyton who acknowledged to
and before me that she signed and delivered the foregoing instrument of writing
on the day and in the year therein mentioned

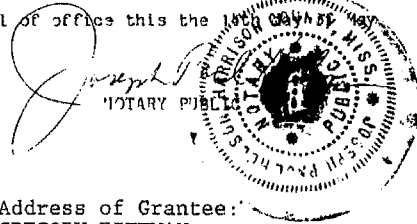
GIVEN under my hand and official seal of office this the 14th day of
1985

My Commission Expires:

My Commission Expires March 14, 1988

Address of Grantor:
IRMA L. PEYTON
3504 Meadowlark Drive
North Gulfport, MS. 39501

Address of Grantee:
GREGORY PITTMAN
3601 Meadowlark Drive
North Gulfport, MS. 39501



S. C. R. L. V. P. G. R.

CITY OF NEW ORLEANS
STATE OF LOUISIANA
CERTIFICATE OF DEATH

CITY FILE NO.

BIRTH NO.		1. Last Name of Deceased PEYTON		1b. First Name SHAMUEL		1c. Formal Name		2a. Month 3		2b. Day 21		2c. Year 1977	
3. Sex - Male or Female Male		4. Color or Race Black		5. Married <input checked="" type="checkbox"/> Never Married <input type="checkbox"/>		6. Widowed <input type="checkbox"/> Divorced <input type="checkbox"/>		7a. Birthplace (City and State) MISS		7b. Country of Birth USA		8. Date of Birth of Deceased MAR 22 - 18	
9. Age of Deceased 58		10. Sex of Deceased Male		11. Hours 10		12. Minutes 34		13. Kind of Industry or Business STATE (MISS)		14. Was Deceased ever in U.S. Armed Forces? No		15. Length of Stay in New Orleans 24 days	
16. City, Town, or Location NEW ORLEANS		17. Parish ORLEANS		18. Name of Hospital or Institution (If not in hospital or institution give street address or location) Hotel Dieu Hospital, New O.		19. Length of Stay in Hospital or Institution 4 days		20. City or Town NEW ORLEANS		21. Parish HARRISON		22. State MISS	
23. Street Address - (If rural give location) 3504 MADRID LARK DR		24. Is Residence Inside City Limits? <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Is Residence on a Farm? <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Name of Father SAMUEL PATE		27. Birthplace of Father (City and State) MISS		28. Maiden Name of Mother EMILY FORD		29. Birthplace of Mother (City and State) MISS	
30. I certify that the above stated information is true and correct to the best of my knowledge.		31. Signature of Informant and Address W. H. Stewart		32. Signature of Physician W. Parker		33. Date of Signature 2-21-77		34. Date of Death 2-21-77		35. Signature of Registrar W. Parker		36. Date of Signature 2-21-77	
37. Part I. Death Was Caused By: Immediate Cause (a) LV Failure		38. Conditions, if any which gave rise to above cause (b), stating the underlying cause last. Due to (b) Ventricular aneurysmectomy and double coronary a. occlusions		39. Conditions Contributing to Death But Not Related to the Terminal Disease Condition Given in Part I (a)		40. Accident <input type="checkbox"/> Suicide <input type="checkbox"/> Homicide <input type="checkbox"/>		41. Describe How Injury Occurred (Enter nature of injury in Part I or Part II of Item 17.) Intraoperative		42. Time of Injury 9:30 a.m.		43. Date of Injury 2-21-77	
44. Injury Occurred While At Work <input type="checkbox"/> Not While At Work <input checked="" type="checkbox"/>		45. Place of Injury (e.g., in or about home, farm, factory, street office bldg., etc.) NOT KNOWN		46. City, Town, or Location NEW ORLEANS		47. Parish HARRISON		48. State MISS		49. Signature of Physician W. Parker		50. Date of Signature 2-21-77	
51. I certify that I attended the decedent from 2-17 to 2-21-77 and that death occurred on the date and hour stated above.		52. Signature of Physician W. Parker		53. Date of Signature 2-21-77		54. Name and Location of Cemetery or Urnatory St. Charles Cemetery, Monticello		55. Signature and Address of Funeral Director LOCKETT MONTICELLO		56. Date of Burial 2-27-77		57. Signature of Deed, Registrar W. Parker	
58. Burial or Cremation Removal 2-27-77		59. Name of Funeral Home W. Parker		60. Date of Death 2-21-77		61. Signature of Registrar W. Parker		62. Date of Signature 2-21-77		63. Signature of Registrar W. Parker		64. Date of Signature 2-21-77	

Mr. Mussett - took Coroner's Report

I CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF A CERTIFICATE DULY REGISTERED WITH THE LOUISIANA HEALTH AND HUMAN RESOURCES ADMINISTRATION, DIVISION OF HEALTH, OFFICE OF VITAL RECORDS.

William H. Stewart
STATE HEALTH OFFICER
MAR - 9 1977

W. Parker
STATE REGISTRAR

3004

90

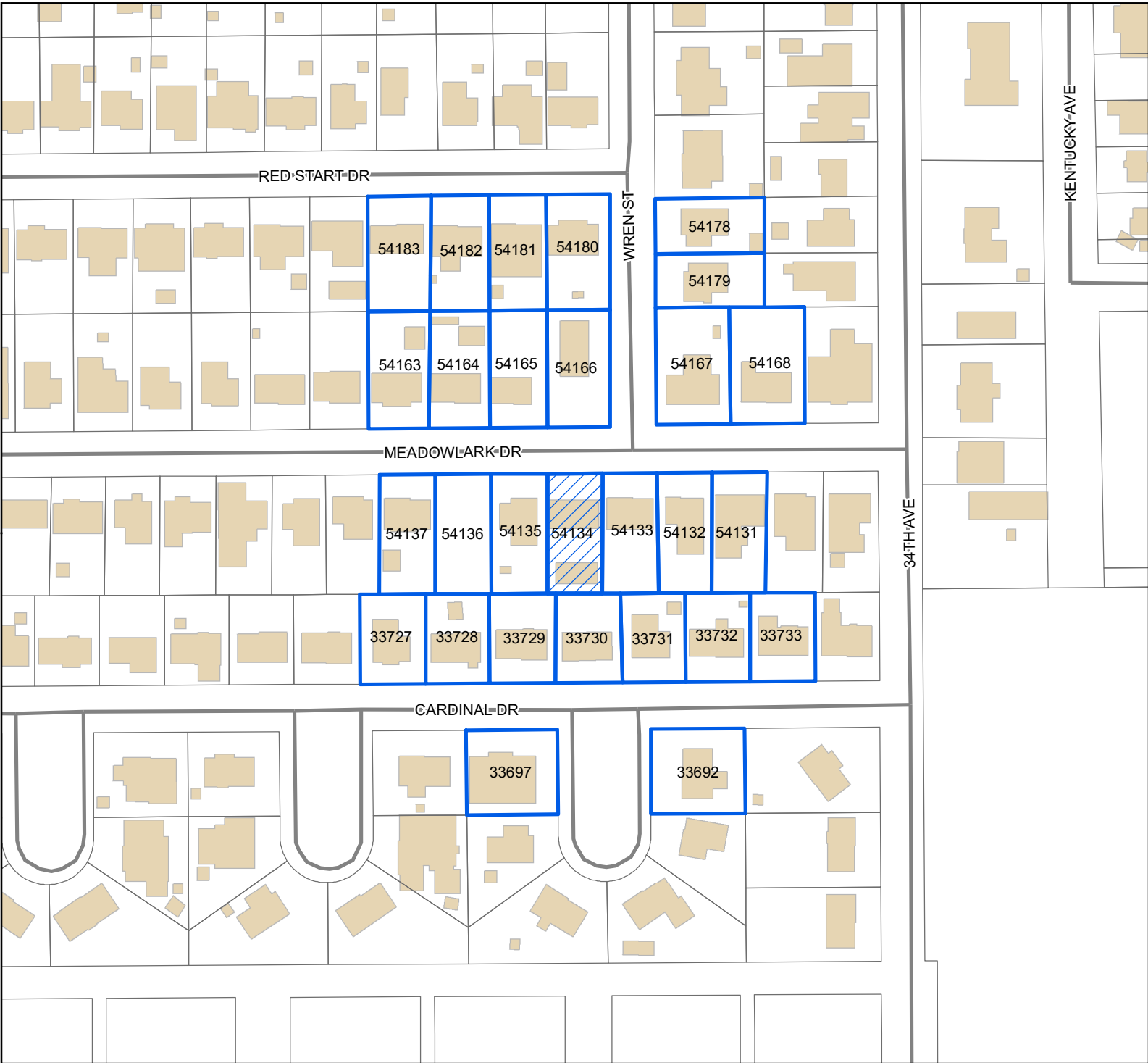
STATEMENT OF FEES

First Page	\$2.00
Additional Pages	1.00
Marginal	1.00
Other	1.00
Total Fees	5.00


STATE OF MISSISSIPPI, COUNTY OF HARRISON, FIRST JUDICIAL DISTRICT:

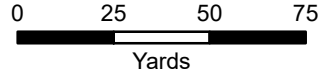
I hereby certify that this instrument was received and filed for record at 3 o'clock and 29 minutes P. M. on 15 day of May, A.D. 1985 and recorded May 16, 1985 in Records of Deeds Book 1010 Pages 418-419

By Doreen Dept S. N. CREEL, Chancery Clerk



Legend

-  Site
-  Street
-  Buildings



1 inch = 150 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		0710H-03-006.000	GREGORY PITTMAN (OWNER)	3601 MEADOWLARK DR	GULFPORT	MS	39501
			TIMMITHY WILKS (AGENT)	3601 MEADOWLARK DR	GULFPORT	MS	39501
			Adjacent Property Owners (2511SE126)				
	54179	0710H-02-083.000	RATLIFF JESSE J & GWENDOLYN	196 WILSON RD	LUDEDALE	MS	39452
	54182	0710H-02-157.000	TOWNER GREGORY	4605 RED START DR	GULFPORT	MS	39501
	54183	0710H-02-156.000	EVANS MELISSA	4607 RED START DR	GULFPORT	MS	39501
	54165	0710H-02-161.000	BROTHERN GAIL L	3602 MEADOWLARK DRIVE	GULFPORT	MS	39501
	54164	0710H-02-162.000	MARSHALL PAUL & ARRIETTA	5114 14TH ST	GULFPORT	MS	39501
	54132	0710H-03-004.000	GRIFFIN CLARA CORDELIA & AMOS	3507 MEADOWLARK DR	GULFPORT	MS	39501
N	54134	0710H-03-006.000	PITTMAN GREGORY	3601 MEADOWLARK DR	GULFPORT	MS	39501
	33731	0710I-01-004.000	SANDERS OTIS & BETTIE	102 ROBIN COURT	GULFPORT	MS	39501
	33729	0710I-01-006.000	OCAMPO ROSA ELIA NUNEZ	2925 25TH AVE	GULFPORT	MS	39501
	54167	0710H-02-082.000	HOLLOWAY ANDRIA	3504 MEADOWLARK DR	GULFPORT	MS	39501
	54137	0710H-03-009.000	NUNNALLY CAROLYN -ESTATE-	3607 MEADOWLARK DRIVE	GULFPORT	MS	39501
	33732	0710I-01-003.000	TILLMAN BRIAN -ESTATE-	8191 TEXAS AVE	GULFPORT	MS	39501
	54166	0710H-02-160.000	JENSEN JAMIE	15300 DISMUKE AVE UNIT 14D	BILOXI	MS	39532
	54163	0710H-02-163.000	MARSHALL PAUL & PAULA	5114 14TH STREET	GULFPORT	MS	39501
	54136	0710H-03-008.000	WASHINGTON MARILYN	8051 34TH AVE	GULFPORT	MS	39501
	54180	0710H-02-159.000	KUREK HENRYKA -TRUSTEE-	738 FILBERT WAY	CAMPBELL	CA	95008
	54181	0710H-02-158.000	BANKS MAE D MRS	4603 REDSTART DR	GULFPORT	MS	39501
	54131	0710H-03-003.000	MCCLELLAND REGINALD & ZIVA M JAMES	16150 SYLVAN DRIVE	GULFPORT	MS	39503
	33733	0710I-01-002.000	GILL LAKETTA	4702 CARDINAL DR	GULFPORT	MS	39503
	33692	0710I-01-043.000	CLAYTON MARTHA B	4701 CARDINAL DR	GULFPORT	MS	39501
	33727	0710I-01-008.000	SCIPIONE NANCY HOPE W	1447 EAST PASS RD	GULFPORT	MS	39507
	33697	0710I-01-038.000	WILLIAMS LILLIAN	4711 CARDINAL DR	GULFPORT	MS	39501
	54168	0710H-02-081.000	CHAMP EVELYN L -TOD-	3502 MEADOW LARK DR	GULFPORT	MS	39501
	54133	0710H-03-005.000	JOHNSON ERICA G	4625 RED START DR	GULFPORT	MS	39501
	54135	0710H-03-007.000	RAYMOND HAZEL L	3603 MEADOWLARK DR	GULFPORT	MS	39501
	33728	0710I-01-007.000	POWELL TIMOTHY DEVON	3603 LAVENDER ST	GULFPORT	MS	39501
	54178	0710H-02-084.000	JAMES MICHAEL LEE	4502 WREN ST	GULFPORT	MS	39501
	33730	0710I-01-005.000	ROBERTS LAN THI & GRACE LINDA	4708 CARDINAL DR	GULFPORT	MS	39501

McClatchy

The Beaufort Gazette
 The Belleville News-Democrat
 Bellingham Herald
 Centre Daily Times
 Sun Herald
 Idaho Statesman
 Bradenton Herald
 The Charlotte Observer
 The State
 Ledger-Enquirer

Durham | The Herald-Sun
 Fort Worth Star-Telegram
 The Fresno Bee
 The Island Packet
 The Kansas City Star
 Lexington Herald-Leader
 The Telegraph - Macon
 Merced Sun-Star
 Miami Herald
 El Nuevo Herald

The Modesto Bee
 The Sun News - Myrtle Beach
 Raleigh News & Observer
 Rock Hill | The Herald
 The Sacramento Bee
 San Luis Obispo Tribune
 Tacoma | The News Tribune
 Tri-City Herald
 The Wichita Eagle
 The Olympian

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Cols	Depth
51445	IPL0287853	Legal Ad - IPL0287853		1.0	79.0L

ATTENTION: GULFPORT URBAN DEVELOPMENT IP
 PO BOX 1780
 GULFPORT, MS 39502
 accountspayable@gulfport-ms.gov;sasmith@gulfport-ms.gov

STATE OF MISSISSIPPI
 COUNTY OF HARRISON
 Before me, the undersigned Notary personally appeared the under-
 signed, who, being by me first duly sworn, did depose and say that he/
 she is a clerk of The Sun Herald, a daily newspaper published in the
 city of Gulfport, in Harrison County, Mississippi and the publication of
 the notice, a copy of which is hereto attached, has been made in said
 paper in the issue(s) of:

1.0 insertion(s) published on:
 11/05/25 Print

**LEGAL NOTICE
 PUBLIC HEARING**

In conformance with Section VIII of the Comprehensive Zoning Ordinance of the City of Gulfport, Mississippi, 1979 as amended, notice is hereby given advising that the Gulfport City Planning Commission will hold a public hearing in the City of Gulfport, Mississippi at 4:30 PM., Thursday, November 20, 2025 in the Council Chambers of the Gulfport City Hall located at 2309 15th Street to consider the following requests. A copy of the requests will be available for public review at the office of the Department of Urban Development, Planning Division, located on the first floor of the William H. Hardy Building, 1410 24th Avenue.

Special Exception 2511SE126, by agent Timmthy Wilks, seeking approval for a assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3

Planning Commission Approval 2511PC128, by owners Albert & Gwendolyn Dunlap, seeking approval for administrative office for a real estate management company as a home occupation, Tax Parcel 0711L-02-113.000, 1430 Lewis Avenue, Zoned R-1-7.5 (Single-Family), Ward 1

General Plan 2512PC141, by agent Kim Savant, seeking approval for a 30-lot subdivision with 3 out-parcels (Wrigleyville Subdivision), Tax Parcels 0710K-01-039.000, 0710K-01-034.001, 34th Street, Zoned R-2 (Single-family), Ward 1

Zoning Text Amendment 2511PC127, by agent Schwartz, Orgler, Jordan, & Williams, PLLC, Amendments to the Comprehensive Zoning Ordinance, to amend Section III, District Regulations (K) Chart of Permitted Uses, to allow Medical Clinics to be allowed in I-1 zoning districts with Planning Commission Approval.

Zoning Text Amendment 2512PC145, by the City of Gulfport, amendments to the Comprehensive Zoning Ordinance, as amended, to amend Section I, Definitions to define Intermodal Shipping Container and Shipping Container Park (residential); Section III, District Regulations (C)(10), to include residential Shipping Container Parks and to add such use to subsection (K) of the Chart of Permitted Uses by Planning Commission Approval in R-B, Residence-Business Districts only; and Section IV, Supplementary Regulations, to create subsection 11C to provide for Shipping Container Park (residential) requirements.

This the 4th day of November 2025
 Keith Williams, Chairman
 City of Gulfport Planning Commission
 IPL0287853
 Nov 5 2025

[Print Tearsheet Link](#)

[Marketplace Link](#)

Mary Castro



Mary Castro

Russ Cage Davis



Sworn to and subscribed before me on Nov 5, 2025, 10:28 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNIX™



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, November 20, 2025

Planning Commission Approval 2511PC128: Planning Commission Approval 2511PC128, by owners Albert & Gwendolyn Dunlap, seeking approval for administrative office for a real estate management company as a home occupation, Tax Parcel 0711L-02-113.000, 1430 Lewis Avenue, Zoned R-1-7.5 (Single-Family), Ward 1

Technical Report
PLANNING COMMISSION APPROVAL

GENERAL INFORMATION

Case File Number: 2511PC128

Hearing Date: November 20, 2025

Current Zoning/Use: R-1-7.5 / Single Family Home

Legal: Planning Commission Approval 2511PC128, by owners Albert & Gwendolyn Dunlap, seeking approval for administrative office for a real estate management company as a home occupation, Tax Parcel 0711L-02-113.000, 1430 Lewis Avenue, Zoned R-1-7.5 (Single-Family), Ward 1

TECHNICAL DETAILS

The applicant is requesting an administrative office for a real estate management company as a home occupation. The applicant states that all business being done at this property will be for office purposes only via phone or a computer. The applicant notes that no customers will be on site and that the business will have zero impact on the surrounding neighbors or the community. The applicant states hours of operation for the business will be from 8:00 AM till 5:00 PM. Additionally, the applicant has stated that there are no protective covenants to prohibit the business.

EXECUTIVE SUMMARY

The application meets the requirements for a home occupation that requires Planning Commission Approval. By application it appears the request will have very little impact on the neighborhood.

Any approval should consider these conditions:

1. Approval would allow for an administrative office for a real estate management company as a home occupation.
2. As a Home Occupation, the applicant cannot have employees. If applicant wishes to have employees, a commercial location will be required.
3. No customers allowed on premises. Must comply with all current building codes and City of Gulfport Ordinances.

DEPARTMENTAL CONDITIONS

Engineering: No conditions. Memo dated 11/06/25.

Public Works: No conditions. Memo dated 11/06/25.

Traffic and Safety: No conditions. Memo dated 11/06/25.

Technical Report

PLANNING COMMISSION APPROVAL

Building Code Services: No customers allowed on premises. Must comply with all current building codes and City of Gulfport Ordinances. Memo dated 10/30/25.

GIS: No conditions. Memo dated 11/06/25.

Police Department: No comment as of 11/07/25.

Fire Department: No conditions. Memo dated 10/30/25.

City Arborist: No conditions. Memo dated 10/31/25.








DIRECTOR APPROVAL

This report has been reviewed and approved by:

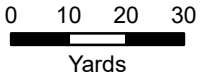


Greg Holmes
Director of Urban Development Department



-  Site
-  Street
-  Parcels
-  Buildings
-  City Limit
- Zoning**
-  R-1-7.5 - Single Family
-  Residence District (Low Density)

Site Information
 0711L-02-113.000
 Zoning: R-1-7.5 (Single Family)
 Size: 11519.39 sqft
 Flood: X



1 inch = 100 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

For Staff Use Only

Case Number: 2511P4128
Date Received: 10/6/25
Receipt Number: 13518190
Received By: WD
Zoning: R-1-7.5
Ward: 1 Flood: _____
Size: 11,519.39 sq ft

**APPLICATION FOR
PLANNING COMMISSION APPROVAL
FOR A HOME OCCUPATION**

Property Information

TAX PARCEL #

0	7	1	1	1	-	0	2	-	1	1	3	.	0	0	0
					-			-				.			
					-			-				.			

(If necessary, use separate sheet of paper)

Address of Property Involved: 1430 Lewis Ave, Gulfport, MS 39501
Lot(s) 1 to 4, Block(s) 17, Subdivision Central Beach
General Location: West Gulfport

GENERAL DESCRIPTION OF REQUEST:

Obtaining a license for operating family business from home office for MANAGING REAL ESTATE Co.

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request.

OWNER
Albert L. Dunlap
Printed Name of Owner
Mailing Address
City State Zip code
Home Phone Work/Cell Phone
Email
Albert L. Dunlap
Signature of Owner

AGENT
Printed Name of Agent
Mailing Address
City State Zip code
Home Phone Work/Cell Phone
Email
Signature of Agent

If the property or properties listed above have more than one owner, please check this box. In the case of multiple owners, reverse side must be completed. Each additional owner will need to complete and sign the reverse side of this application. We can only accept applications with original signatures.



SECTIONS A. THROUGH G. MUST BE SUBMITTED FOR A COMPLETE APPLICATION.

CHECKLIST FOR HOME OCCUPATIONS

Owner's Name: Albert L. Dunlap
Address: 1430 Lewis Ave., Gulfport, MS 39501
Phone: (Home) _____ (Work/Cell) _____

If rented, then the name of owner or manager is required, along with a letter of approval from same: N/A

Name of business or service to be used as home occupation: L & K Enterprises, Lbs C
Nature of business: Family owned Rental Property

Please fill in all the appropriate blanks:

Hours of operation: 8:00 a.m. until 5:00 p.m.

Earlier than 8:00 a.m. _____

Give hours: _____

Later than 5:00 p.m.: _____

Give hours: _____

Method of conducting business:

Telephone:

Mail order: _____

Personal computer:

Appointment: _____

Traffic generation:

Is there any delivery of goods or products to the residence? No

If so, specify the number and frequency of deliveries: N/A

Describe size of vehicle making deliveries: N/A



Covenant Affidavit

I, Albert L. Dunlap, being owner or agent of the property 1430 Lewis Avenue
PRINT NAME PRIMARY ADDRESS / PARCEL
Gulfport, MS

which is the subject of this application, hereby state that this request is not in violation of any restrictive or protective covenants.

Albert L. Dunlap
Signature

10/6/25
Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 6th day of October, 2025
Samuel Sweeting 05/22/2027
Commission Expiration

Notary Public



CHECKLIST FOR HOME OCCUPATIONS

Owner's Name: Albert L Dunlap
 Address: 1430 Lewis Ave., Gulfport, MS 39501
 Phone: (Home) _____ (Work/Cell) 228-424-6310

If rented, then the name of owner or manager is required, along with a letter of approval from same: N/A

Name of business or service to be used as home occupation: L & G Enterprises, LLC
 Nature of business: Family owned Rental Property

Please fill in all the appropriate blanks:

Hours of operation: 8:00 a.m. until 5:00 p.m.

Earlier than 8:00 a.m. _____

Give hours: _____

Later than 5:00 p.m.: _____

Give hours: _____

Method of conducting business:

Telephone:

Mail order: _____

Personal computer:

Appointment: _____

Traffic generation:

Is there any delivery of goods or products to the residence? No

If so, specify the number and frequency of deliveries: N/A

Describe size of vehicle making deliveries: N/A

Is service by appointment only or are there drop-by visits by customers or clientele? _____
N/A

Specify number and frequency of visits by clients and customers: _____
N/A

Is everything made, manufactured, or provided on site? _____
No

Is special equipment required in production? _____
No

If so, described it, giving size of motor, etc. _____
N/A

Are sales made from the premises? _____
N/A

If sales are made from other places, indicate on what basis:

Local stores on consignment: _____

Arts and crafts or flea markets: _____

Trade shows: _____

Other: _____

Is there a Protective Covenant that exists that prohibits a home occupation at the proposed located?

Yes _____ No

I certify the above to be true and accurate as it pertains to this application. I recognize that failure to comply with the assurances made in this application may result in the denial or removal of the permit after due notice and public hearing thereon.

Printed Name: Albert L. Dunlop

Signature: Albert L. Dunlop

Date: 10/6/25

Date: October 6, 2025

To Whom It May Concern:

Statement of Home Use for Business

We will use this address for office purposes only for our family-owned rental property company. All business conducted at this address will be done via phone or computer. At no time will there be any customer traffic on the premises. All rent is collected on the rental property or electronically. This business will have zero impact on the surrounding neighbors nor the community.

Albert L. Dunlap

10/6/25

Gwendolyn Dunlap

10/6/25

THERE WILL BE NO CHANGES TO THE WATER
SUPPLY, WASTE DISPOSAL, NOR WILL IT HAVE ANY
EFFECTS ON THE FIRE OR POLICE DEPT.

Albert L. Dumlup



1 inch = 31 feet



DATA DISCLAIMER:

All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness or adequacy of the information contained on this map are expressed or implied.

Area Map

Parcels

Printed 10/6/2025



STATE OF MISSISSIPPI

COUNTY OF HARRISON

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars, cash in hand paid, and other good and valuable considerations, the receipt of all which is hereby acknowledged, Bel-Aire Estates, Incorporated, a Mississippi Corporation, does hereby sell, convey and warrant unto ALBERT LEON DUNLAP and wife, GWENDOLYN DUNLAP, not as tenants in common but as joint tenants, with rights of survivorship, the following described property being located in Harrison County, Mississippi, and more particularly described as follows, to-wit:

Lots 1, 2, 3, and 4 of Block 17, CENTRAL BEACH ADDITION, in the City of Gulfport, County of Harrison, State of Mississippi, as per map or plat thereof on file and of record in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi.

This conveyance is given subject to any and all recorded restrictive covenance, right of ways and/or easements applicable to subject property.

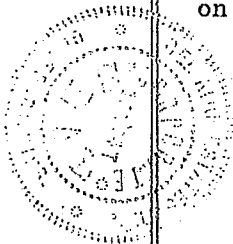
Ad valorem taxes for the current year are prorated as of this date and assumed by the Grantee herein.

WITNESS the signature and corporate seal of the Grantor on this the 7th day of October, 1970.

BEL-AIRE ESTATES, INC.

BY: J. N. Randall, Sr.

J. N. RANDALL, SR.
PRESIDENT



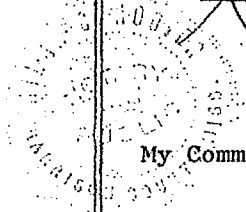
STATE OF MISSISSIPPI
COUNTY OF HARRISON

This day, personally came and appeared before me, the under-
signed authority, in and for the above mentioned county and state,
J. N. RANDALL, SR., President of BEL-AIRE ESTATES, INC., who,
after first being duly sworn by me, states that he signed and
delivered the above and foregoing instrument on the day and
year therein mentioned, and that he thereunto affixed the
corporate seal, he having full authority to do so.

GIVEN UNDER MY HAND and official seal of office, on this
the 7th day of October, 1970.

[Handwritten Signature]
NOTARY PUBLIC

My Commission Expires: 9-2-74



Filing .05
400 Words 60
Certificate .50
Indexing 60

1.75

STATE OF MISSISSIPPI, COUNTY OF HARRISON: First Judicial District

I, C. J. Darby, Clerk of the Chancery Court of said County and State, certify that
the instrument of which the foregoing is a record was delivered to me to be recorded
at 3:34 o'clock P M. on the 3 day of Nov
19 71 and recorded Nov 4th, 19 71

C. J. DARBY, Clerk,

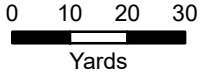
By Bearche S. Coppel D. C.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP	
Y		0711L-02-113.000	ALBERT & GWENDOLYN DUNLAP	1430 LEWIS AVE	GULFPORT	MS	39502	
			Adjacent Property Owners (2511PC128)					
	24364	0711L-02-145.000	RAY ARTHUR JR & BESSIE MAE	1427 LEWIS AVE	GULFPORT	MS	39501	
	24334	0711L-02-116.000	COTTON COLLETTE M & NAPOLEON W	251 EISENHOWER DR APT 138	BILOXI	MS	39531	
	24365	0711L-02-144.000	SUTTON GEOEGE M	1505 RICH AVE	GULFPORT	MS	39501	
	24393	0711L-02-111.000	NANCE EVERLENA M	1604 LEWIS AVE	GULFPORT	MS	39501	
	24321	0711L-02-064.000	HANDY JEANINE CASEY	1601 RICH AVE	GULFPORT	MS	39501	
	24381	0711L-02-151.000	MOORE SHERRI	1045 TORTUGA DR	PENSACOLA	FL	32534	
	24360	0711L-02-092.000	MOORE TERRY P & WILLIE	1531 RICH AVE	GULFPORT	MS	39501	
	24332	0711L-02-114.000	THORNTON ROBIN M	1428 LEWIS AVE	GULFPORT	MS	39501	
	24357	0711L-02-089.000	KEYES JAMES E & VIRGINIA LEE	1527 RICH AVE	GULFPORT	MS	39501	
	24331	0711L-02-113.000	DUNLAP ALBERT L & GWENDOLYN	P O BOX 1477	GULFPORT	MS	39502	
N	24359	0711L-02-091.000	MOORE TERRY P & WILLIE	1531 RICH AVE	GULFPORT	MS	39501	
	24394	0711L-02-112.000	HANDY EDWARD & JEANINE	1601 RICH AVE	GULFPORT	MS	39503	
	24382	0711L-02-150.000	SANDATE GILBERTO	15031 TOBEE RD	SAUCIER	MS	39574	
	24355	0711L-02-088.000	JOHNSON CASSIE PEARL	1525 RICH AVE	GULFPORT	MS	39501	
N	24361	0711L-02-147.000	STATE OF MISS #8				0	
	24397	0711L-02-095.000	BLAKNEY DODIE M	1605 RICH AVE	GULFPORT	MS	39501	
	24396	0711L-02-094.000	LEGIER HENRY D & JOYCE	1603 RICH AVE	GULFPORT	MS	39501	
	24383	0711L-02-149.000	THOMAS ALICE M	1601 LEWIS AVE	GULFPORT	MS	39501	
	24326	0711L-02-065.000	RHYNES JALEZIA RENEE -L/E-	18102 RIVER LANDING DR	PRAIRIEVILLE	LA	70769	
	24362	0711L-02-148.000	HARVEY TANYA MARIE	1431 LEWIS AVE	GULFPORT	MS	39501	
	24320	0711L-02-063.000	WINROW CARLISKE DANYELL ETAL	1534 RICH AVENUE	GULFPORT	MS	39501	
	24419	0711L-02-062.000	PRIOR ELIJAH R & DOROTHY WILLIAMS	1600 RICH AVE	GULFPORT	MS	39501	
	24392	0711L-02-110.000	TAYLOR PERRY J	18742 W WORTHAM RD	SAUCIER	MS	4E+08	
N	24395	0711L-02-093.000	HANDY EDWARD C & JEANINE M	1601 RICH AVE	GULFPORT	MS	39501	
	24363	0711L-02-146.000	MOLSBARGER FRIDDIS DONNELL	1429 LEWIS AVE	GULFPORT	MS	39501	
	24335	0711L-02-117.000	PENELTON MALCOLM D	1422 LEWIS AVE.	GULFPORT	MS	39501	
	24358	0711L-02-090.000	MOORE REGINA	1529 RICH AVE	GULFPORT	MS	39501	
	24333	0711L-02-115.000	RUNYON PHILLIP & KIMBERLY	1426 LEWIS AVE	GULFPORT	MS	39501	
N	24322	0711L-02-066.000	RHYNES JALEZIA RENEE -L/E	18102 RIVER LANDING DR	PRAIRIEVILLE	LA	70769	



Legend

-  Site
-  Street
-  Buildings



1 inch = 100 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

McClatchy

The Beaufort Gazette
 The Belleville News-Democrat
 Bellingham Herald
 Centre Daily Times
 Sun Herald
 Idaho Statesman
 Bradenton Herald
 The Charlotte Observer
 The State
 Ledger-Enquirer

Durham | The Herald-Sun
 Fort Worth Star-Telegram
 The Fresno Bee
 The Island Packet
 The Kansas City Star
 Lexington Herald-Leader
 The Telegraph - Macon
 Merced Sun-Star
 Miami Herald
 El Nuevo Herald

The Modesto Bee
 The Sun News - Myrtle Beach
 Raleigh News & Observer
 Rock Hill | The Herald
 The Sacramento Bee
 San Luis Obispo Tribune
 Tacoma | The News Tribune
 Tri-City Herald
 The Wichita Eagle
 The Olympian

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Cols	Depth
51445	IPL0287853	Legal Ad - IPL0287853		1.0	79.0L

ATTENTION: GULFPORT URBAN DEVELOPMENT IP
 PO BOX 1780
 GULFPORT, MS 39502
 accountspayable@gulfport-ms.gov;sasmith@gulfport-ms.gov

STATE OF MISSISSIPPI
 COUNTY OF HARRISON

Before me, the undersigned Notary personally appeared the undersigned, who, being by me first duly sworn, did depose and say that he/she is a clerk of The Sun Herald, a daily newspaper published in the city of Gulfport, in Harrison County, Mississippi and the publication of the notice, a copy of which is hereto attached, has been made in said paper in the issue(s) of:

1.0 insertion(s) published on:
 11/05/25 Print

[Print Tearsheet Link](#)

[Marketplace Link](#)

Mary Castro



Mary Castro

Russ Cage Davis



Sworn to and subscribed before me on

Nov 5, 2025, 10:28 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNiX®

LEGAL NOTICE PUBLIC HEARING

In conformance with Section VIII of the Comprehensive Zoning Ordinance of the City of Gulfport, Mississippi, 1979 as amended, notice is hereby given advising that the Gulfport City Planning Commission will hold a public hearing in the City of Gulfport, Mississippi at 4:30 P.M., Thursday, November 20, 2025 in the Council Chambers of the Gulfport City Hall located at 2309 15th Street to consider the following requests. A copy of the requests will be available for public review at the office of the Department of Urban Development, Planning Division, located on the first floor of the William H. Hardy Building, 1410 24th Avenue.

Special Exception 2511SE126. by agent Timmthy Wilks, seeking approval for a assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3

Planning Commission Approval 2511PC128. by owners Albert & Gwendolyn Dunlap, seeking approval for administrative office for a real estate management company as a home occupation, Tax Parcel 0711L-02-113.000, 1430 Lewis Avenue, Zoned R-1-7.5 (Single-Family), Ward 1

General Plan 2512PC141. by agent Kim Savant, seeking approval for a 30-lot subdivision with 3 out-parcels (Wrigleyville Subdivision), Tax Parcels 0710K-01-039.000, 0710K-01-034.001, 34th Street, Zoned R-2 (Single-family), Ward 1

Zoning Text Amendment 2511PC127. by agent Schwartz, Orgler, Jordan, & Williams, PLLC, Amendments to the Comprehensive Zoning Ordinance, to amend Section III, District Regulations (K) Chart of Permitted Uses, to allow Medical Clinics to be allowed in I-1 zoning districts with Planning Commission Approval.

Zoning Text Amendment 2512PC145. by the City of Gulfport, amendments to the Comprehensive Zoning Ordinance, as amended, to amend Section I, Definitions to define Intermodal Shipping Container and Shipping Container Park (residential); Section III, District Regulations (C)(10), to include residential Shipping Container Parks and to add such use to subsection (K) of the Chart of Permitted Uses by Planning Commission Approval in R-B, Residence-Business Districts only; and Section IV, Supplementary Regulations, to create subsection 11C to provide for Shipping Container Park (residential) requirements.

This the 4th day of November 2025
 Keith Williams, Chairman
 City of Gulfport Planning Commission
 IPL0287853
 Nov 5 2025



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, November 20, 2025

General Plan 2512PC141: General Plan 2512PC141, by agent Kim Savant, seeking approval for a 30-lot subdivision with 3 outparcels (Wrigleyville Subdivision), Tax Parcels 0710K-01-039.000, 0710K-01-034.001, 34th Street, Zoned R-2 (Single-family), Ward 1

Technical Report
General Plan
(Wrigleyville Subdivision)

GENERAL INFORMATION

Case File Number: 2512PC141

Hearing Date: November 20, 2025

Current Zoning/Use: R-2 / Vacant Property

Legal: General Plan 2512PC141, by agent Kim Savant, seeking approval for a 30-lot subdivision with 3 outparcels (Wrigleyville Subdivision), Tax Parcels 0710K-01-039.000, 0710K-01-034.001, 34th Street, Zoned R-2 (Single-family), Ward 1

TECHNICAL DETAILS

The applicant requests approval to renew the General Plan that was previously approved April 25, 2019, under General Plan 1903PC028 to create a new 30-lot 9.7-acre residential subdivision, named Wrigleyville Subdivision Phase One, Unit One & Two. There are two parcels utilized to create this development, and existing unimproved right-of-way is being partially utilized and developed to provide streets. Tentative approval of a general subdivision plan, at the time of initial submission in 2019, shall be effective for a maximum period of one (1) year unless, upon application by the subdivider, the planning commission grants an extension. The final plat was not submitted to the planning commission within the proper time limit, so the general subdivision plan shall again be submitted for tentative approval. Current tentative approval would be for a two (2) year period per Ordinance 3249, which extended the tentative approval for general subdivision plans.

Regulations state that the minimum property size for new single-family homes in this zoning district is 7,500 square feet. While the property meets zoning regulations, the property is in an AE Flood Zone; thus, it is highly encouraged that Flood Zones do not receive the maximum density available. As such, it should be highly discouraged for any development to be granted variances or hardship waivers.

With the existing right-of-way partially utilized for a street, and part of it converted into private property, the existing plat will need to be partially vacated in order to proceed with construction. Staff communicated with Harrison County Chancery Clerk's Office to confirm this.

The proposed parcels are located adjacent to existing city rights-of-way, are protected by Gulfport Fire and Police, and will have capacity for city water and sewer. The applicant states that there are no covenants that would prohibit development of this property. Engineering has several conditions for the proposed renewal of the General Plan for the Wrigleyville Subdivision.

Any approval should consider these conditions:

1. Must comply with all current Building Codes and City of Gulfport Ordinances.

Technical Report
General Plan
(Wrigleyville Subdivision)

2. The developer shall follow the process to vacate the portion of the existing 55th Ave. Right-Of-Way that overlaps parts of proposed lots 28, 29, and 30. Construction plans cannot be approved for permitting until this process is completed.
3. The developer may have to vacate part of the underlying New Pinehurst Subdivision to remove existing Lots 1-9 where new Lots 15-30 are proposed.
4. Infrastructure construction plans will be reviewed in detail when they are submitted for permit approval.

DEPARTMENTAL CONDITIONS

Engineering: The developer shall follow the process to vacate the portion of the existing 55th Ave. Right-Of-Way that overlaps parts of proposed lots 28, 29, and 30. Construction plans cannot be approved for permitting until this process is completed. The developer may have to vacate part of the underlying New Pinehurst Subdivision to remove existing Lots 1-9 where new Lots 15-30 are proposed. Infrastructure construction plans will be reviewed in detail when they are submitted for permit approval. Memo dated 11/6/2025.

Public Works: The developer shall follow the process to vacate the portion of the existing 55th Ave. Right-Of-Way that overlaps parts of proposed lots 28, 29, and 30. Construction plans cannot be approved for permitting until this process is completed. The developer may have to vacate part of the underlying New Pinehurst Subdivision to remove existing Lots 1-9 where new Lots 15-30 are proposed. Infrastructure construction plans will be reviewed in detail when they are submitted for permit approval. Memo dated 11/6/2025.

Traffic and Safety: No conditions. Memo dated 11/6/2025.

Building Code Services: Must comply with all current Building Codes and City of Gulfport Ordinances. Memo dated 10/30/2025.

GIS: No conditions. Memo dated 11/6/2025.

Police Department: No comment as of 11/7/2025.

Fire Department: No conditions. Memo dated 10/30/2025.


City Arborist: No conditions. Memo dated 10/31/2025.

Landscape Manager: No conditions. Memo dated 10/31/2025.

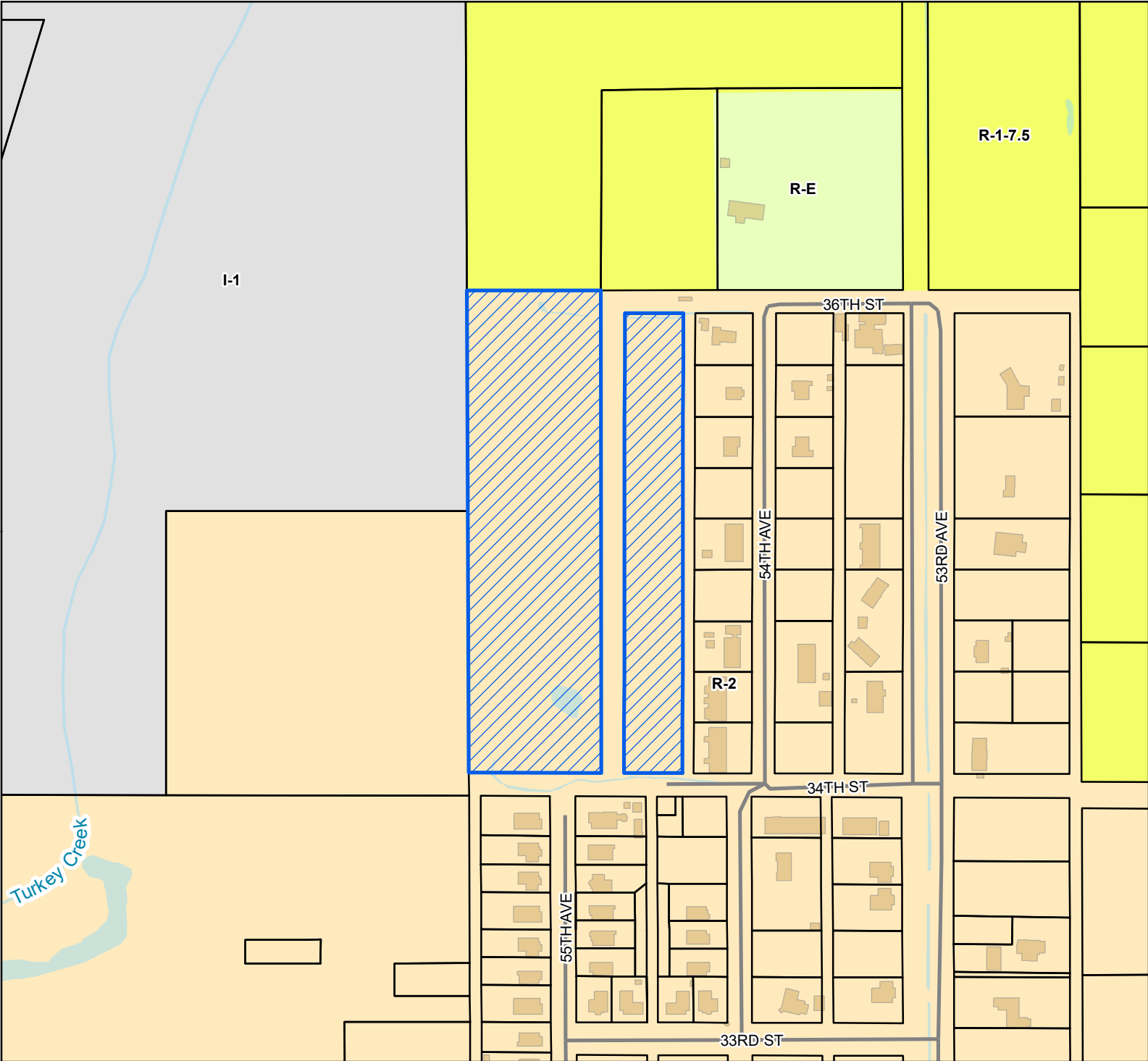
Technical Report
General Plan
(Wrigleyville Subdivision)

DIRECTOR APPROVAL

This report has been reviewed and approved by:



Greg Holmes
Director of Urban Development Department

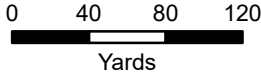


- Site
- Street
- Parcels
- Buildings
- Water Features

Zoning

- I-1 - Light Industry District
- R-1-7.5 - Single Family Residence District (Low Density)
- R-2 - Single Family Residence District (Medium Density)
- R-E - Residence-Estate

Site Information
 0710K-01-039.000
 0710K-01-034.001
 Zoning: R-2 (Single Family)
 Size: 9.8 Acres
 Flood: AE



1 inch = 300 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

For Staff Use Only

Case File #: 2512PC141

Date Received: 10/23/25

Receipt #: 1354279

Received By: ADD

Zoning: R-2

Ward: 1 Flood: _____

Size: 9.8 acres

APPLICATION FOR GENERAL SUBDIVISION PLAN

Property Information

TAX PARCEL #	0	7	1	0	K	-	0	1	-	0	3	9	.	0	0	0
	0	7	1	0	K	-	0	1	-	0	3	4	.	0	0	1
						-			-				.			

(If necessary, use separate sheet of paper)

Address of Property Involved: 55th Ave

Lot(s) _____, Block(s) _____, Subdivision Pinehurst

General Location: 55th Avenue north of 28th St

GENERAL DESCRIPTION OF REQUEST:

Application for renewal of approval granted in 2019 for a ~~32~~ lot single family development with 3 out parcels (SEE LETTER) 30 lot single family development - ADD

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request.

OWNER

AGENT

Jose F. Diaz
Printed Name Of Owner

Kim Savant
Printed Name Of Agent

Mailing Address

1
Mailing Address

City State Zip code

1 City 1 State 7 Zip code

Home Phone Work/Cell Phone

1 Home Phone 1 Work/Cell Phone

Email

Kim B. Savant
Email

Jose F. Diaz
Signature Of Owner

Kim B. Savant
Signature Of Agent

If the property or properties listed above have more than one owner, please check this box. In the case of multiple owners, reverse side must be completed. Each additional owner will need to complete and sign the reverse side of this application. We can only accept applications with original signatures.

SECTIONS A. THROUGH G. MUST BE SUBMITTED FOR A COMPLETE APPLICATION.

CORPORATE RESOLUTION

A meeting was held of the Board of Directors of WRIGLEYVILLE DEVELOPMENT CO., INC., a Mississippi Corporation, at its principal office and usual place of business on the 8th day of August, 2025, with all of the Directors being present or by phone and voting on the following item of business.

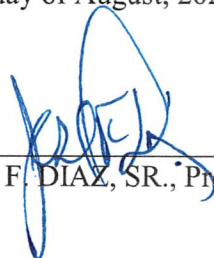
Upon motion duly made, seconded and carried, the corporation voted to authorize KIM SAVANT, as the AUTHORIZED AGENT of the corporation, to take all steps and performs all acts necessary for the approval of the subdivision of WRIGLEYVILLE S/D, PHASE ONE, UNIT ONE & TWO and is authorized and directed to execute and deliver any and all documents necessary and instrumental to the approval of said subdivision by the City of Gulfport or any other person, firm, corporation or governmental entity.

Upon roll call vote the said motion carried unanimously.

There being no further business to come before the meeting at this time, motion duly made, seconded and carried that the meeting adjourned.

The undersigned certifies that the above is a true and correct copy of the minutes of said corporation and that the undersigned executed this certificate thereafter being duly authorized to do so.

Witness my signature on this the 11 day of August, 2025.



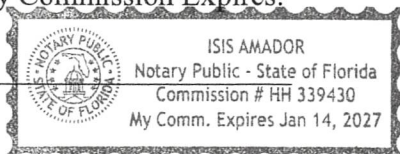
JOSE F. DIAZ, SR., President/Secretary

SWORN TO AND SUBSCRIBED BEFORE ME on this the 11 day of August, 2025.



Notary Public

My Commission Expires:



DONALD R. JONES, ATTORNEY, PLLC

ATTORNEY AT LAW

1605 23RD AVENUE

P.O. BOX 7555

GULFPORT, MS 39506

donaldjonesatty@gmail.com

Telephone 228-864-8965

Fax 228-864-3252

September 25, 2025

RE: WRIGLEYVILLE SUBDIVISION
Proposed subdivision

TO WHOM IT MAY CONCERN:

This is to confirm that I am the attorney for Wrigleyville Development Co., Inc. and that I have been informed by my client that he intends to extend the existing covenants of New Pinehurst S/D, Unit 2, as recorded in Deed Book 383 at Page 163 thereof, to the proposed new subdivision being submitted to the City of Gulfport for approval.

Thank you for your attention and courtesies in this matter.

Sincerely,

DONALD R. JONES, ATTORNEY, PLLC

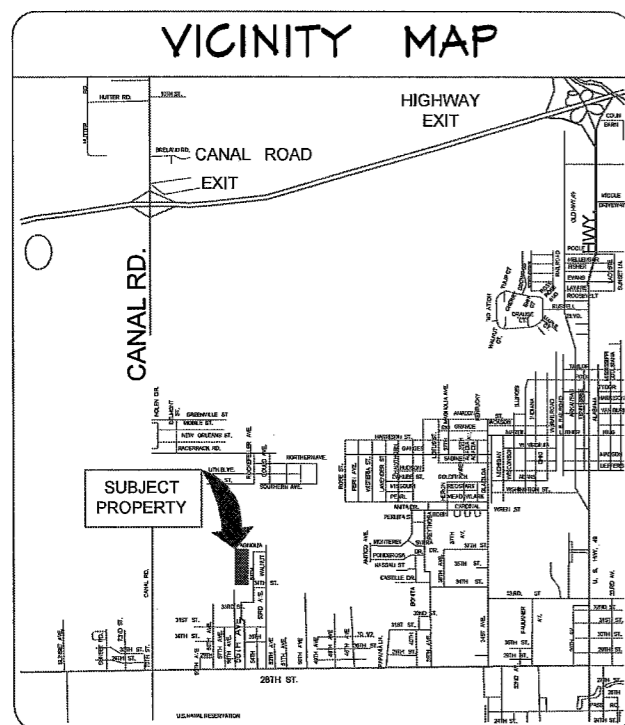


Donald R. Jones

DRJ:gh

CIVIL PLANS FOR WRIGLEYVILLE SUBDIVISION, PHASE ONE, UNIT ONE & TWO 55th AVENUE & 36th STREET GULFPORT, MISSISSIPPI FOR

WRIGLEYVILLE DEVELOPMENT COMPANY, LLC
3425 SOUTHWEST 128TH AVENUE
MIAMI, FL 33175



N.T.S

Harris Solution
Civil Engineering Firm
Phone: (850) 460-5828
Email: aaron@harrisolution.com
941 West Morse Blvd, Suite 100
Winter Park, FL 32789
Licensed in Alabama, Arkansas,
Florida, Georgia, Iowa,
Mississippi, Texas



Digitally signed
by Aaron L.
Harris
Date:
2025.09.25
10:53:42 -05'00'

This form has been
digitally signed and
sealed by Aaron L. Harris
P.E. on the date adjacent
to the seal. Printed copies of this
document are not
considered signed and
sealed and the signature
must be verified on any
electronic copies.

INDEX OF SHEETS	
PLAN COVER SHEET	T1
EXISTING CONDITIONS AND DEMOLITION PLAN	C1
STREET & LOT LAYOUT	C2
GRADING AND DRAINAGE PLAN	C3a
EROSION CONTROL PLAN	C3b
UTILITY PLAN	C4
PLAN AND PROFILE SHEET	PP1
PLAN AND PROFILE SHEET	PP2
CONSTRUCTION DETAILS	CD1
CONSTRUCTION DETAILS	CD2
CONSTRUCTION DETAILS	CD3

Harris Solution
Civil Engineering Firm
Phone: (850) 460-5828
Email: aaron@harrisolution.com
941 West Morse Blvd, Suite 100
Winter Park, FL 32789
Licensed in Alabama, Arkansas,
Florida, Georgia, Iowa,
Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE IN DEBT TO THE HARRIS SOLUTION FOR HIS FULL COMMISSION.

**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

Revision:		
No:	Date:	Description:
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

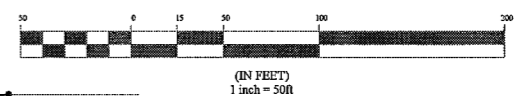
Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: No Scale
Plot Size: 36" x 24"

Sheet Title:
Title Page

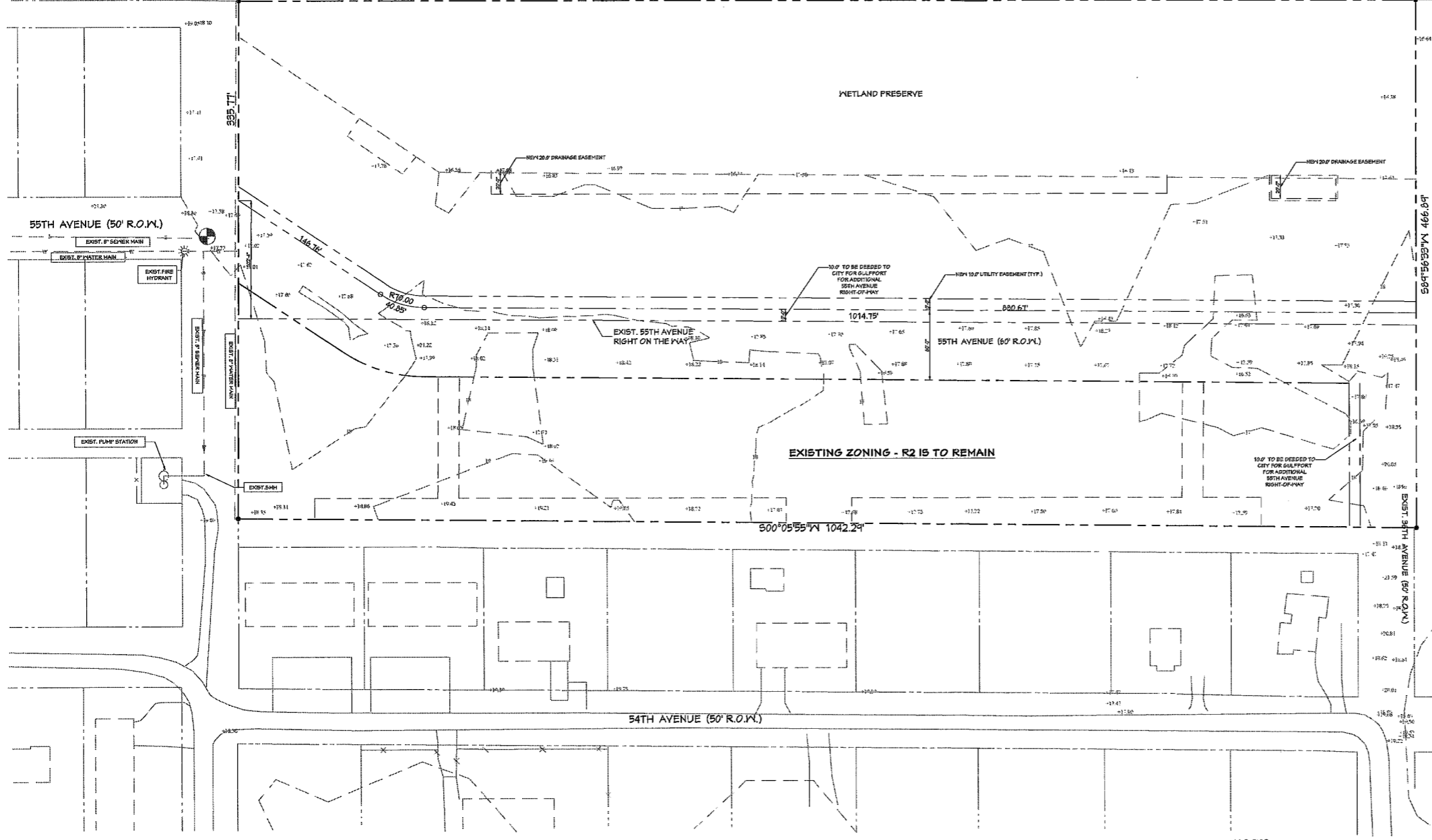
Sheet No:
T1.0



GRAPHIC SCALE



N00° 14' 16" W 1040.81'



Harris Solution
Civil Engineering Firm

Phone: (850) 460-8828
Email: aaron@harrisolution.com
941 West Morse Blvd, Suite 100
Winter Park, FL 32789

Licensed in Alabama, Arkansas, Florida, Georgia, Iowa, Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REPRODUCED OR USED IN ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE INDEBTED TO THE HARRIS SOLUTION FOR HIS FULL COMMISSION.

**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

Revision:		
No:	Date:	Description:
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: No Scale
Plot Size: 36" x 24"

Sheet Title:
Existing Conditions & Demolition Plan

Sheet No:

DEMOLITION NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY AND ALL EXISTING STRUCTURES DESIGNATED TO BE REMOVED WITHIN THE PROPERTY LIMITS, INCLUDING BUT NOT LIMITED TO STRUCTURES, FOUNDATIONS, ALL EXISTING PAVEMENTS AND DRIVEWAYS, EXISTING FENCES, UTILITIES, AND DEBRIS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT OCCUR TO IMPROVEMENTS SHOWN HEREON TO REMAIN.
- CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE THAT IS FOUND TO EXIST PRIOR TO HIS WORK OR THAT IS GENERATED AS A RESULT OF HIS WORK. DEBRIS SHALL CONSIST OF ANY MATERIAL OTHER THAN SOIL.
- CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEMOLISHING OR REMOVING ANY EXISTING ABOVE OR BELOW GROUND TELEPHONE OR POWER BUT SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH ALL LOCAL UTILITY COMPANIES.
- CONTRACTOR SHALL CALL THE MISSISSIPPI DAMAGE PREVENTION NUMBER (1-800-227-6477) BY LAW TO LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO HIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES NOT DESIGNATED TO BE REMOVED UNDER THIS CONTRACT AND BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES NOT DESIGNATED TO BE REMOVED THAT RESULT FROM CONTRACTOR'S WORK.
- REMOVAL OF ALL POWER LINES, POLES, AND APPURTENANCES SHALL BE BY LOCAL UTILITY COMPANY.
- LIMITS OF CLEARING AND GRUBBING SHALL BE PROPERTY LINES, UNLESS SPECIFICALLY DESIGNATED OTHERWISE.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION PERMITS THAT ARE REQUIRED TO ACCOMPLISH THE WORK SPECIFIED HEREON.

NOTES:
SUBJECT PROPERTY LIES IN ZONE "AE" & "X" GRAY OF THE FLOOD INSURANCE RATE MAP 285253 0019D & 285253 0038D, REVISED 10/04/02.

LEGEND

- REMOVE UNITY
- DENOTES REMOVAL OF ALL EXISTING IMPROVEMENTS AND FILL
- DENOTES LIMITS OF REMOVAL FOR A STRUCTURE AND APPURTENANCES

EXIST. SMH TOP LOCATED NORTH END OF 55TH AVE, NEAR SOUTH PROPERTY LINE
ELEV = 21.0

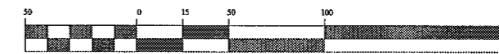
BOUNDARY BASED SURVEY PERFORMED BY LARRY R SMITH SURVEYING; TOPOGRAPHIC INFORMATION BASED ON THE SAME AND/OR HARRISON COUNTRY BASE MAP INFO

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.

C1.0



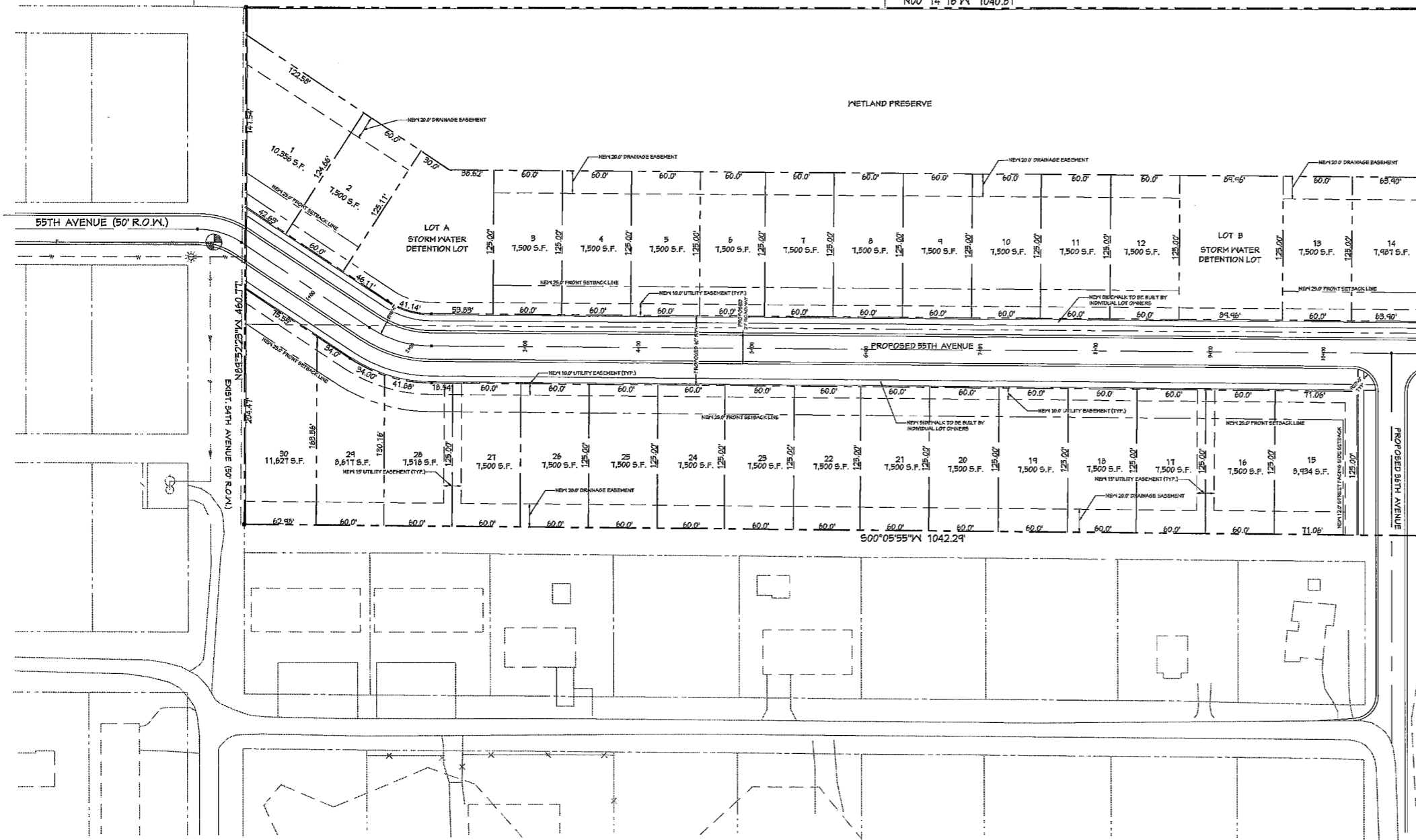
GRAPHIC SCALE



N00° 14' 16" W 1040.81'

METLAND PRESERVE

S00° 05' 55" W 1042.29'



Harris Solution
Civil Engineering Firm

Phone: (850) 460-5828
Email: aron@harrissolution.com
941 West Morse Blvd, Suite 100
Winter Park, FL 32789

Licensed in Alabama, Arkansas, Florida, Georgia, Iowa, Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE DEEMED TO THE HARRIS SOLUTION FOR HIS FULL COMMISSION.

**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

Revision:		
No.	Date	Description
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

Drawn By: K. Newsham

Date: 09/10/2025

Job Number: 25251

Checked By: ALH

Scale: 1" = 50'

Plot Size: 36" x 24"

Sheet Title:

Street & Lot Layout

Sheet No:

C2.0

NOTES:
FRONT SETBACK - 25' MIN
SIDE SETBACK - 8' MIN.
REAR SETBACK - 25' MIN.

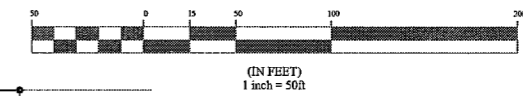
NOTES:
SUBJECT PROPERTY LIES IN ZONE "AE" & "X" GRAY OF THE FLOOD INSURANCE RATE MAP 285253 0019D & 285253 0038D, REVISED 10/04/02.

BOUNDARY BASED SURVEY PERFORMED BY LARRY R SMITH SURVEYING; TOPOGRAPHIC INFORMATION BASED ON THE SAME AND/OR HARRISON COUNTRY BASE MAP INFO

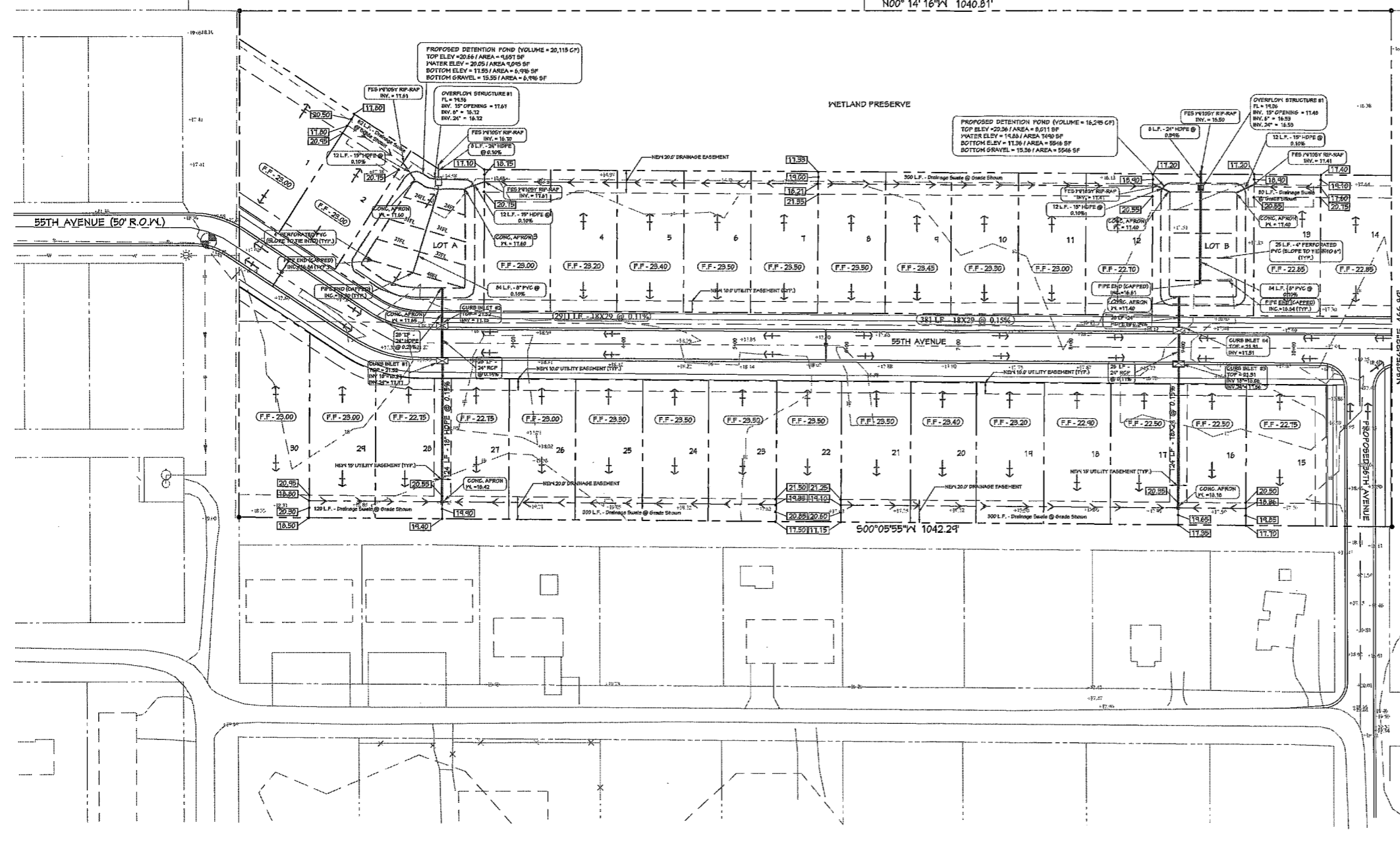
BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.



GRAPHIC SCALE



N00° 14' 16" W 1040.81'

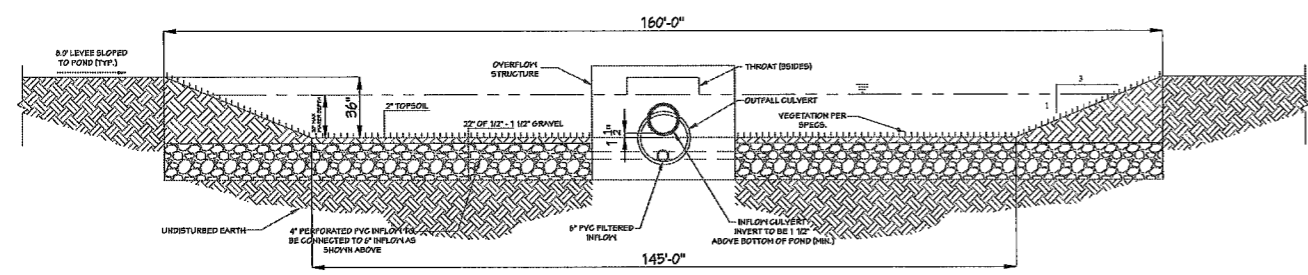


S00° 05' 55" W 1042.29'

NOTES:
SUBJECT PROPERTY LIES IN ZONE "AE" & "X"
GRAY OF THE FLOOD INSURANCE RATE MAP
285253 0014D & 285253 0038D, REVISED
10/04/02.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED DRAIN INLET AND PIPE
- EXISTING CURB INLET AND PIPE
- MATCH EXISTING GRADE
- FLOW DIRECTION ARROW
- RIDGE LINE



DETENTION POND DETAIL
N.T.S.

BOUNDARY BASED SURVEY PERFORMED BY LARRY R SMITH SURVEYING; TOPOGRAPHIC INFORMATION BASED ON THE SAME AND/OR HARRISON COUNTRY BASE MAP INFO

BLEV = 21.0
EXIST. SMH TOP LOCATED NORTH END OF 55TH AVE, NEAR SOUTH PROPERTY LINE

NOTES:

1. ALL FINISH SPOT ELEVATIONS REPRESENT BASE OF CURB ELEVATIONS.
2. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AT ALL TIMES.
3. OWNER SHALL BE RESPONSIBLE FOR GRADING OF PARCELS TO ENSURE POSITIVE DRAINAGE AS INDICATED.

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.

Harris Solution
Civil Engineering Firm

Phone: (850) 460-8828
Email: aaron@harrisolution.com
941 West Morse Blvd, Suite 100
Winter Park, FL 32789

Licensed in Alabama, Arkansas, Florida, Georgia, Iowa, Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF THE HARRIS SOLUTION. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DONE SO WILL BE INDEBTED TO THE HARRIS SOLUTION FOR ITS FULL COMMISSION.

WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55TH AVENUE & 36TH STREET
GULFPORT, MISSISSIPPI

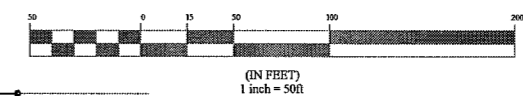
Revision		
No.	Date	Description
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: 1" = 50'
Plot Size: 36" x 24"
Sheet Title:
Grading & Drainage Plan
Sheet No:

C3.0a

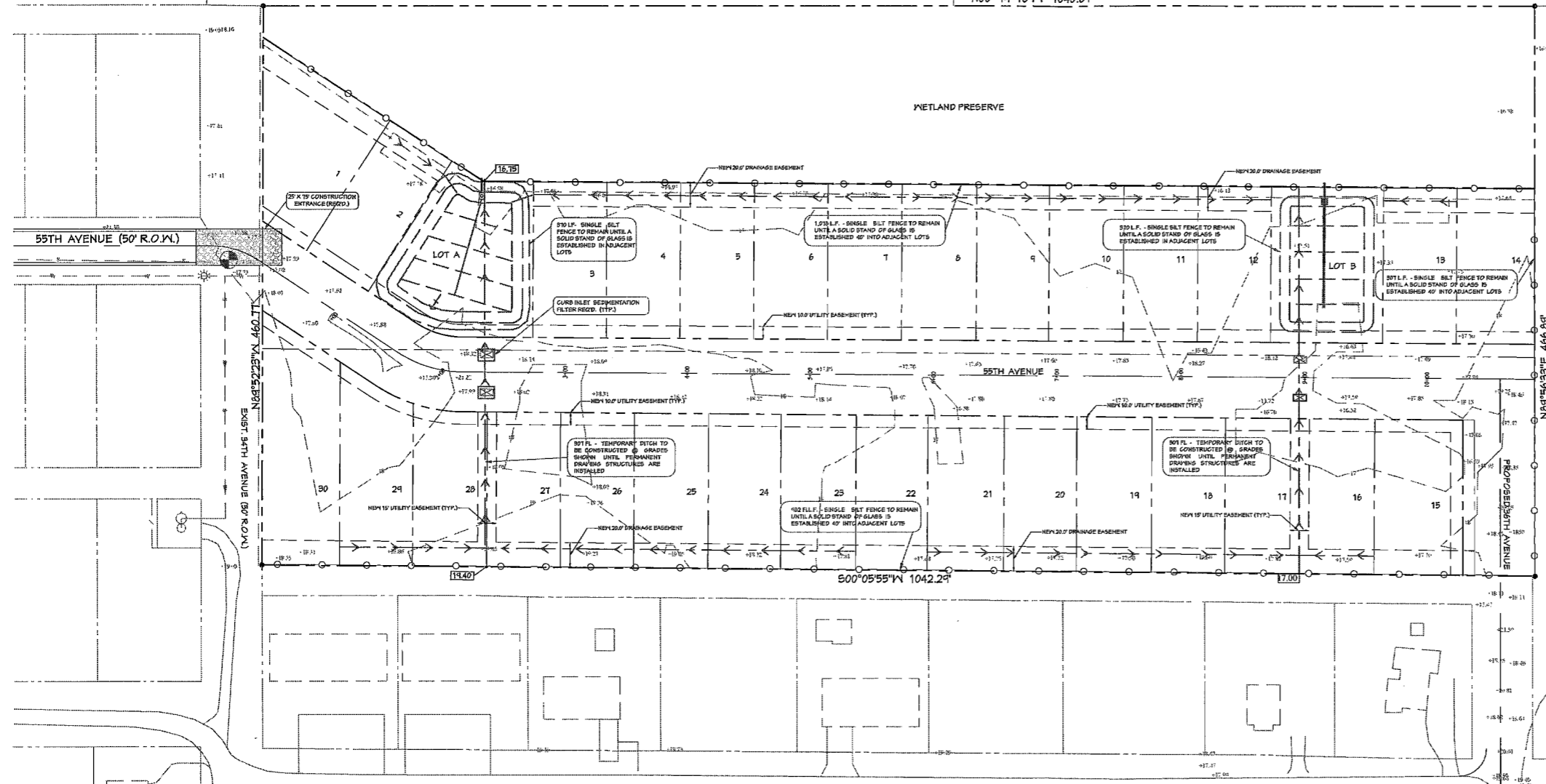


GRAPHIC SCALE



N00°14'16"N 1040.81'


WETLAND PRESERVE



STORM WATER POLLUTION PREVENTION NOTES:

1. CONTRACTOR SHALL STOCKPILE TOPSOIL FOR USE IN LANDSCAPING.
2. CONTRACTOR SHALL LINE ALL PROPOSED SWALES AND DETENTION POND SLOPES WITH EROSION AND SEDIMENT CONTROL BLANKETS AS SHOWN.
3. CONTRACTOR SHALL ROUGHEN ALL 4:1 CUT SLOPES BY DISKING PRIOR TO SEEDING.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING WITH TEMPORARY SEED ANY DISTURBED AREAS THAT WILL BE LEFT UNDISTURBED FOR THIRTY OR MORE DAYS WITHIN SEVEN DAYS (SEE MDEQLIST OF TEMPORARY SEED TYPES).
5. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING WITH PERMANENT SEED ANY DISTURBED AREAS WITHIN SEVEN DAYS (SEE OWNER FOR TYPE OF LANDSCAPE TO BE USED).
6. ALL EQUIPMENT MAINTENANCE AND REPAIR SHALL BE DONE OFFSITE.
7. TRASH RECEPTACLES SHALL BE PLACED AT CONVENIENT LOCATIONS THROUGHOUT THE SITE.
8. THE MAIN TRASH COLLECTION BIN SHALL BE PLACED NEAR THE NORTHWEST CORNER OF THE CONSTRUCTION ENTRANCE. CONTRACTOR SHALL COORDINATE PICKUP WITH THE CITY AND SHALL ENSURE THAT COLLECTION IS DONE A MINIMUM OF ONCE A WEEK.
9. CONTRACTOR SHALL CHECK ALL DISTURBED AREAS, EROSION AND SEDIMENT CONTROLS AFTER EACH SIGNIFICANT RAINFALL BUT NOT LESS THAN ONCE PER WEEK AND MAKE ANY NEEDED REPAIRS WITHIN 24 HOURS.
10. CONTRACTOR SHALL REMOVE ANY SEDIMENT FROM SILT FENCE, CHECK POINTS, AND INLET PROTECTION DEVICES WHENEVER SEDIMENT HAS ACCUMULATED TO 50 PERCENT CAPACITY.
11. CONTRACTOR SHALL MAINTAIN ALL VEGETATED AREAS TO PROVIDE PROPER GROUND COVER BY RE-SEEDING, FERTILIZATION, OR MULCHING AS NEEDED.
12. A TEMPORARY OFFICE AND PORTABLE TOILET BUILDINGS SHALL BE LOCATED AT THE SOUTH ENTRANCE TO THE SITE AND AT LOCATIONS SO THAT NO PART OF THE PROJECT IS MORE THAN 1000 FEET FROM A TOILET FACILITY. THESE STRUCTURES WILL BE MAINTAINED ON A REGULAR SCHEDULE BY A LICENSED DISPOSAL COMPANY.

NOTES:
SUBJECT PROPERTY LIES IN ZONE "AE" & "X" GRAY OF THE FLOOD INSURANCE RATE MAP 285253 0019D & 285253 0036D, REVISED 10/04/02.

 EXIST. 5MH TOP LOCATED NORTH END OF 55TH AVE, NEAR SOUTH PROPERTY LINE
ELEV = 21.0

BOUNDARY BASED SURVEY PERFORMED BY LARRY R SMITH SURVEYING; TOPOGRAPHIC INFORMATION BASED ON THE SAME AND/OR HARRISON COUNTRY BASE MAP INFO

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.

Harris Solution
Civil Engineering Firm

ES

Phone: (850) 460-6928
Email: aaron@harrisolution.com
941 West Morse Blvd, Suite 100
Winter Park, FL 32789
Licensed in Alabama, Arkansas, Florida, Georgia, Iowa, Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE INDEBTED TO THE HARRIS SOLUTION FOR HIS FULL COMMISSION.

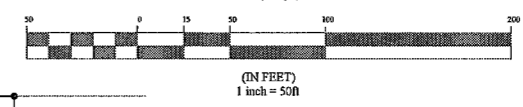
**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

Revision:		
No:	Date:	Description:
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: 1" = 50'
Plot Size: 36" x 24"
Sheet Title:
Erosion Control Plan
Sheet No:
C3.0b

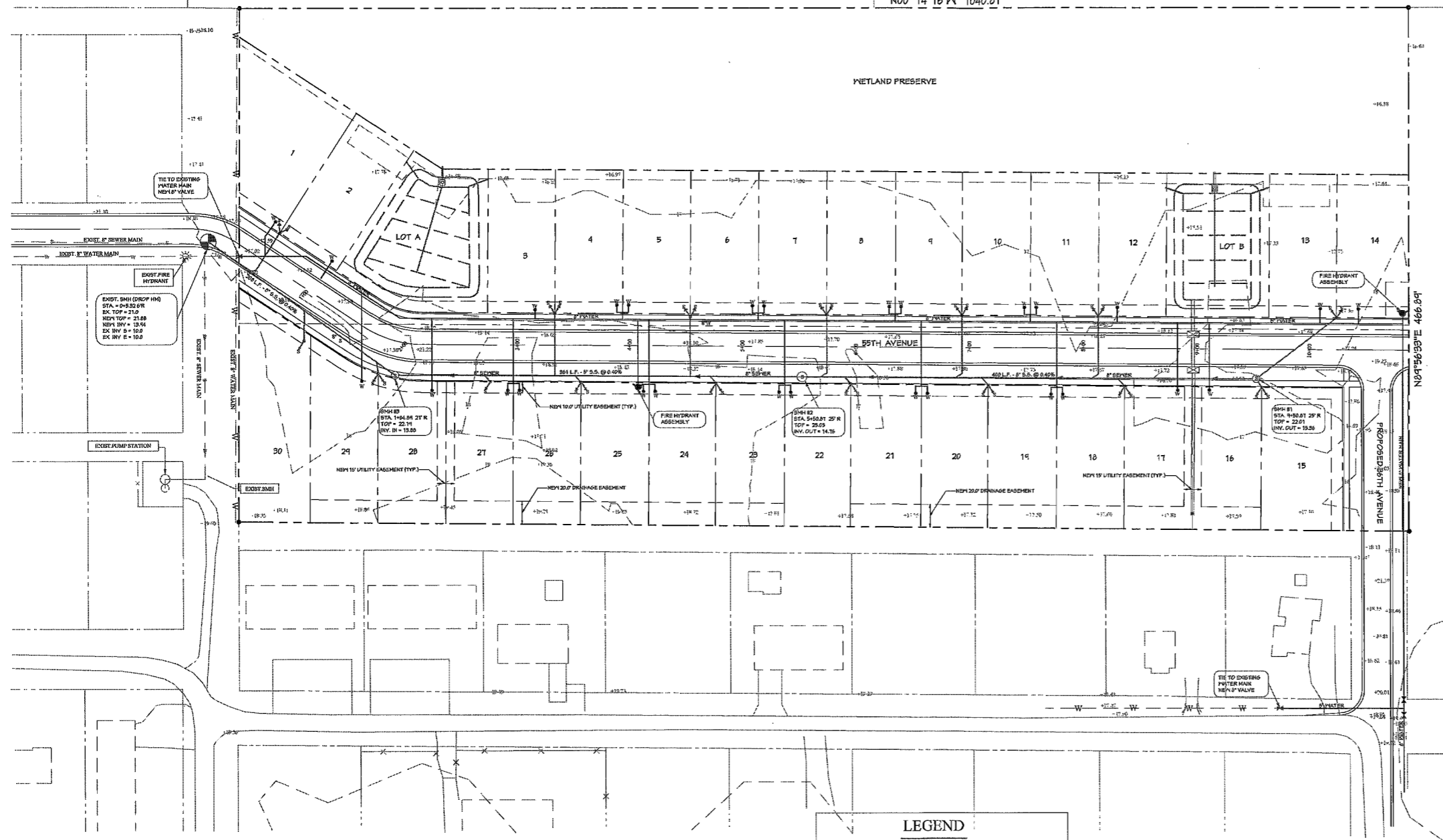


GRAPHIC SCALE



N00° 14' 16"W 1040.81'

WETLAND PRESERVE



Harris Solution
Civil Engineering Firm

Phone: (850) 460-5828
Email: aaron@harrisolution.com
941 West Morse Blvd, Suite 100
Winter Park, FL 32789

Licensed in Alabama, Arkansas, Florida, Georgia, Iowa, Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REPRODUCED OR ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE INDEBTED TO THE HARRIS SOLUTION FOR HIS FULL COMMISSION.

**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

Revision:		
No.	Date:	Description:
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: 1" = 50'
Plot Size: 36" x 24"

Sheet Title:
Utility Plan
Sheet No:

C4.0

- UTILITY NOTES:**
1. ALL NEW WATER MAIN SHALL BE PVC, C400 ANWA APPROVED.
 2. ALL SEWER MAIN SHALL BE PVC, SDR 26 OR AS NOTED ON THE PLAN.
 3. WATER AND SEWER SERVICES SHALL CONFIRM TO THE DETAIL SHEET.
 4. ANY ROAD CROSSING REQUIRED SHALL BE DONE IN STRICT CONFORMANCE WITH THE PLAN DETAIL AND SPECIFICATIONS.
 5. ALL TAPS ONTO EXISTING WATER AND SEWER MAINS SHALL BE COORDINATED WITH MUNICIPALITY OR PRIVATE UTILITY COMPANY.
 6. EXISTING UTILITY INFORMATION BASED ON SURVEY.

- LOCAL UTILITY COMPANIES**
1. WATER AND SEWER-CITY OF GULFPORT
 2. GAS SERVICE-ENTEX 846-7500
 3. TV CABLE SERVICE-CABLE ONE 864-1506
 4. ELECTRICAL SERVICE-MISSISSIPPI POWER COMPANY 868-9800
 5. TELEPHONE SERVICE-BELLSOUTH 557-6000
 6. MISS I CALL BEFORE YOU DIG 1-800-227-5477

LEGEND

PROPOSED	EXISTING
— W —	— W —
— S —	— S —
— G —	— G —
— FM —	— FM —
— FOC —	— FOC —
	POWER POLE
	CLEAN-OUT
	MANHOLE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	GAS VALVE

NOTES:
SUBJECT PROPERTY LIES IN ZONE "AE" & "X" GRAY OF THE FLOOD INSURANCE RATE MAP 285253 0019D & 285253 0038D, REVISED 10/04/02.

EXIST. SMH TOP LOCATED NORTH END OF 55TH AVE, NEAR SOUTH PROPERTY LINE
ELEV = 21.0

BOUNDARY BASED SURVEY PERFORMED BY LARRY R SMITH SURVEYING; TOPOGRAPHIC INFORMATION BASED ON THE SAME AND/OR HARRISON COUNTRY BASE MAP INFO

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.

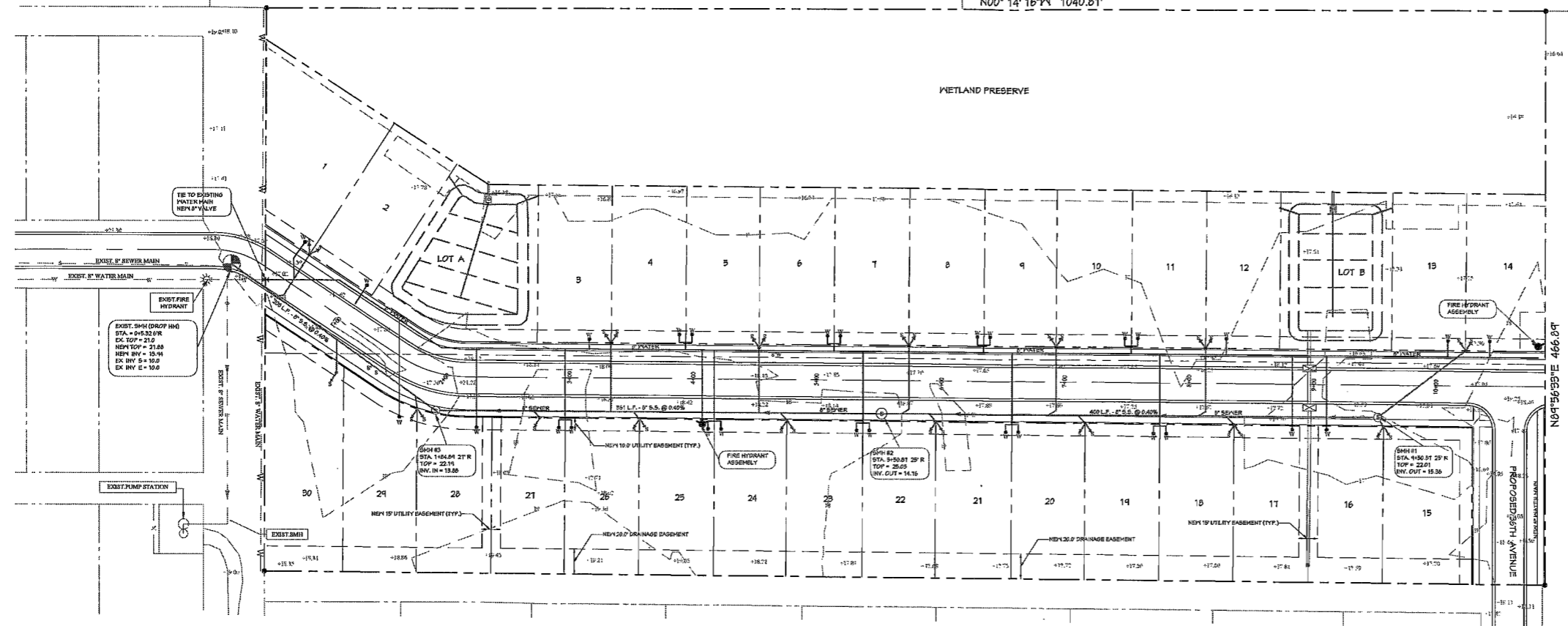
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE DEEMED TO BE IN VIOLATION OF THE HARRIS SOLUTION'S POLICY FOR HIS FULL COMMISSION.

**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

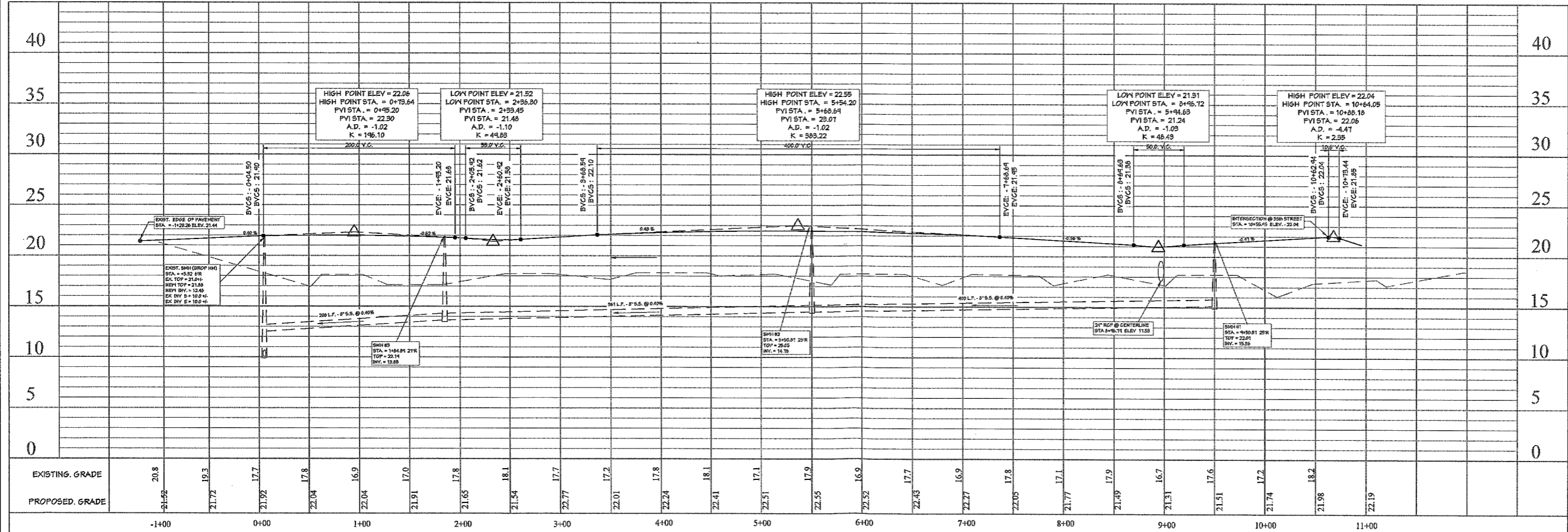
N00° 14' 16" W 1040.81'

WETLAND PRESERVE



HORIZONTAL = F-50'
VERTICAL = F-5'

55TH AVENUE

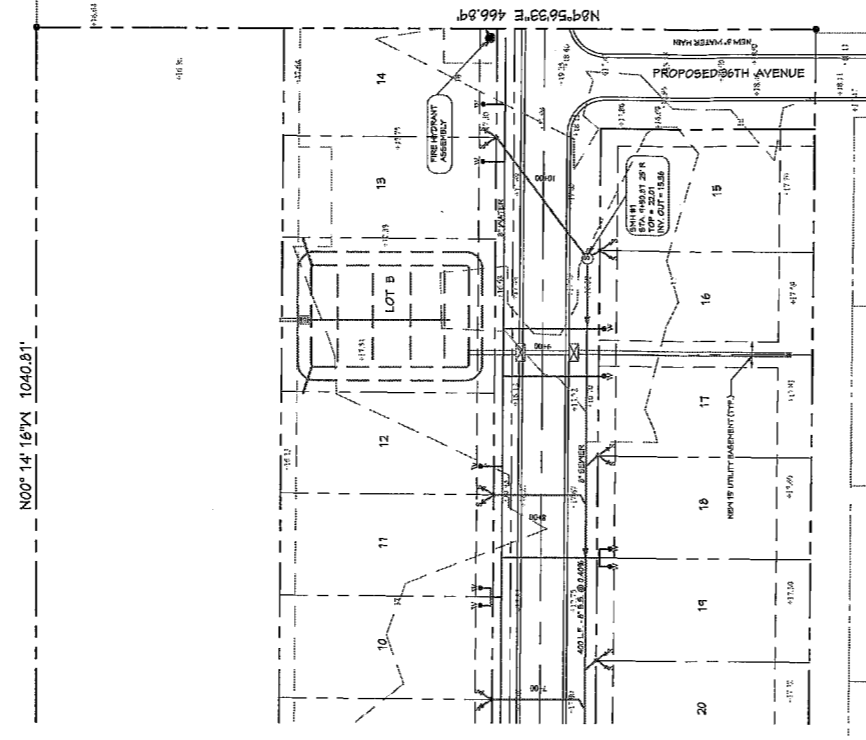


Revision:		
No.	Date:	Description:
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: As Noted
Plot Size: 36" x 24"

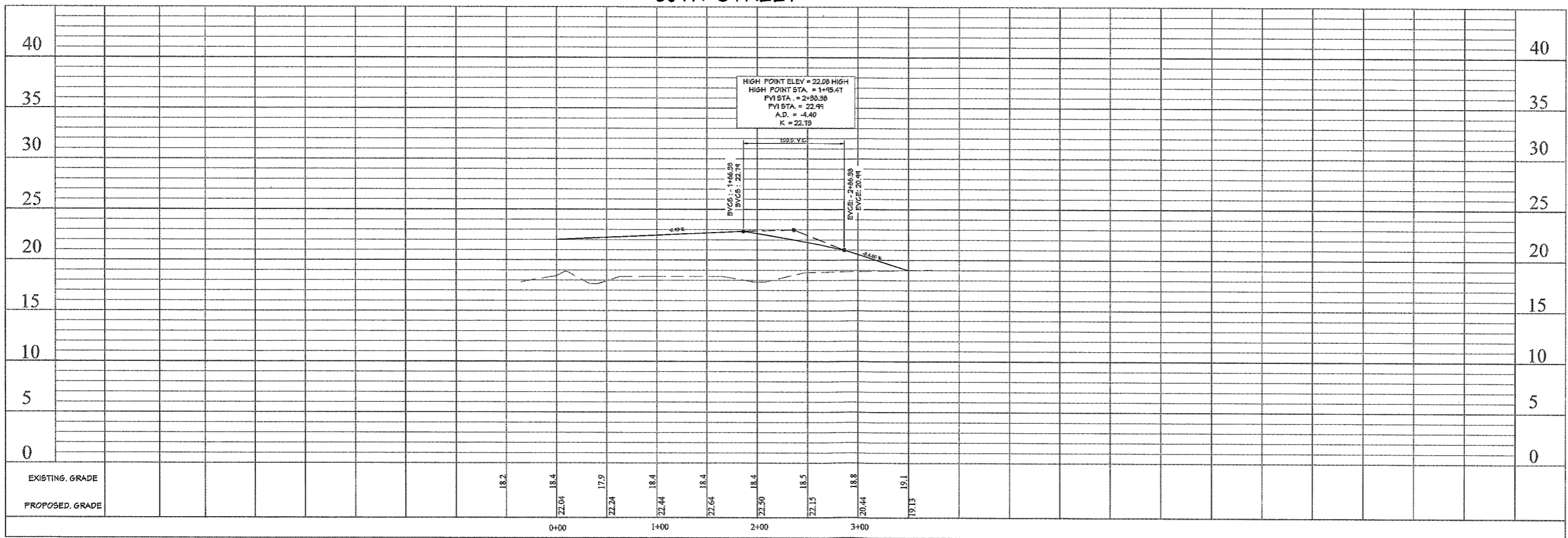
Sheet Title:
Plan & Profile Sheet

Sheet No:



36TH STREET

HORIZONTAL = F-50'
VERTICAL = F-5'



Harris Solution
Civil Engineering Firm

Phone: (850) 460-5828
Email: aaron@harrisolution.com
941 West Morse Blvd. Suite 100
Winter Park, FL 32789

Licensed in Alabama, Arkansas, Florida, Georgia, Iowa, Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE INDEBTED TO THE HARRIS SOLUTION FOR HIS FULL COMMISSION.

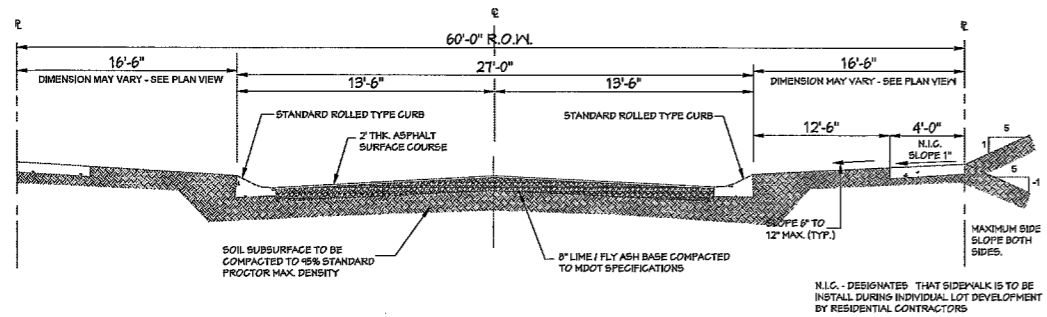
**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

Revision:		
No:	Date:	Description:
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

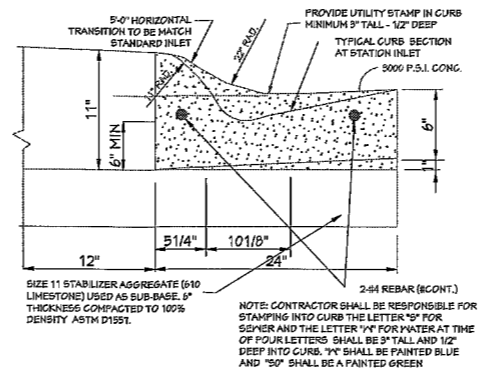
Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: As Noted
Plot Size: 36" x 24"

Sheet Title:
Plan & Profile Sheet
Sheet No:

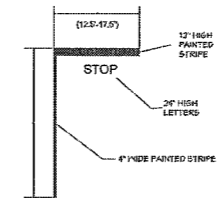
PAVEMENT DETAILS



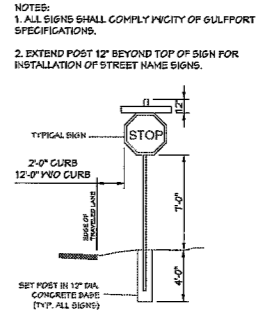
TYPICAL STREET SECTION
N.T.S.



TYPICAL ROLLED CURB AND GUTTER
N.T.S.

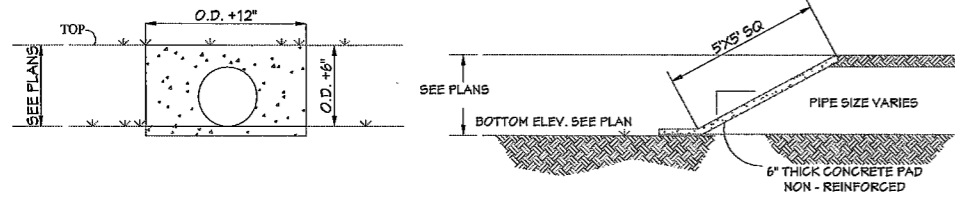


STOP BAR DETAIL
N.T.S.

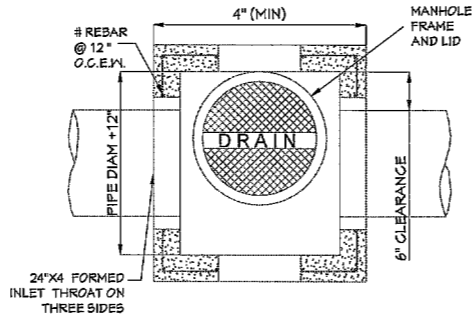


SIGN INSTALLATION DETAIL
N.T.S.

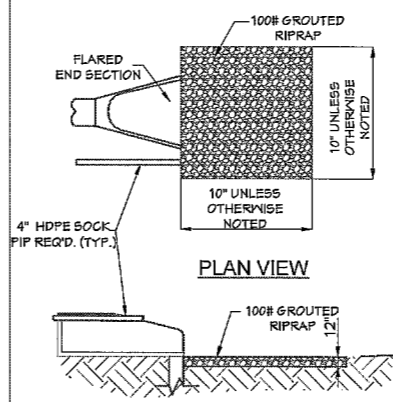
DRAINAGE DETAILS



CONCRETE APRON DETAIL
N.T.S.

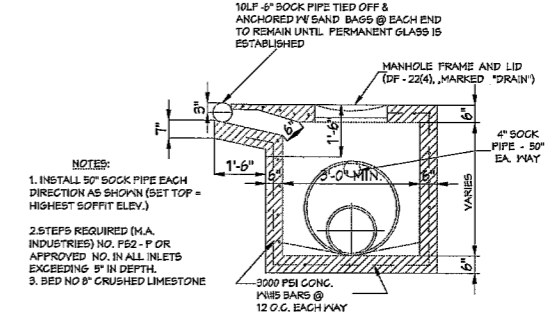


PLAN VIEW
N.T.S.

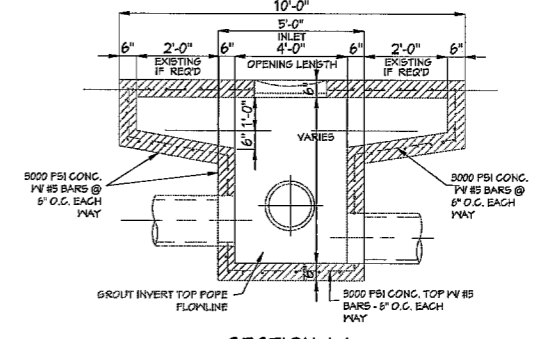


PLAN VIEW
N.T.S.

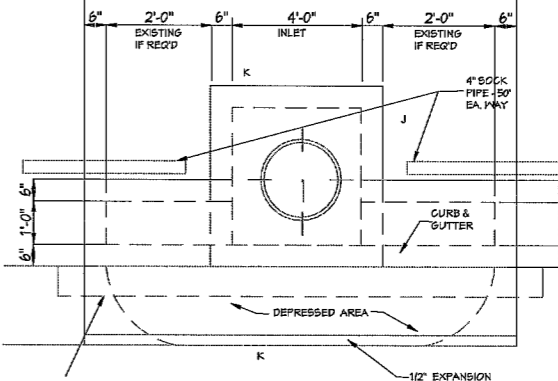
RIPRAP DETAIL
N.T.S.



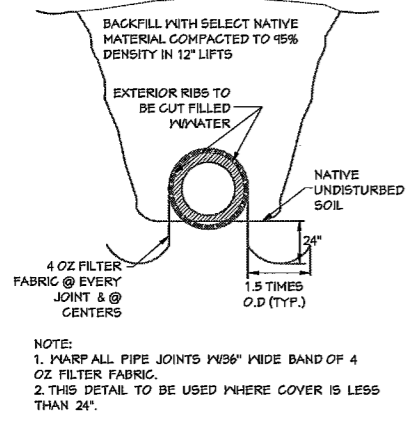
SECTION K-K
N.T.S.



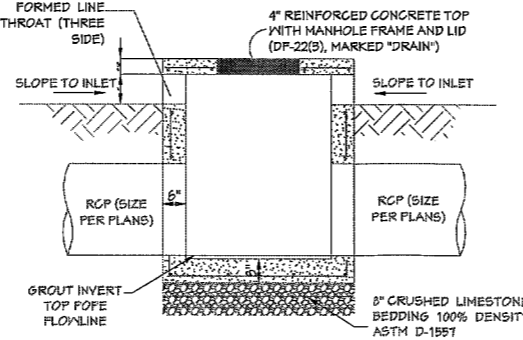
SECTION J-J
N.T.S.



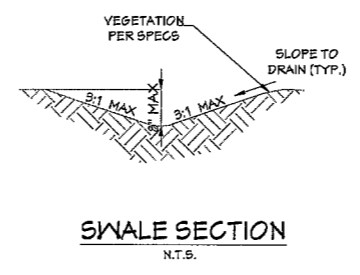
CURB INLET DETAIL
N.T.S.



CONCRETE APRON DETAIL
N.T.S.



OVERFLOW STRUCTURE DETAIL
N.T.S.



SWALE SECTION
N.T.S.

WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55TH AVENUE & 36th STREET
GULFPORT, MISSISSIPPI

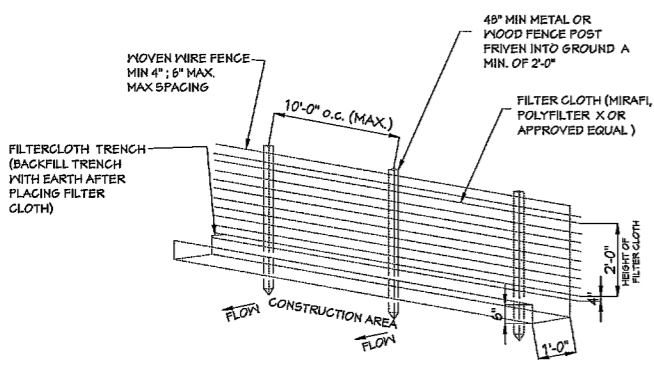
Revision:		
No.	Date:	Description:
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: No Scale
Plot Size: 36" x 24"
Sheet Title:
Construction Details
Sheet No:

CD1.0

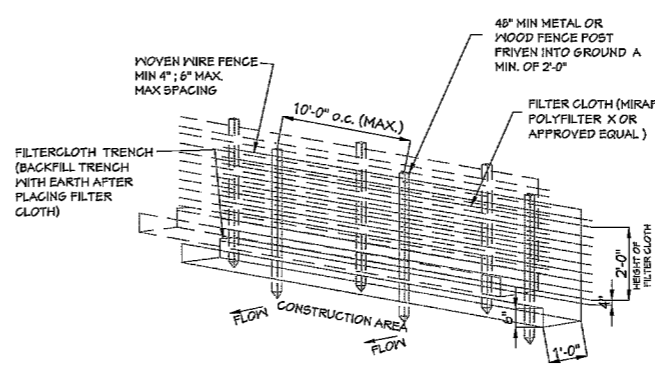
Harris Solution
Civil Engineering Firm
Phone: (850) 460-5828
Email: aaron@harrisolution.com
941 West Morse Blvd. Suite 100
Winter Park, FL 32789
Licensed in Alabama, Arkansas, Florida, Georgia, Iowa, Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.
ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REPRODUCED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE INDEBTED TO THE HARRIS SOLUTION FOR HIS FULL COMMISSION.



SINGLE LAYER SILT FENCE DETAIL
N.T.S.

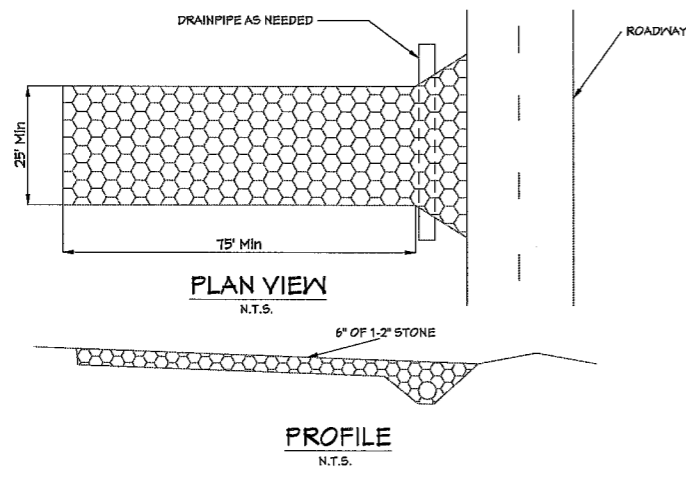
- CONSTRUCTION SPECIFICATIONS**
1. MOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS BY USE OF WIRE TIES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO MOVEN WIRE FENCE BY USE OF WIRE TIES SPACED EVERY 24" X 24".
 3. SILT FENCES TO BE INSTALLED IN LOCATIONS AS SHOWN ON THIS EROSION AND SEDIMENT CONTROL PLAN PRIOR TO BEGINNING OF CONSTRUCTION TO CONTROL SEDIMENT.
 4. SILT FENCES TO BE MAINTAINED AND CLEANED AS NECESSARY TO MAINTAIN IN FUNCTIONAL CONDITION.
 5. SILT FENCES TO BE REMOVED AND THE AREA TO BE RESTORED TO ITS NATURAL CONDITION WHEN PERMANENT EROSION AND SEDIMENT CONTROL PROCEDURES ARE EFFECTIVE.



DOUBLE LAYER SILT FENCE DETAIL
N.T.S.

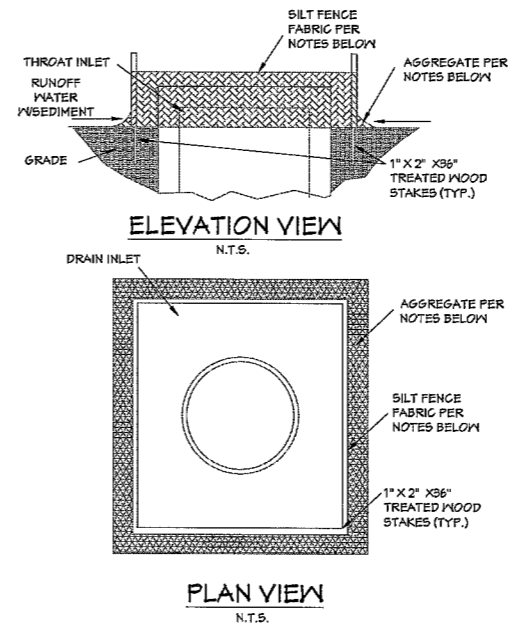
- CONSTRUCTION SPECIFICATIONS**
1. MOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS BY USE OF WIRE TIES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO MOVEN WIRE FENCE BY USE OF WIRE TIES SPACED EVERY 24" X 24".
 3. SILT FENCES TO BE INSTALLED IN LOCATIONS AS SHOWN ON THIS EROSION AND SEDIMENT CONTROL PLAN PRIOR TO BEGINNING OF CONSTRUCTION TO CONTROL SEDIMENT.
 4. SILT FENCES TO BE MAINTAINED AND CLEANED AS NECESSARY TO MAINTAIN IN FUNCTIONAL CONDITION.
 5. SILT FENCES TO BE REMOVED AND THE AREA TO BE RESTORED TO ITS NATURAL CONDITION WHEN PERMANENT EROSION AND SEDIMENT CONTROL PROCEDURES ARE EFFECTIVE.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.
ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE HARRIS SOLUTION, THE PERSON WHO IS DOING SO WILL BE DEEMED TO BE IN VIOLATION OF THE HARRIS SOLUTION FOR HIS FULL COMMISSION.



CONSTRUCTION ENTRANCE DETAIL
N.T.S.

1. Stone size-two-inch stone shall be used, or recycled concrete equivalent.
2. Length-The construction entrance shall be required to stabilize high traffic area but not less than 50 ft.
3. Thickness-The stone layer shall be at least 6 in thick.
4. width-The entrance shall be at least 10 ft. wide, but not less than the full width at points where ingress or egress occurs.
5. Bedding-A geotextile shall be placed over the entire area prior to placing stone. It shall have a Grab Tensile Strength of at least 200 lb. and a mullen Burst Strength of at least 190 lb.
6. Culvert-A pipe or culvert shall be constructed under the entrance if needed to prevent surface water flowing across the entrance from being directed out onto paved surfaces.
7. Maintenance-Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surface where runoff is not checked by sediment controls shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
8. Construction Entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction site shall be restricted from muddy areas.



THROAT INLET SEDIMENTATION FILTER DETAIL
N.T.S.

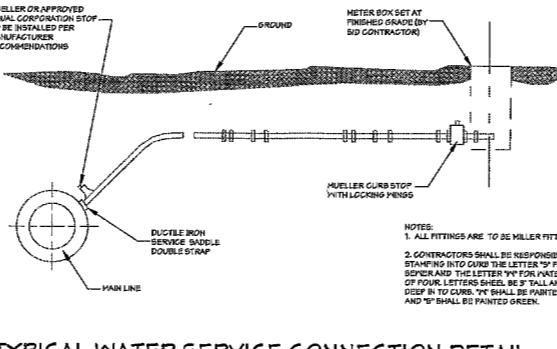
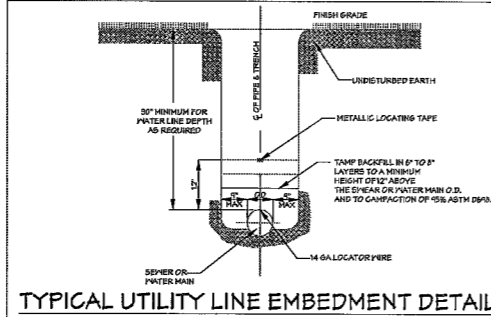
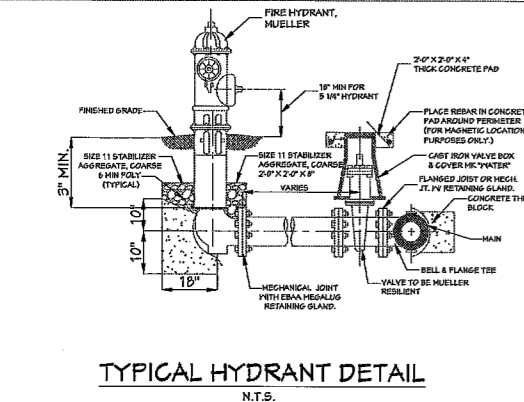
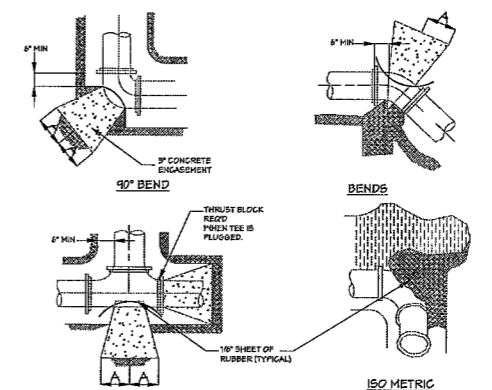
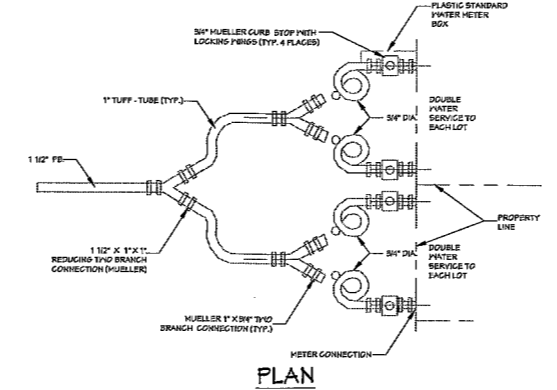
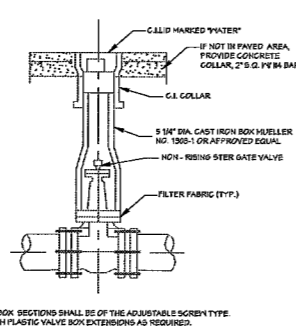
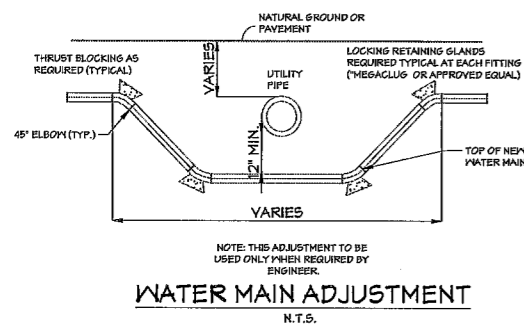
- NOTES:**
1. FENCE SHALL BE 10 OUNCE PER SQUARE YARD AND SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID JOINTS.
 2. STAKES SHALL BE 1"X2" TREATED WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
 3. STAPLES SHALL BE OF HEAVY DUTY WIRE AT LEAST 1/2" LONG.
 4. STAKES SHALL BE SPACED AROUND PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART AND SECURELY DRIVEN INTO THE GROUND (MINIMUM OF 8").
 5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE AND 4" DEEP AROUND THE OUTSIDE PERIMETER OF THE STAKES.
 6. THE FABRIC SHALL BE STAPLED TO THE WOODEN STAKES, AND 8" OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE HEIGHT OF THE FILTER BARRIER SHALL BE A MINIMUM OF 15" AND SHALL NOT EXCEED 18".
 7. TRENCH SHALL BE 8" WIDE X 4" DEEP AND FILLED WITH DOT NO. 1 COARSE AGGREGATE TO PREVENT EROSION WHERE GRADE MEETS FENCE.

**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

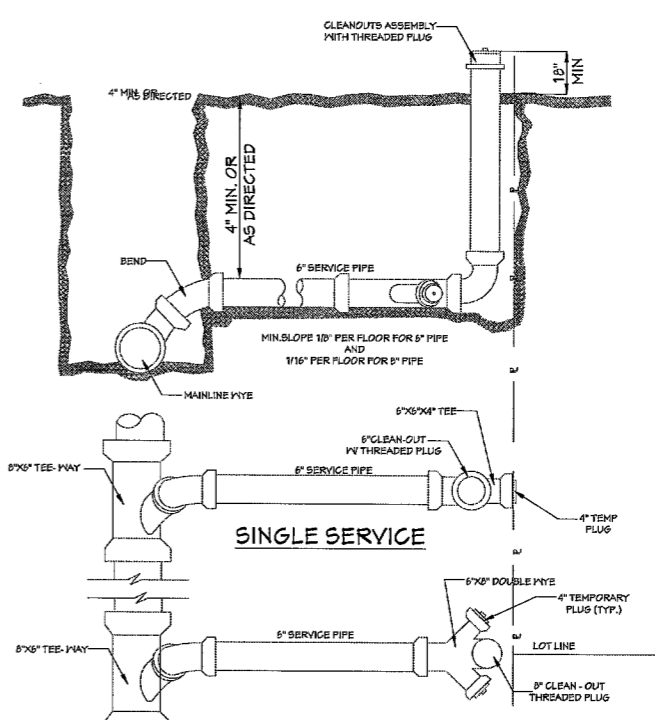
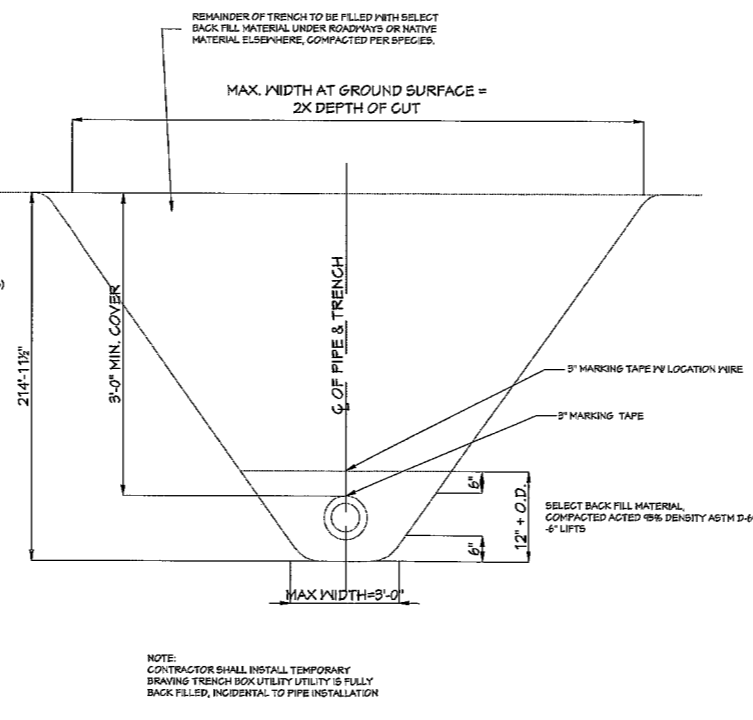
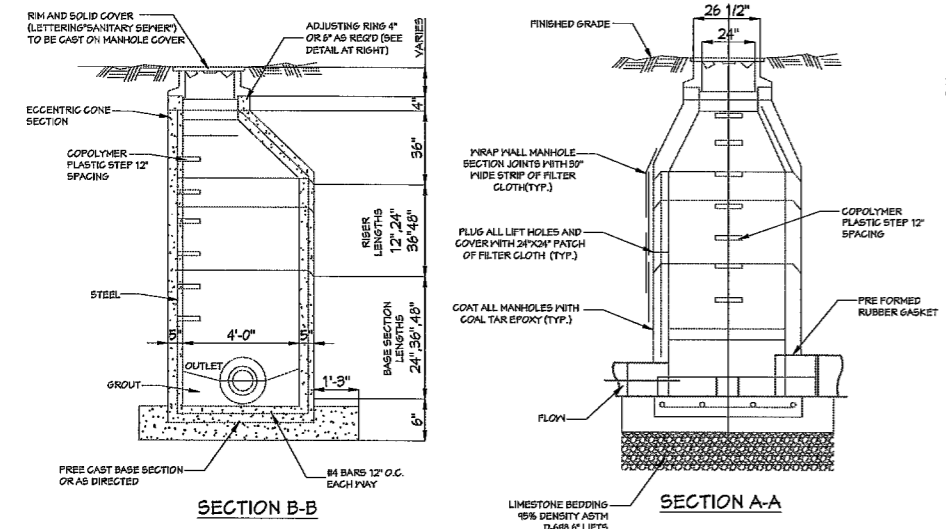
Revision		
No.	Date	Description
1	9/25/2025	Rev. Side Yard Setback from 6' to 8'

Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: No Scale
Plot Size: 36" x 24"
Sheet Title:
Construction Details
Sheet No:

WATER DETAILS



SEWER DETAILS



Harris Solution
Civil Engineering Firm

ES

Phone: (850) 460-5828
Email: aaron@harrisolution.com
941 West Morse Blvd, Suite 100
Winter Park, FL 32789
Licensed in Alabama, Arkansas, Florida, Georgia, Iowa, Mississippi, Texas

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE HARRIS SOLUTION BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE HARRIS SOLUTION ARE THE PROPERTY OF THE HARRIS SOLUTION AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF THE HARRIS SOLUTION. THE PERSON WHO IS DOING SO WILL BE INDEBTED TO THE HARRIS SOLUTION FOR HIS FULL COMMISSION.

**WRIGLEYVILLE SUBDIVISION
PHASE ONE, UNIT ONE & TWO
55th AVENUE & 36th STREET
GULFPORT, MISSISSIPPI**

Revision:		
No:	Date:	Description:
1	9/25/2025	Rev. Side Yard Setback from 8' to 6'

Drawn By: K. Newsham
Date: 09/10/2025
Job Number: 25251
Checked By: ALH
Scale: No Scale
Plot Size: 36" x 24"

Sheet Title:
Construction Details

Sheet No:
CD3.0

MINUTES OF
THE ORGANIZATION MEETING
OF

WRIGLEYVILLE DEVELOPMENT CO., INC.

The organization meeting was held at 9711 W. Oaklawn Road, Biloxi, Mississippi, on April 22, 2004, at 11:00 o'clock A.M.

The undersigned, being the incorporator of the corporation, consented to and ratified the action taken to organize the corporation as hereafter stated:

The Waiver of Notice of the meeting was presented and read to the meeting, subscribed by the person named in the Certificate of Incorporation, and it was ordered that it be appended to the minutes of the meeting.

The persons whose names appear below were appointed directors of the corporation to serve for a period of one year and until their successors are appointed or elected and shall qualify:

JOSE F. DIAZ, SR.
ALLEN T. MOBBS
CHARLES "KIP" REDDIEN

The incorporator then stated that the newly appointed directors would assume their responsibilities immediately and that this meeting would be considered as the first meeting of the directors to organize the corporation and to transact such business as should properly come before the meeting.

The newly appointed directors then unanimously selected JOSE F. DIAZ, SR. as chairman and ALLEN T. MOBBS as secretary of the Board of Directors.

The secretary then presented and read to the meeting a copy of the Certificate of Incorporation and reported that on April 9, 2004, the original thereof was filed in the office of the Secretary of State of this State. The copy of the Certificate of Incorporation was ordered appended to the minutes of the meeting.

The secretary then presented a proposed form of by-laws prepared by Kenneth L. Jones, Attorney at Law, counsel to the corporation. The proposed by-laws were read to the meeting, considered and upon motion duly made, seconded and carried, were adopted as and for the by-laws of the corporation and ordered appended to the minutes of the meeting.

The chairman of the meeting then called for the election of officers of the corporation. The following persons were nominated to the office preceding their name:

President:	JOSE F. DIAZ, SR.
Secretary:	ALLEN T. MOBBS
Treasurer:	CHARLES "KIP" REDDIEN

No further nominations being made, the nominations were closed and the directors proceeded to vote on the nominees. The chairman announced that the foregoing nominees were elected to the offices set before their respective names.

The following business was conducted:

(1) CORPORATE DOMICILE:

Upon motion duly made, seconded and carried, it was

RESOLVED, that an office of the corporation be established and maintained at 9711 W. Oaklawn Road, Biloxi, State of Mississippi, and that meetings of the board of directors from time to time may be held either at the principal office or at such other place as the board of directors shall from time to time order.

(2) EXPENSES ARISING OUT OF THE ORGANIZATION OF THE CORPORATION:

Upon motion duly made, seconded and carried, it was

RESOLVED, that the President, Secretary or Treasurer of the corporation be and hereby is authorized to pay all charges and expenses incident to or arising out of the organization of the corporation and to reimburse any person who has made any disbursement therefor.

(3) RATIFICATION OF PRIOR ACTS:

Upon motion duly made, seconded and carried, it was

RESOLVED, that all prior acts of the Incorporator in organizing and obtaining the Charter of the corporation are hereby approved, confirmed and ratified.

(4) CORPORATE SEAL, STOCK CERTIFICATES, AND RECORD BOOK:

The secretary submitted to the meeting a seal proposed for use as the corporate seal, a specimen stock certificate proposed for use as the corporate certificate for stock, the corporate record

book, and the stock transfer ledger. Upon motion duly made, seconded and carried, it was

RESOLVED, that the seal now presented at this meeting, an impression of which is directed to be made in the minutes of this meeting, be and the same hereby is adopted as the seal of the corporation, and further

RESOLVED, that the specimen stock certificate presented to this meeting be and hereby is adopted as the form of certificate of stock to be issued to represent shares in the corporation, and further

RESOLVED, that the corporate record book, including the stock transfer ledger, be and hereby is adopted as the record book and stock transfer ledger of the corporation.

(5) CORPORATE BANK ACCOUNT:

Upon motion duly made, seconded and carried, it was

RESOLVED, that the President be and he is hereby ordered to open a bank account in the name of this corporation with _____ Bank, Biloxi, Mississippi, for the deposit of funds belonging to the corporation, such funds to be withdrawn by check of the corporation which may be signed by any one of its officers.

(6) AUTHORITY TO ENTER INTO CONTRACTS, ETC.
ON BEHALF OF THE CORPORATION:

Upon motion duly made, seconded and carried, it was

RESOLVED, that the corporation by and through any one of its officers is authorized to enter into contracts, execute any and all conveyances, notes, and deeds of trust, together with any and all other documents necessary for the operation of the corporation, which may be signed and attested by any one of the officers of the corporation. It is further,

RESOLVED, that the President of the corporation, JOSE F. DIAZ, SR., shall be empowered with the paramount authority to direct the day-to-day operations of the corporation and to make all final decisions in relation thereto even if it may be in conflict with any other officer of the corporation.

(7) AUTHORITY TO MAKE PURCHASES ON BEHALF OF CORPORATION:

Upon motion duly made, seconded and carried, it was

RESOLVED, that either one of the officers of the corporation, is hereby authorized and empowered to purchase for and on behalf of the corporation any and all necessary equipment to maintain the operation of business and to execute any documents in connection therewith for and on behalf of and as the act of the corporation.

(8) IRC SECTION 1244 ELECTION:

Upon motion duly made, seconded and carried, it was

RESOLVED, that the proper officers of the corporation are authorized to sell and issue common shares in an aggregate amount of money and other property (as a contribution to capital and as paid in surplus), which together with the aggregate amount of common shares outstanding at the time of issuance, does not exceed \$1,000,000. The sale and issuance of shares shall be conducted in compliance with IRC Section 1244, so that the corporation and its shareholders may obtain the benefits of IRC Section 1244. The proper officers of the corporation are directed to maintain such accounting records as are necessary so that any shareholder that experiences a loss on the transfer of common shares of the corporation may determine whether they qualify for "ordinary loss" deduction treatment on their personal income tax returns.

(9) "S" CORPORATION ELECTION

Upon motion duly made, seconded and carried, it was

RESOLVED, that this corporation elects to be treated as an electing small business corporation under Subchapter S of the Internal Revenue Code Sec. 1362 for the calendar year ending December 31, 2004, and for each following year until this election is revoked; and further

RESOLVED, that each of the appropriate officers of this corporation is authorized and directed to prepare and file on behalf of this corporation an election under Subchapter S, on Internal Revenue Service Form 2553, and to take such other action and to execute such other documents as may be necessary or appropriate to fulfill the purposes of this resolution; and further

RESOLVED, that making this election benefits the stockholders of this corporation. The Board recognizes that certain transfers of stock to unqualified persons may terminate this election; therefore, the initial issuance of corporate stock and the subsequent transfer of any issued stock is restricted to persons

qualified to receive such stock and still maintain the integrity of the Election as provided in Subchapter S, Internal Revenue Code of 1986, as amended. Furthermore, the number of total shareholders shall not exceed thirty-five (35) shareholders at any time; and further

RESOLVED, notwithstanding the above, should the Board of Directors wish to terminate the election under Subchapter S, it may do so by a majority vote and the appropriate officers of this corporation will be authorized to file on behalf of this corporation the necessary documents to terminate this election.

(10) PROPOSAL OF INCORPORATION:

The secretary then presented to the meeting a written Proposal for Incorporation from JOSE F. DIAZ, SR., ALLEN T. MOBBS and CHARLES "KIP" REDDIEN addressed to this corporation.

Upon motion duly made, seconded and carried, the said Proposal for Incorporation was ordered filed with the secretary, and she was requested to append a copy of the said Proposal to the minutes.

The Proposal was taken up for consideration and the following resolution was on motion unanimously adopted:

WHEREAS, a written Proposal for Incorporation has been made to this corporation which Proposal has been appended to these minutes, and

WHEREAS, in the judgment of the board of directors the assets proposed to be transferred to the corporation are reasonably worth the amount of the consideration demanded therefor, and that it is in the best interests of this corporation to accept the said offer as set forth in said Proposal,

NOW THEREFORE, IT IS RESOLVED that said offer, as set forth in said Proposal, be and the same hereby is approved and accepted, and that in accordance with the terms thereof, this corporation shall as full payment for said property issue to said offeror(s) or nominee(s) _____ fully paid and non-assessable shares of this corporation, and it is

FURTHER RESOLVED, that upon the delivery to this corporation of said assets and the execution and delivery of such proper instruments as may be necessary to transfer and convey the same to this corporation, the officers of this corporation are authorized and directed to execute and deliver the certificate or certificates

for such shares as are required to be issued and delivered on acceptance of said offer in accordance with the foregoing.

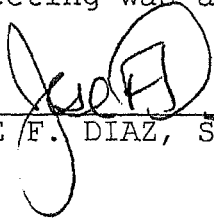
Furthermore, by motion duly made, seconded and carried, it was

RESOLVED, that the corporation proceed to carry on the business for which it was incorporated, and further

RESOLVED, that the signing of these minutes shall constitute full ratification thereof and waiver of notice of the meeting by the signatories.

There being no further business before the meeting, on motion duly made, seconded and carried, the meeting was adjourned.

DATE: April 22, 2004.



JOSE F. DIAZ, SR., CHAIRMAN

ATTESTED:




ALLEN T. MOBBS, SECRETARY



CHARLES "KFP" REDDIEN, TREASURER

APPROVED:



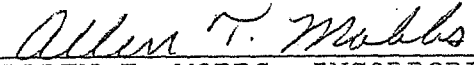
JOSE F. DIAZ, SR., DIRECTOR



ALLEN T. MOBBS, DIRECTOR



CHARLES "KFP" REDDIEN, DIRECTOR



ALLEN T. MOBBS, INCORPORATOR

A true copy of each of the following papers referred to in the foregoing minutes is appended hereto:

- Waiver of notice of the meeting
- Certificate of Incorporation
- By-laws
- Specimen stock certificates
- Resolution designating depository of funds
- Proposal of Incorporation

STATE OF MISSISSIPPI 163

COUNTY OF HARRISON

Whereas the undersigned Realty Enterprises, Incorporated, a Mississippi Corporation is the sole owner of all of that subdivision known as Unit 2 of New Pinehurst Subdivision, as shown by the map or plat thereof on file and of record in the office of the Chancery Clerk of Harrison County, Mississippi, said subdivision being a subdivision within the City of Gulfport, Harrison County, Mississippi; and

WHEREAS the undersigned, as owner and developer of said subdivision, does now wish to make all of said property subject to covenants, restrictions, conditions and reservations as set forth herein, so as to insure the best and most appropriate use and development of each building site therein, to protect the owners of building sites against improper use of surrounding building sites so as to prevent depreciation in value of their property, and to preserve insofar as possible the natural beauty of the property, guarding against the erection thereon of structures which will depreciate property values in the neighborhood: and for the further purpose of aiding in welfare, health and wellbeing of the owners of said property.

NOW THEREFORE the undersigned Realty Enterprises, Incorporated, does hereby make, establish, and attach to the title of said property, the following covenants, restrictions, conditions and reservations, which covenants, restrictions, conditions and reservations are hereby declared to be covenants running with the land, attaching to each of the lots or parcels of land shown in the plat of Unit 2 of New Pinehurst Subdivision, and does hereby agree to said protective covenants, said covenants, restrictions, conditions and reservations being as follows:

First, no structure shall be erected on any of the lots in Unit 2 of New Pinehurst Subdivision except residential dwellings not to exceed 2 1/2 stories in height, together with private

garage and other buildings incidental to residential use of the lot. No dwelling shall be constructed nor used for the housing of more than two family units. No structure shall be erected nor used for commercial or industrial purposes.

Second, no temporary structure, trailer, shack, or other unsightly structure, shall be erected or used for any purpose whatsoever, and no dwelling having a floor area less than 600 square feet, exclusive of porches and car-port, on the ground floor, shall be constructed on any lot.

Third, each residence constructed on the property in Unit 2 of New Pinehurst Subdivision shall be erected so as not to approach nearer than 35 feet to the front property line

of said lot and not nearer than 5 feet to the side line of any interior lot, nor nearer than 15 feet to the side line along a street of a corner lot. No garage nor other out-house or building shall be constructed nearer than 5 feet to the side or rear lines of said property as originally platted.

Fourth, no lot nor combination of lots shall be subdivided or changed so as to face in any other direction than that platted, nor subdivided or changed so as to permit the erection of more than one dwelling on any lot as originally platted, and only one dwelling may be erected on each lot.

Fifth, no obnoxious or offensive establishment shall be carried on upon any lot in said subdivision nor shall anything be done thereon which may be or become an annoyance or nuisance to the neighborhood. No activity shall be carried on in any lot which will cause unusual interference with reception of radio, television, etc. No advertising sign or billboard shall be placed or allowed on any lot except that the owner may place or authorize to be placed thereon a sign advertising such lot for sale, said sign not to exceed 18 inches by 36 inches.

The restrictive covenants, conditions and reservations

set forth above shall be and constitute property rights in each of the owners of lots in said subdivision and may be enforced by owners of property therein. The invalidation of any one or more of the restrictions or covenants set forth above shall in no wise affect any of the other provisions, which other provisions shall remain in full force and effect.

Witness the signature and seal of Realty Enterprises, Incorporated, by its duly authorized officers, on this the 26th day of June, 1954.

ATTEST:

Evelyn S. Bowden

STATE OF MISSISSIPPI

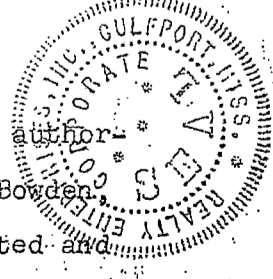
COUNTY OF HARRISON

REALTY ENTERPRISES, INCORPORATED

BY:

Jack W. Bowden

Personally appeared before me, the undersigned authority in and for the above county and state, Jack W. Bowden, 2nd Vice President of Realty Enterprises, Incorporated and Evelyn S. Bowden, Sec. Treas. of Realty Enterprises, Incorporated, a Mississippi corporation, each acknowledged to me that they signed, affixed the corporate seal, and delivered the above and foregoing instrument, for the uses and purposes

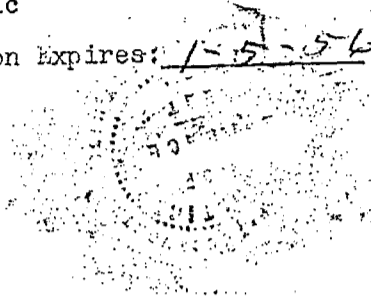


therein stated, as and for the act and deed of said corporation,
being duly authorized so to act, on the day and in the year
therein written.

Witness my hand and official seal on this the 26 day of
June, 1954.

J. Pat Slackworth
Notary Public

My Commission Expires: 1-5-56



STATE OF MISSISSIPPI, COUNTY OF HARRISON:

Filing

900 words

Certificate

Indexing

I, C. J. Darby, Clerk of the Chancery Court of said County and State,
certify that the instrument of which the foregoing is a record was deli-
vered to me to be recorded at 11:40 o'clock A M. on the
26th day of June, 1954 and
recorded June 26, 1954

G. J. Darby, Clerk,

By Gene Stratatos D. C.

1.30
8.10
10.00

UNOFFICIAL

WRIGLEYVILLE



DEPARTMENT OF URBAN DEVELOPMENT
PLANNING DIVISION

April 29, 2019

P.O. Box 1780
Gulfport, MS 39502
Phone: 228-868-5710
Fax: 228-868-5708

Wrigleyville Development Co INC
3425 Southwest 128 Ave
Miami, FL 33175

Wm. H. Hardy Building
1410 24th Avenue
Gulfport, MS 39501

RE: General Plan 1903PC028, by agent Aaron Harris, tax parcels 0710K-01-039.000 and 0710K-01-034.001, Approval of General Plan for 32-lot subdivision (Wrigleyville Subdivision Phase One, Unit One & Two), 55th Ave, Zoned R-2 (Single-family), Ward 1

To Whom It May Concern:

This letter will officially notify you, at the Public Hearing on **Thursday, April 25, 2019**, the Gulfport City Planning Commission **approved** the request for the General Plan with the following conditions:

1. Must partially vacate the New Pinehurst Subdivision Unit #2 plat for right-of-way deviations.
2. Property maintenance is required.
3. All drainage ditches/ ponds/ structures to be cleaned & graded for positive flow.
4. All development and construction in an AE zone that is part of a riverine area, shall comply with all FEMA and NFIP regulations as well as the City Flood Damage Prevention Ordinance. See Article 5, Section B standards for riverine zones – paragraphs (1)&(3). Foundations and exterior walls shall be designed per regulations and there shall be no encroachments including fill or structures in this area unless certified by a registered professional engineer. The density, fill and development shall not increase the water surface elevation of the base flood elevation by one foot or more. All development and construction shall also comply with the (Code of Federal Regulation) 44CFR Section 60.3¹⁰ prior to project approval. Provide professional engineered drawings, required certificates and all documentation complying with all city, state and federal regulations.

Any interested party that may feel aggrieved by this approval of the Planning Commission decision may confirm by filing a written notice of appeal on or before fifteen (15) calendar days after the date of the Planning Commission hearing. The notice of appeal and reasons for objecting to the decision should be stated in writing and filed with the Department of Urban Development-Planning Division. This notice of appeal shall be forwarded as part of the record with the record and decision from the Planning Commission to the Mayor and City Council. The City Council shall make a final decision based upon the record as submitted. No new evidence may be presented at the meeting. A filing fee for an appeal will apply. Please contact this office for further details on the appeal process.

If you have any questions or comments, please contact this office.

Sincerely,
City of Gulfport Planning Division

c. Agent, Building Code Services



CITY *of* GULFPORT

February 13, 2007

Aaron Harris – Agent
13407 Dedeaux Road, Ste B
Gulfport, MS 39503

RE: Case File Number 0409PC168 - Aaron Harris, agent for DBDS Development, LLC, property owner, requests General Plan Approval for a subdivision of 8.3 +/- acres (metes and bounds) into a 17-lot single-family residential subdivision (Wrigleyville Subdivision), zoned R-2. (Located on tax parcel number 0710K-01-039.000, north of 33rd Avenue, south of Interstate 10, west of 53rd Avenue, east of Canal Road.)

To Whom It May Concern:

At their public hearing on Thursday, February 8, 2007, the Gulfport City Planning Commission considered the request for an extension of time within which to file the final plat in the above referenced case.

This is your official notice that the Planning Commission approved a twelve-month extension within which to file a final plat until April 26, 2008.

If you have any questions or comments, please contact this office at 868-5710.

Sincerely,

URBAN DEVELOPMENT PLANNING DIVISION

Paula D. Doyle
Planner II

PDD/ldh



CITY *of* GULFPORT

February 23, 2007

Aaron Harris, P. E.
Harris Heinrich
608 34th Street
Suite B
Gulfport, MS 39501

RE: Case File Number 0412PC215 - Aaron Harris, agent for DBDS Development, LLC, property owner, requests General Plan Approval for a subdivision of 12 acres (metes and bounds) into a 19-lot single-family residential subdivision with two additional lots to preserve wetlands and one lot for detention pond (Wrigleyville Subdivision, Phase Two), zoned R-1.7.5. (Located on tax parcel number 0710K-01-002.000, north of 36th Street, south of Turkey Creek, east of 53rd Avenue and west of 39th Avenue.)

To Whom It May Concern:

At their public hearing on Thursday, February 22, 2007, the Gulfport City Planning Commission considered the request for an extension of time within which to file the final plat in the above referenced case.

This is your official notice that the Planning Commission approved the extension for 12 months until April 27, 2008 to file a final plat.

If you have any questions or comments, please contact this office at 868-5710.

Sincerely,

URBAN DEVELOPMENT PLANNING DIVISION

Paula D. Doyle
Planner II

PDD

WETLANDS SOLUTIONS

mitigation banks

October 18, 2007

RE:USACE Permit# SAM-2006-01553-TMZ

Mr. Tad Zebryk
USACE, Mobile District
P.O. Box 2288
Mobile, AL 36628

Dear Mr. Zebryk:

Please treat this letter as written confirmation that, in accordance with the above referenced permit, Wrigleyville Development has purchased 22.5 mitigation credit(s) from Wetlands Solutions Mitigation Bank.

If you have any questions, please call me at 228.575.7747.

Very truly yours,

WETLANDS SOLUTIONS, LLC

Jessica Crosby

cc: Mr. Joe Diaz
Wrigleyville Development

Mr. Kenny Jones
Gulf Title Company

Mr. Jan Boyd
Dept. of Marine Resources

Mr. Kim Savant
Kim B. Savant Consulting Services

Transaction Details

→ There are no sub-edger entries for this transaction.

Transaction ID: 13720

Date: 10/16/2007

Type: NOI

Bank/Site: Dead Tree Mitigation Bank

Credits: 22.5

Quantity: 22.5 Acres

Project Name:

Assessment Method: Ratio

Credit Type: Wetland

Credit Classification: Wet Pine Flats

All Permits: SAJL-2006-01493-IMZ

Impact HUC: 0

Impact Quantity: 0

More Information: Cowardin System Estuaries

Comment:

Willows



Quality Engineering Services, Inc.
a consulting & construction materials testing firm

628-D West Railroad St
Long Beach, MS 39560-5427

(228) 668-6618 voice
(228) 668-2006 fax
info@qesonline.com
www.qesonline.com

a foundation for our community

REPORT NUM.: 2009-1286
CLIENT NAME: Wrigleyville Development
PROJECT NAME: New Subdivision
PROJECT LOCATION: Gulfport, MS

REPORT DATE: 22-Oct-2009
QES PROJECT #: N/A
ARCH./ENG.: N/A
CONTRACTOR: N/A

Thursday

Page 1 of 1

890101 **FIELD TESTING**

ASTM D-2922 Nuclear Gauge Soil Densities

TEST NUMBER	1	2	3	4	5	6	7	8	9	10
TIME TESTED (24 H)										
MINIMUM REQUIRED	95%	95%	95%	95%	95%	95%	95%			
STATION, LOT OR OTHER FROM CL	N Entrance	N Entrance	Middle School	Middle School	Middle School	5 Entrance	5 Entrance			
ELEVATION OF LEFT	1	2	3	4	5	6	7			
DEPTH OF TEST (INCH)	TOB	TOB	TOB	TOB	TOB	TOB	TOB			
TYPE OF SOIL	6	6	6	6	6	6	6			
MAX DRY WEIGHT (POUND)	Native	Native	Native	Native	Native	Native	Native			
MOISTURE CONTENT	112.9	112.9	112.9	112.9	112.9	112.9	112.9			
DRY WEIGHT/C.F.	12.1%	15.8%	15.0%	11.5%	14.2%	15.8%	13.3%			
WET WEIGHT/C.F.	109.1	107.6	107.3	107.4	107.6	107.2	111.2			
PERCENT COMPACTION	122.4	124.6	123.4	119.7	122.8	124.2	125.9			
RESULT	96.6%	95.3%	95.0%	95.1%	95.3%	95.0%	98.5%			
	Pass	Pass	Pass	Pass	Pass	Pass	Pass			
	n/a	n/a	n/a	n/a	n/a	n/a	n/a			

Rev. 05/2007

LEGEND: TOF=top of fill; BOF=bottom of footer; R,L,CTR= right, left, center; CL=center line
N,S,E,W= north, south, east, west; TOB=top of base; TOS=top of slab fill; BS=back scatter

Field Tech.: Sean Case

Remarks:

John P. Oliver, III PE
President

REPORT DISTRIBUTION

ORIGINAL TO: Wrigleyville Development

COPY TO: QES File

ATTN: John

WETLANDS SOLUTIONS, LLC

DATE: MARCH 14, 2007

Send to: Joe Diaz
Attention: Joe Diaz
Office Location:
Fax Number: 305-207-6858

From: Jessica Crosby
Office Location: Seaway Road
Phone Number: 228-575-7747
Number of Pages, Including Cover: 2

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

COMMENTS:

Mr. Diaz,

Attached is a pricing agreement for the mitigation needed for the Wrigleyville Development. If you have any questions, please feel free to give me a call at 228-575-7747.

Sincerely,
Jessica Crosby
Wetlands Solutions, LLC

fax cover

Wetlands Solutions, LLC
14231 Seaway Road Suite 7007, Gulfport, MS 39503
228-575-7747 direct line | 228-575-7759 fax number
www.wetlandssolutions.com

AGREEMENT TO PURCHASE MITIGATION CREDITS

This Agreement is made by and between WETLANDS SOLUTIONS, LLC (hereinafter WSLLC) and Wrighteville Development, Inc. (hereinafter PERMITTEE).

PERMITTEE agrees to purchase and WSLLC agrees to provide 22.5 mitigation credit(s) from Wetlands Solutions Mitigation Bank as required by PERMITTEE'S U.S. Army Corps of Engineers permit # SAM-2006-01553-TM2.

As consideration for the above-referenced mitigation credits, PERMITTEE agrees to pay WSLLC the sum of \$106,852.50 on or before April 13, 2007. Credit pricing is subject to a market adjustment if this Agreement is not executed and returned to WSLLC by close-of-business on March 23, 2007.

This Agreement is made this 15th day of March, 2007.

WETLANDS SOLUTIONS, LLC

By: _____
Brandon A. Pike

PERMITTEE

By: _____

Address: _____

Phone: _____

Fax: _____

WSLLC will provide confirmation of credit purchase to the Corps of Engineers via fax and U.S. mail within one business day *if payment is made by wire transfer, cashier's check or other certified funds*. Personal and company checks are subject to the following clearing period:

- Checks drawn on Hancock Bank: 1 business day
- Checks drawn on other local banks: 2 business days
- Checks drawn on out of town banks: Up to 7 business days
- Bank drafts: 3 business days

REMIT PAYMENT TO:
WETLANDS SOLUTIONS, LLC
14231 Seaway Rd., SUITE 7007
Gulfport, MS 39503
Phone: 228.575.7747
Fax: 228-575-7759



This notice of authorization must be
conspicuously displayed at the site of work.

United States Army Corps of Engineers

A permit to perform work authorized by statutes and regulations of the Department of the Army

at TURKEY CREEK, NEAR GULFPORT, HARRISON COUNTY, MISSISSIPPI

has been issued to WRIGLEYVILLE DEVELOPMENT, INC. on JANUARY 12, 2007

Address of Permittee 3425 SOUTHWEST 128TH AVENUE, MIAMI, FLORIDA 33175

Permit Number

SAM-2006-1553-TMZ

FOR THE

District Commander
TAD M. ZEBRYK
COASTAL BRANCH

**NOTICE OF COMMENCEMENT OF WORK
AUTHORIZED BY PERMITS**

DATE

WORK AUTHORIZED UNDER DEPARTMENT OF THE ARMY PERMIT SAM-2006-1553-TMZ

DATED JANUARY 12, 2007

TO PERFORM WORK IN TURKEY CREEK, GULFPORT, HARRISON COUNTY,
MISSISSIPPI

WAS COMMENCED ON _____

BY: 

SIGNATURE

WRIGLEYVILLE DEVELOPMENT, INC.

CESAM FORM 850
JUNE 87

**NOTICE OF COMPLETION OF WORK
AUTHORIZED BY PERMITS**

DATE

WORK AUTHORIZED UNDER DEPARTMENT OF THE ARMY PERMIT SAM-2006-1553-TMZ

DATED JANUARY 12, 2007

TO PERFORM WORK IN TURKEY CREEK, GULFPORT, HARRISON COUNTY,
MISSISSIPPI

WAS COMPLETED ON _____

BY: 

SIGNATURE

WRIGLEYVILLE DEVELOPMENT, INC.

CESAM FORM 851
JUN 87



MISSISSIPPI
DEPARTMENT OF MARINE RESOURCES

September 20, 2006

Wrigleyville Development, Inc.
c/o Billy Culpepper, EnviroSouth
6017 Vista Circle
Gulfport, MS 39507

RE: DMR-060912

Dear Mr. Culpepper:

The Department of Marine Resources (DMR) has reviewed Wrigleyville Development, Inc.'s request to fill 10.25 acres of non-tidal wetlands on 55th and 53rd Avenues in Gulfport, Harrison County, MS.

In accordance with the provisions of the Mississippi Coastal Wetlands Protection Law and our findings made in compliance with Chapter Eight, Section 2, Part II.D. of the Mississippi Coastal Program, a Certificate of Waiver is issued to you this day. This Waiver does not release you from the responsibility of compliance with other state and federal regulations. These activities shall be conducted in a manner resulting in the least damaging impacts to wetlands and the coastal environment. This Waiver is valid for a period of three years from the date of issuance, and this Waiver is hereby granted by the Executive Director on this date, provided the following conditions are agreed upon and adhered to in completing the proposed work:

1. Approximately 10.25 acres of non-tidal wetlands shall be filled for the construction of a single-family residential development as indicated on the attached diagram;
2. The applicant shall purchase the appropriate number of mitigation credits to offset the 10.25-acre impact to non-tidal wetlands;
3. Prior to the commencement of construction, proof of purchase of mitigation credits from an approved mitigation bank within the service area (as determined by the Mitigation Bank Review Team) must be submitted to this office;
4. No construction debris or unauthorized fill material shall be allowed to enter coastal wetlands or waters;
5. Vegetated wetlands outside of the 10.25-acre fill area shall not be impacted;
6. Appropriate erosion and siltation controls must be used and maintained in effective operating conditions during construction, and all exposed soil and other fill material

APPROVED



STATE OF MISSISSIPPI

HALEY BARBOUR
GOVERNOR

MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY
CHARLES H. CHISOLM EXECUTIVE DIRECTOR

December 7, 2006

Certified Mail No. 7005 1160 0004 1776 7659

Mr. Jose Diaz
Wrigley Development, Inc.
608 34th Street, Suite B
Gulfport, MS 39507

Dear Mr. Diaz:

Re: Wrigleyville Subdivision
Harrison County
COE No. SAM200601553TMZ
WQC No. WQC2006108

Pursuant to Section 401 of the Federal Water Pollution Control Act (33 U. S. C. 1251, 1341), the Office of Pollution Control (OPC) issues this Certification, after public notice and opportunity for public hearing, Wrigleyville Development, Inc., an applicant for a Federal License or permit to conduct the following activity:

Wrigleyville Subdivision: Proposed fill of 10.2 acres of medium quality wetlands on a 22-acre site for construction of an affordable single-family residential subdivision. The wetlands proposed to be impacted are forested bayhead and wet pine flatwoods. Approximately 8 acres of wetlands will be avoided. Mitigation would include the purchase of credits from an approved mitigation bank. The project is located adjacent to 53rd and 55th Avenues in Gulfport, Harrison County, Mississippi. The purpose of the project is to help satisfy the need for housing in an area heavily damaged by Hurricane Katrina. [SAM200601553TMZ, WQC2006108].

The Office of Pollution Control certifies that the above-described activity will be in compliance with the applicable provisions of Sections 301, 302, 303, 306, and 307 of the Federal Water Pollution Control Act and Section 49-17-29 of the Mississippi Code of 1972, if the applicant complies with the following conditions:

1. The development shall connect to an Office of Pollution Control approved wastewater collection and treatment system. No construction shall begin until all wastewater approvals are obtained.

APPROVED

2. Appropriate best management practices (BMPs) shall be properly installed and maintained to prevent the movement of sediment off-site and into adjacent drainage areas and/or waters. Special care shall be taken to prevent the movement of sediment into adjacent wetland areas. In the event of any BMP failure, corrective actions shall be taken immediately.
3. The final post-construction Stormwater Management Plan, submitted by Harris & Heinrich, LLC, received on October 11, 2006, shall be implemented concurrent with project construction and properly maintained.
4. Controls shall be implemented as necessary to prevent erosion and adverse impacts to off-site areas and receiving waters. When work is completed or discontinued in a disturbed area, appropriate vegetative and structural practices shall be initiated within seven calendar days. All measures shall be inspected at least every seven calendar days and appropriate records of inspection kept. All erosion controls must be maintained. At a minimum, all accumulated sediment shall be removed from controls when it reaches 1/3 to 1/2 the height of the control and properly disposed of. Non-functioning controls shall be repaired, replaced or supplemented with functional controls within 24 hours of discovery or as soon as field conditions allow.
5. Coverage under a Stormwater Construction General NPDES Permit shall be obtained prior to the start of construction activities for review and approval. No construction activities shall begin until such approvals are obtained.
6. All fill material and excavation areas shall have side slopes of 3:1 (horizontal:vertical) or flatter and shall be immediately seeded, stabilized and maintained.
7. Mitigation for the loss of 10.2 acres of wetlands shall be provided by the purchase of mitigation credits from an approved mitigation bank. The number of credits purchased must be in accordance with the banking prospectus and should be based upon that required for impacting 10.2 acres of medium quality wetlands. Written verification of credit purchase must be provided to the Office of Pollution Control prior to the commencement of any work in the wetland areas.
8. No sewage, oil, refuse, or other pollutants shall be discharged into the watercourse.

APPROVED

Mr. Jose Diaz
Page 3 of 3
December 14, 2006

The Office of Pollution Control also certifies that there are no limitations under Section 302 nor standards under Sections 306 and 307 of the Federal Water Pollution Control Act which are applicable to the applicant's above-described activity.

This certification is valid for the project as proposed. Any deviations without proper modifications and/or approvals may result in a violation of the 401 Water Quality Certification. If we can be of further assistance, please contact us.

Sincerely,



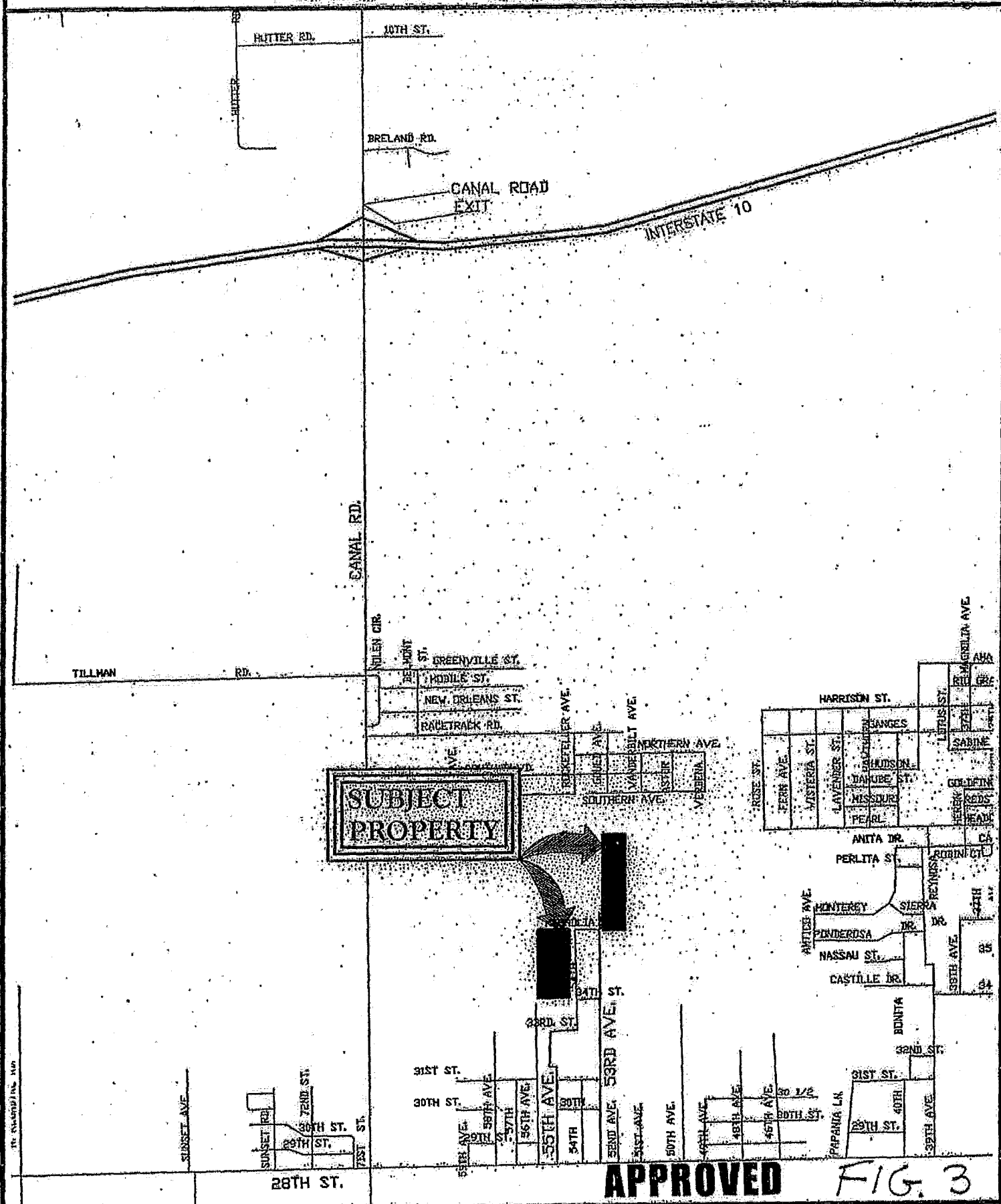
Harry M. Wilson, P.E., DEE
Chief, Environmental Permits Division

HMW: FW

cc: Mr. Tad M. Zebryk, U.S. Army Corps of Engineers, Mobile District
Ms. Willa Henriksen, Department of Marine Resources
Mr. Paul Necaize, U.S. Fish and Wildlife Service
Ms. Andrea Wade, Environmental Protection Agency
Ms. Janet Riddell, Office of Budget & Fund Management

APPROVED

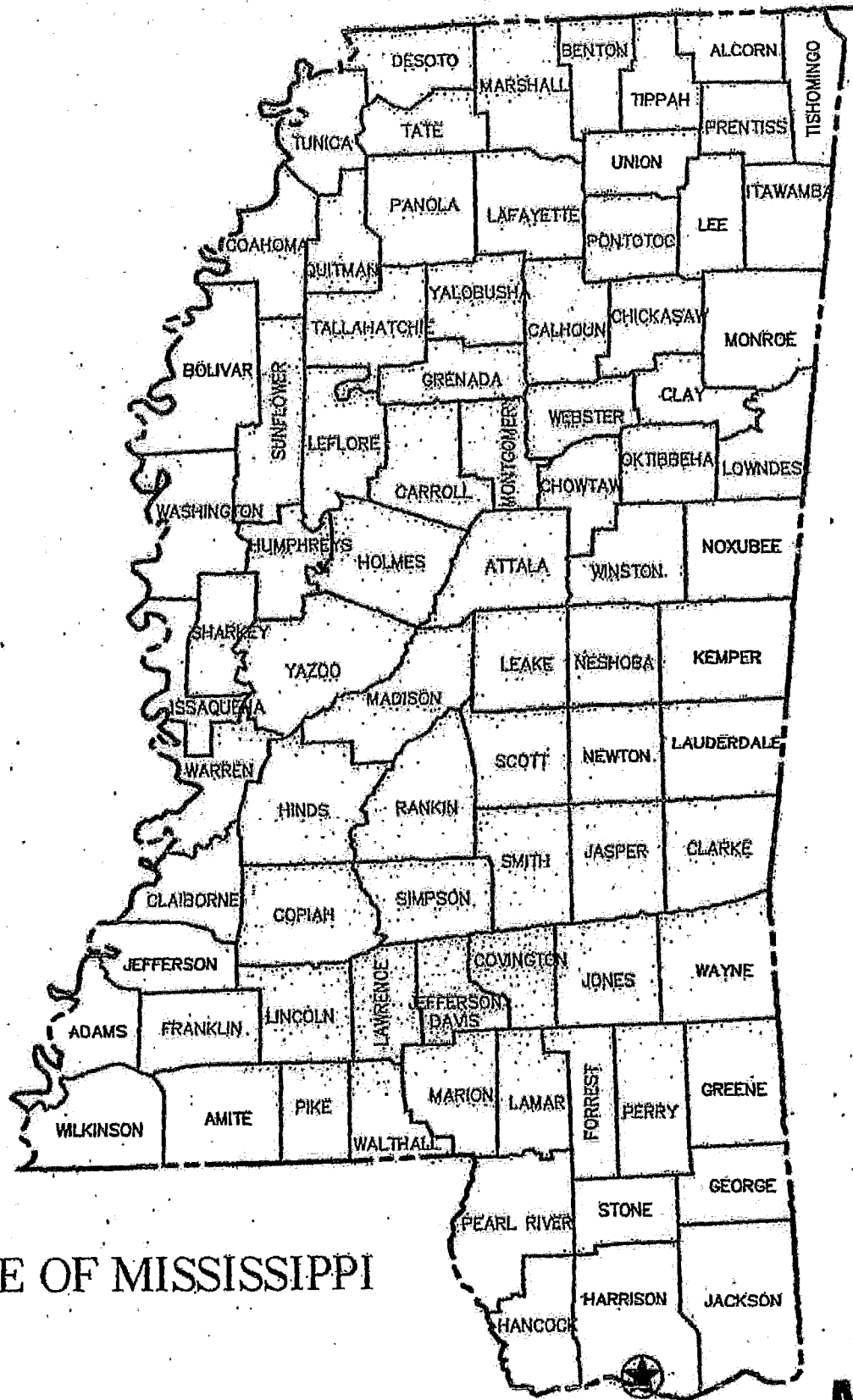
FIGURE 2 - SITE VICINITY MAP



APPROVED FIG. 3

H HARRIS HEINRICH	608 34th STREET, STE B Gulfport, MS 39507 PH (228) 575-8200	WETLAND EXHIBIT for WRIGLEYVILLE SUBDIVISION, PHASE 1-2 GULFPORT, MISSISSIPPI	05-04-06 04-076
	(Additional text or details, mostly obscured or illegible)		

FIGURE 1 - SITE LOCATION MAP



STATE OF MISSISSIPPI

FIG. 2
APPROVED

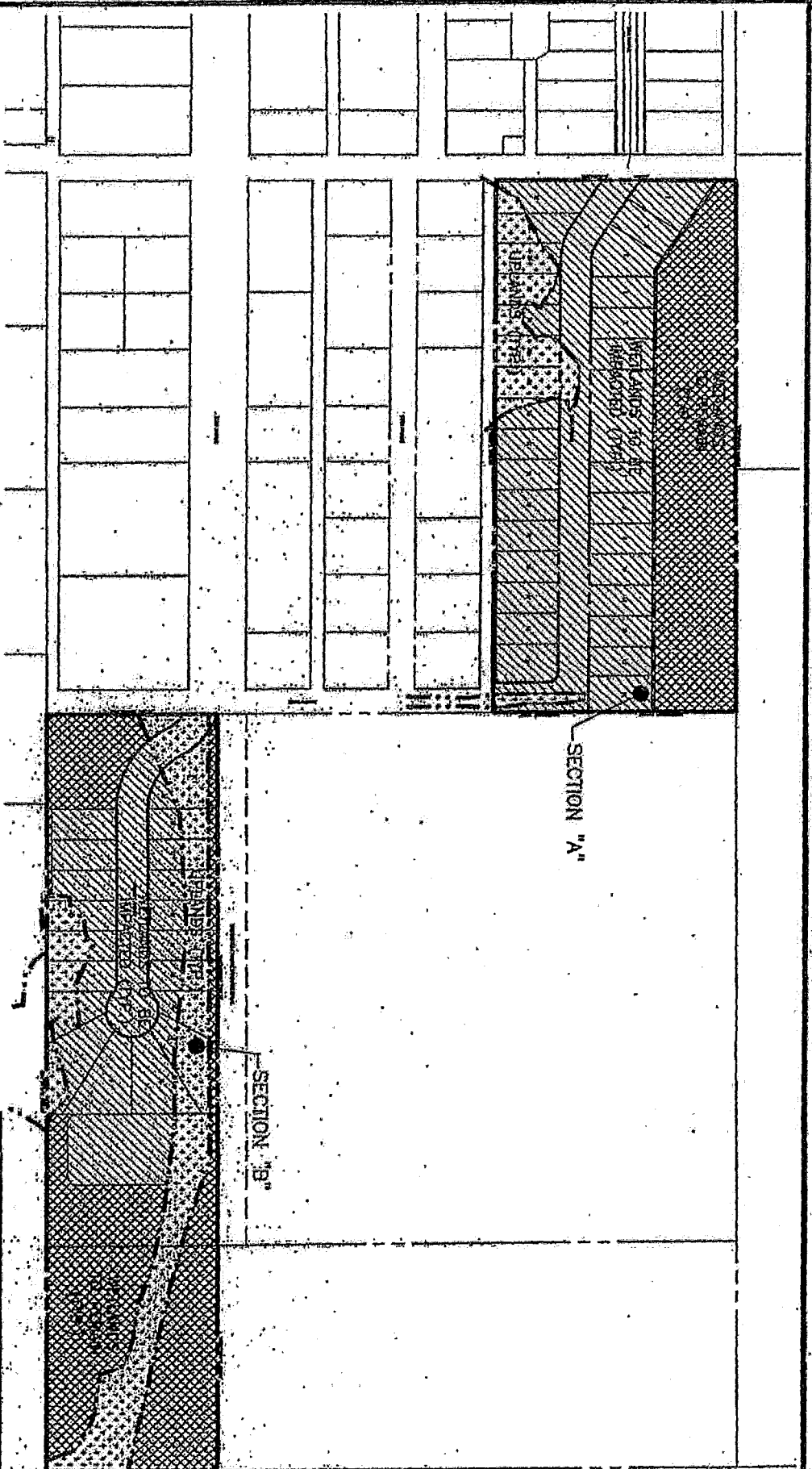
H HARRIS HEINRICH


608 34th STREET, STE B
Gulfport, MS 39507
PH (228) 575-8200

WETLAND EXHIBIT for
WRIGLEYVILLE SUBDIVISION, PHASE 1-2
GULFPORT, MISSISSIPPI

05-04-06
04-076

FIGURE 3 - WETLAND IMPACTS





 SCALE
 1" = 300'

WETLAND DATA	
TOTAL WETLANDS IMPACTED	10.254 AC
TOTAL WETLANDS REMAINING	8.138 AC
TOTAL WETLANDS	18.389 AC
TOTAL UPLANDS	3.879 AC
TOTAL ACREAGE	22.271 AC

H HARRIS 608 34th STREET, STE. B
 Gulfport, MS 39507
H HENNRICH PH (228) 575-8200

WETLAND EXHIBIT for
 WRIGLEYVILLE SUBDIVISION, PHASE 1-2
 HARRISON COUNTY, MISSISSIPPI

05-04-06
 04-076

APPROVED

FIGURE 3 - WETLAND IMPACTS

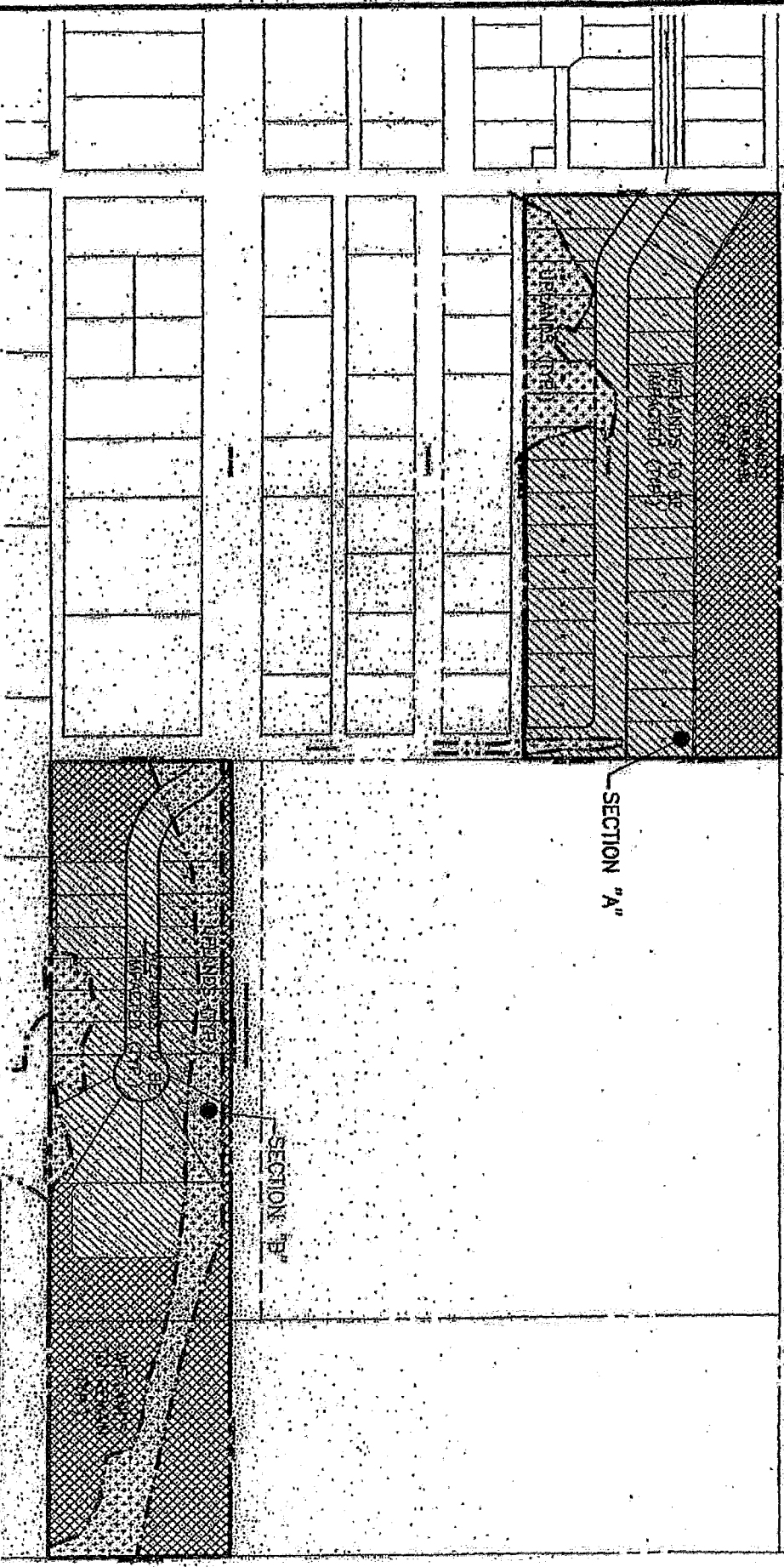


Fig. 4
 N
 SCALE
 1" = 300'

WETLAND DATA

TOTAL WETLANDS IMPACTED	10.254 AC
TOTAL WETLANDS REMAINING	8.138 AC
TOTAL WETLANDS	18.389 AC
TOTAL UPLANDS	3.879 AC
TOTAL ACREAGE	22.271 AC

HARRIS
HENNRICH
 608 34th STREET, STE. B
 Gulfport, MS 39507
 PH (228) 575-8200

WETLAND EXHIBIT for
 WRIGHTVILLE SUBDIVISION, PHASE 1-2
 HARRISON COUNTY, MISSISSIPPI

05-04-06
 04-076

APPROVED



DEPARTMENT OF THE ARMY
U.S. ARMY ENGINEER DISTRICT, MOBILE DISTRICT
P.O. BOX 2288
MOBILE, ALABAMA 36628-0001

REPLY TO
ATTENTION OF:

Coastal Branch
Regulatory Division

SUBJECT: Department of the Army Draft Permit Number SAM-2006-01553-TMZ; Wrigleyville Development, Inc.

Wrigleyville Development, Inc.
Attention: Mr. Jose F. Diaz
3425 Southwest 128th Avenue
Miami, Florida 33175

Dear Mr. Diaz:

Enclosed are two copies of a Department of the Army draft permit for work specified in accordance with the enclosed plans, drawings, and specifications. If the permit is acceptable as drafted, you are requested to sign both copies in the space indicated on page 3 and return them to me for final action. The original will be signed by me and returned to you with a placard to be posted at all times that construction is performed at the site. We request that you also return to us the enclosed Notice of Appeal form if you object to the terms and conditions of the permit.

Your attention is directed to all conditions under which this permit will be issued. Failure to comply with any condition of the approved permit may result in its suspension, cancellation, or revocation.

A fee of \$100 is required before final action can be taken on your permit request. Please make your check payable to the Finance and Accounting Officer, Mobile District, U.S. Army Corps of Engineers and mail along with the signed draft permits to the attention of the Permit Evaluation Branch. This permit is not valid until it is properly signed by both the applicant and me; therefore, work must not commence on the project until a fully-executed copy has been returned to you.

Please contact me at (251) 694-3779, if you have any questions. For additional information about our Regulatory Program, please visit our web site at: www.sam.usace.army.mil/rd/reg and please take a moment to complete our customer satisfaction survey while you're there. Your responses are appreciated and will allow us to improve our services.

Sincerely,

A handwritten signature in black ink, appearing to read "Tad M. Zebryk", is written over the typed name.

Tad M. Zebryk
Coastal Branch
Regulatory Division

Enclosures

DEPARTMENT OF THE ARMY PERMIT

Permittee: Wrigleyville Development, Inc.

Permit No.: SAM-2006-01553-TMZ

Issuing Office: MOBILE DISTRICT

NOTE: The term "you" and its derivatives, as used in this permit, means the permittee or any future transferee. The term "this office" refers to the appropriate district or division office of the Corps of Engineers having jurisdiction over the permitted activity or the appropriate official of that office acting under the authority of the commanding officer.

You are authorized to perform work in accordance with the terms and conditions specified below.

Project Description: The permittee proposes to discharge fill material into non-tidal jurisdictional wetlands for the purpose of constructing a low-income single-family residential subdivision. The proposed subdivision will help satisfy the need for such housing in an area heavily damaged by Hurricane Katrina. The work will involve impacting 10.25 acres of wetlands at a 22-acre site located adjacent to 53rd and 55th Avenues, Gulfport, Harrison County, Mississippi. Wetlands at the proposed subdivision site consist of mixed low and medium quality forested bay head and wet pine flat woods. Approximately 8 acres of wetlands occurring at the site will not be developed.

- ATTACHED:
1. Mississippi Department of Environmental Quality Water Quality Certification
 2. Mississippi Department of Marine Resources Certificate of Wavier
 3. Site Location Map
 4. Site Vicinity Map
 5. Wetland Exhibit
 6. Project Layout, Sheet I
 7. Project Layout, Sheet II

Project Location: On Turkey Creek, near Gulfport, Harrison County, Mississippi; Section 31, Township 7 South, Range 11 West, Latitude North 30-23-41; Longitude West 89-07-32.

Permit Conditions:

General Conditions:

1. The time limit for completing the work authorized ends on 12 DECEMBER 2012. If you find that you need more time to complete the authorized activity, submit your request for a time extension to this office for consideration at least 1 month before the above date is reached.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

4. If you sell the property associated with this permit, you must obtain the signature of the new owner in the space provided and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Special Conditions: a. The permittee will be responsible for protecting the fill area in accordance with the Best Management Practices of the Mississippi Department of Environmental Quality.

b. All conditions of Clean Water Act Section 401 Water Quality Certification issued by the State of Mississippi, Department of Environmental Quality (7 December 2006; WQC No.: WQC2006108) are incorporated as conditions of this Department of the Army permit (copy enclosed).

c. All conditions of the Certificate of Waiver issued 20 September 2006 by the Mississippi Department of Marine Resources are incorporated as conditions of this Department of the Army permit (copy enclosed).

d. The permittee will purchase the appropriate number of mitigation credits from an approved mitigation bank to compensate for impacts to 10.25 acres of jurisdictional wetlands. These consist of 8.25 acres of low quality wetlands and 2 acres of medium quality wetlands. Proof of credit purchase must be submitted to this office prior to the initiation of construction.

Further Information:

1. Congressional Authorities: You have been authorized to undertake the activity described above pursuant to:
 - (X) Section 404 of the Clean Water Act (33 U.S.C. 1344).
2. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal project.
3. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below.

(TRANSFEREE)

(DATE)

must be stabilized. The applicant shall follow all best management practices in accordance with the Mississippi Department of Environmental Quality; and,

7. The permittee shall contact this Department if the project location and/or design changes.

By copy of this letter, we are notifying the U.S. Army Corps of Engineers that your project is consistent with the Mississippi Coastal Program.

Issuance of this certification by DMR and acceptance by the applicant does not release the applicant from other legal requirements including but not limited to other applicable federal, state or local laws, ordinances, zoning codes or other regulations.

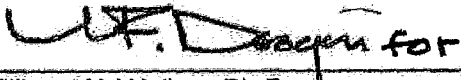
This certification conveys no title to land and water, does not constitute authority for reclamation of coastal wetlands and does not authorize invasion of private property or rights in property.

Please notify this Department upon completion of the permitted project so that compliance checks may be conducted by DMR staff.

Please acknowledge acceptance of this Waiver by signing the original and the copy and returning the copy to the Department of Marine Resources.

This Waiver shall become effective upon acceptance by the applicant and receipt of the executed copy by the Director.

STATE OF MISSISSIPPI DEPARTMENT OF MARINE RESOURCES



William W. Walker, Ph.D.
Executive Director

Accepted this the _____ day of _____, A.D., 20_____

By: _____
Applicant

WWW/wjh

cc: Mr. David S. Hobbie, USACE ✓
Mr. Robert Seyfarth, OPC

APPROVED

MISSISSIPPI



Department of Marine Resources

NOTICE OF COMPLIANCE

DMR- 060912

DATE: September 20, 2006

THIS NOTICE ACKNOWLEDGES THAT:

Wrigleyville Development, Inc.
608 34th St., Suite B
Gulfport, MS 39507

HAS, THROUGH APPLICATION TO THIS DEPARTMENT, DULY COMPLIED WITH THE MISSISSIPPI COASTAL WETLANDS PROTECTION LAW TO:

1. Approximately 10.25 acres of non-tidal wetlands shall be filled for the construction of a single-family residential development as indicated on the attached diagram;
2. The applicant shall purchase the appropriate number of mitigation credits to offset the 10.25-acre impact to non-tidal wetlands;
3. Prior to the commencement of construction, proof of purchase of mitigation credits from an approved mitigation bank within the service area (as determined by the Mitigation Bank Review Team) must be submitted to this office;
4. No construction debris or unauthorized fill material shall be allowed to enter coastal wetlands or waters;
5. Vegetated wetlands outside of the 10.25-acre fill area shall not be impacted;
6. Appropriate erosion and siltation controls must be used and maintained in effective operating conditions during construction, and all exposed soil and other fill material must be stabilized. The applicant shall follow all best management practices in accordance with the Mississippi Department of Environmental Quality; and,
7. The permittee shall contact this Department if the project location and/or design changes.

On 55th and 53rd in Gulfport, Harrison County, Mississippi.

No construction debris or unauthorized fill material shall be allowed to enter coastal wetlands or waters.

FURTHERMORE, THIS PROJECT AS PROPOSED HAS BEEN FOUND TO BE CONSISTENT WITH ALL GUIDELINES FOR CONDUCT OF REGULATED ACTIVITIES IN COASTAL WETLANDS AS SET FORTH IN THE MISSISSIPPI COASTAL PROGRAM.

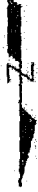
A handwritten signature in black ink, appearing to read "W.F. Dugan, Jr.", written over a horizontal line.

Executive Director

POST THIS NOTICE CONSPICUOUSLY AT SITE OF WORK

APPROVED

FIGURE 4 - SECTION 1


SCALE
1" = 125'

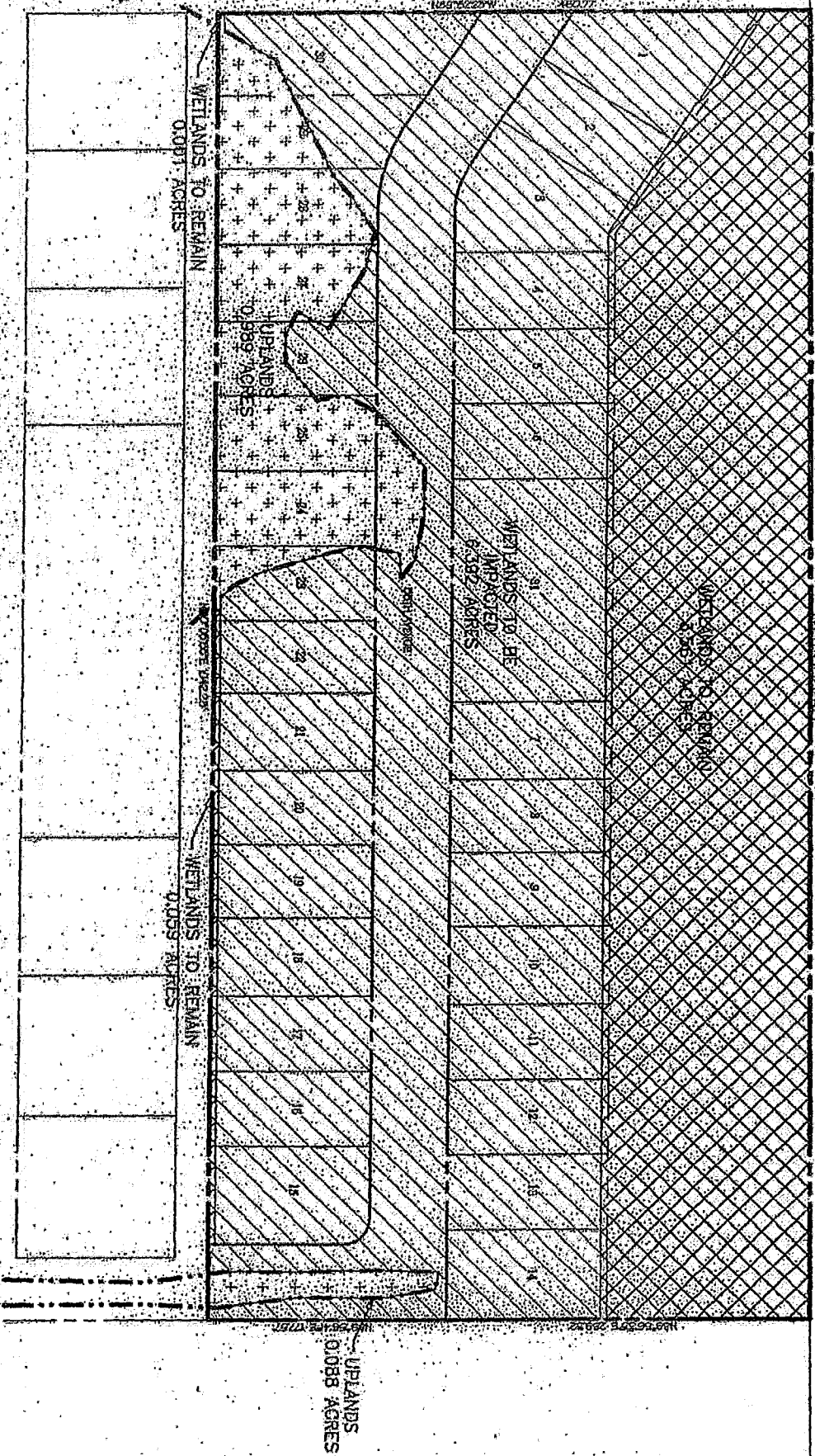


Fig. 5

HARRIS
608 34th STREET, STE B
CULBERT, MS 39507
PH (228) 575-8200

HEINRICH
WETLAND EXHIBIT for
WIGLEYVILLE SUBDIVISION, PHASE 1-2
HARRISON COUNTY, MISSISSIPPI

05-04-06
04-076

FIGURE 5 - SECTION 2



 SCALE:

 1" = 175'

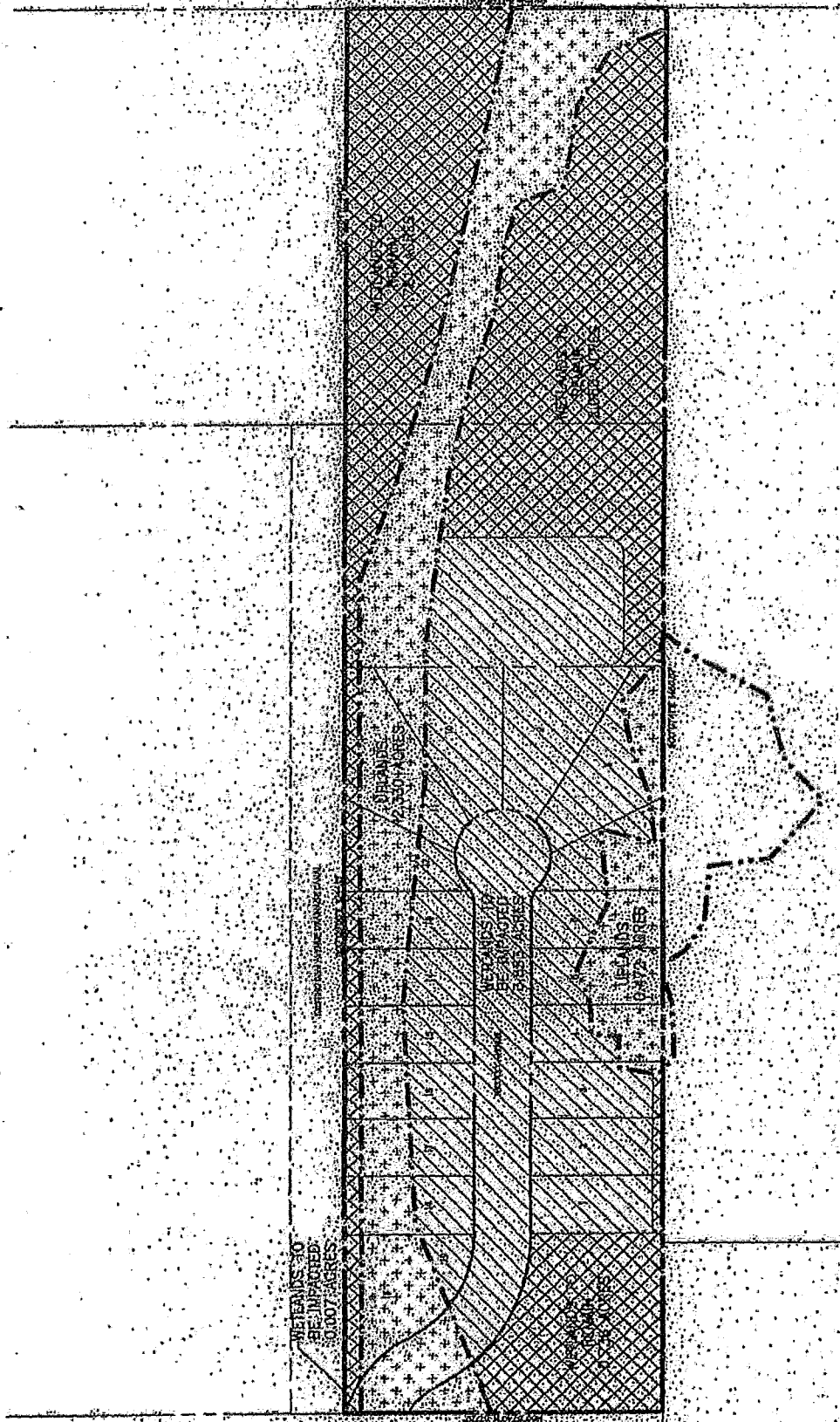


FIG. 6

APPROVED

H HARRIS 608 34th STREET, SUITE B
 Gulfport, MS 39507
H HEINRICH PH (328) 675-8300

WETLAND EXHIBIT for
 WRIGLEYVILLE SUBDIVISION, PHASE 1-2
 HARRISON COUNTY, MISSISSIPPI

05-04-06
 04-076

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND
REQUEST FOR APPEAL**

Applicant: WRIGLEYVILLE DEVELOPMENT, INC.		File Number: SAM-2006-1553-TMZ	Date: 1/8/2006
Attached is:		See Section below	
XX	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A	
	PROFFERED PERMIT (Standard Permit or Letter of permission)	B	
	PERMIT DENIAL	C	
	APPROVED JURISDICTIONAL DETERMINATION	D	
	PRELIMINARY JURISDICTIONAL DETERMINATION	E	

SECTION II - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://usace.army.mil/inet/functions/ew/cccyo/reg.or> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL OR OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:

MR. TAD ZEBRYK
CESAM-RD-C-M
U.S. ARMY CORPS OF ENGINEERS
POST OFFICE BOX 2288
MOBILE, ALABAMA 36601-2228
(251) 694-3779

If you only have questions regarding the appeal process you may also contact:

MR. MICHAEL F. BELL
CESAD-CM-OR
ROOM 9M15
60 FORSYTH STREET SOUTHWEST
ATLANTA, GEORGIA 30303-8801
(404) 562-5137

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent.

Date:

Telephone number:



REPLY TO
ATTENTION OF:

**DEPARTMENT OF THE ARMY
U.S. ARMY ENGINEER DISTRICT, MOBILE DISTRICT
CORPS OF ENGINEERS
P.O. BOX 2288
MOBILE, ALABAMA 36628-0001**

Coastal Branch
Regulatory Division

SUBJECT: Department of the Army Final Permit Number SAM-2006-01553-TMZ;
Wrigleyville Development, Inc.

Wrigleyville Development, Inc.
Attention: Mr. Jose F. Diaz
3425 Southwest 128th Avenue
Miami, Florida 33175

Dear Mr. Diaz:

**PLEASE READ THIS LETTER CAREFULLY AND COMPLY
WITH ITS PROVISIONS**

There is enclosed a Department of the Army permit authorizing you to perform the work specified therein in accordance with the plans shown on the drawings attached thereto. This permit is issued under provision of the Federal laws for the protection and preservation of the navigable waters of the United States. These laws provide that after the proposed work has been approved by issuance of a Department of the Army permit,

**IT SHALL NOT BE LAWFUL TO DEVIATE FROM SUCH PLANS EITHER
BEFORE OR AFTER COMPLETION OF THE WORK.**

unless modification of said plans has previously been submitted to and received the approval of the Department of the Army.

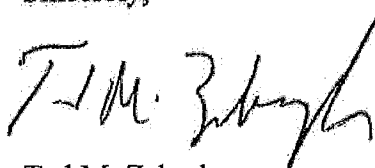
You should study and carefully adhere to all the terms and conditions of the permit. The District must be notified of the commencement and completion of the permitted work. The enclosed cards may be used for that purpose. Also enclosed is a "NOTICE OF AUTHORIZATION" which must be conspicuously displayed at the site during construction of the permitted work. Any telephone inquiries relating to this permit should be directed to the Regulatory Branch, telephone number (251) 694-3779.

If for any reason it becomes necessary to make a material change in location or plans for this work, revised plans should be submitted promptly to the District Engineer in order that the revised plans may receive the approval required by law before work is begun.

Compliance with this and other conditions of the permit is essential. Failure to submit the notices requested may result in its revocation.

For additional information about our Regulatory Program, please visit our web site at: www.sam.usace.army.mil/rd/reg and please take a moment to complete our customer satisfaction survey while you're there. Your responses are appreciated and will allow us to improve our services.

Sincerely,

A handwritten signature in black ink, appearing to read "T.M. Zebryk". The signature is written in a cursive style with a large, sweeping flourish at the end.

Tad M. Zebryk
Coastal Branch
Regulatory Division

Enclosures

ENVIRONMENTAL ASSESSMENT

Project: **Wrigleyville Subdivision, 55th and 53rd Avenue
Gulfport, Harrison County, MS**

Date: **June 9, 2006 (Updated November 13, 2006)**

1.0 Statement of Purpose / Need

1.01 The purpose of the project is to provide affordable housing within a single-family residential development on the applicant's property along the Mississippi Gulf Coast. The need for residential housing along the Mississippi Gulf Coast is critical and unprecedented.

1.02 The proposed fill of non-tidal forested bayhead wetland and cutover pine flatwood, and with the proposed fill of adjacent uplands will allow for the construction of the residential infrastructure and home sites.

2.0 Alternatives Analysis

2.01 Introduction. The proposed project is located adjacent to 55th and 53rd Avenue, Gulfport, Harrison County, Mississippi. The development site will provide affordable single-family residential opportunities eliminated due to the recent housing reduction by Hurricane Katrina. Affordable housing has been identified by local governments and State of Mississippi as a community asset in critical need.

2.02 Alternatives Analysis. The alternatives analysis ("AA") that was employed with this project involves looking at three (3) sites, as described herein, including the subject tract and two (2) other tracts of land. The AA also looked at the clustering of houses on whichever site was selected for development, in order to better utilize the subject site and to employ standards of "avoidance and minimization". The Developer's needs required and involved the development of approximately 60 to 80 single family residential lots, which required a total development area of approximately 18 to 20 acres, based on traditional lot density.

- 2.03 Study Area. The geographical area that was identified for this project was bounded by Highway 49 on the east, Canal Road on the west, 28th Street on the south and Interstate 10 on the north. The Developer looked at several tracts of land, and three (3) sites were identified as having a gross area that would meet the project's needs. These sites are described below.
- 2.04 Site "A" Study. Site "A", known as Tax Parcels 0710M-01-001.000 and 0710M-01-002.000, consisting of approximately 42 acres, is/was owned by Howard A. Edwards (See Exhibit "A"). This tract was found to have approximately 7 acres of uplands and 35 acres of jurisdictional wetlands, based on the preliminary wetlands determination.
- 2.05 Site "B" Study. Site "B", known as Tax Parcels 0710K-01-019.000 and 0710K-01-019.001, consisting of approximately 22 acres, is/was owned by Keith Edwards (See Exhibit "A"). This tract was found to have approximately 3 acres of uplands and approximately 19 acres of jurisdictional wetlands, based on the preliminary wetlands determination.
- 2.06 Site "C" Study. Site "C", known as Tax Parcels 0710K-01-002.000, 0710K-01-034.001 and 0710K-01-039.000, consisting of approximately 22 acres, is now owned by Wrigleyville Development Company, LLC (See Exhibit "A"). This tract was found to have approximately 8 acres of uplands and approximately 14 acres of jurisdictional wetlands, based on the preliminary wetlands determination.
- 2.07 Analysis. The analysis of the above three (3) sites revealed that Site "C", the subject site, was the site that would involve the most minimal impact to jurisdictional wetlands. Site "A" provided the greatest amount of development potential, and was the least costly site of the three sites reviewed. However, the analysis revealed that Site "A" was in an area that was immediately downstream of the Naval Construction Battalion, i.e. the CB Base. Since the storage and eventual contamination of portions of the CB Base with Agent Orange and other products that occurred circa World War II, it was determined that this site could also be contaminated. No further investigation of this site was considered. Site "B" provided a lesser amount of gross land but did provide a sufficient amount of developable land.

However, the analysis revealed it to involve more impacts than Site "C". This site was also found to have some garbage, which could have environmental impacts associated with it.

- 2.08 On-Site Alternatives. Once Site "C" was considered to be the site (of the sites studied) that would involve the least amount of environmental impacts, an attempt was made through the City of Gulfport to request to develop 50-foot wide lots in cluster patterns in the "uplands" areas (in lieu of 60-foot wide lots that are required by Ordinance), in order to "avoid and minimize" jurisdictional wetlands. This request was made to the City of Gulfport Planning Commission, and was denied.
- 2.09 Conclusion. The applicant has minimized wetland impacts on the subject property to the greatest extent practicable while accommodating the need for affordable housing. The subject wetland is a forested bayhead wetland of medium quality, and the wet pine flat is of low quality. Because of the small size of the site and the extent of wetland on the property, wetland impacts cannot be further avoided. The property is bordered by existing residential development to the south. Drainage canals have been constructed adjacent to the properties. The applicant is minimizing impacts and developing responsibly by incorporating storm water detention ponds onsite, and by setting aside green space/perpetual wetland preserve on the remaining wetlands.
- 2.10 Storm Water Quality. The subject development has been engineered to meet or exceed Mississippi Department of Environmental Quality Water Quality Standards by utilizing subsurface drainage and surface swales that route 100% of the drainage runoff from the streets and development lots within the subject development through two (2) on-site storm water detention ponds. These ponds both have stone/gravel media filtration systems and perforated piping constructed in the bottoms of the ponds, through which the first one-half inch (1/2") of storm water runoff must run, thereby providing on-site treatment of the storm water, thereby replacing natural functions lost to impacted wetlands.

- 2.11 Storm Water Quantity. The subject development has been engineered to meet or exceed Local City of Gulfport Standards with require that all residential subdivision developments employ on-site storm water detention ponds, designed for the 10-year and the 25-year storm. The design must show that the post-development runoff for the design storms is equal to or less than that pre-development runoff. This standard assures the City of Gulfport and all other State and Federal Agencies that the subject development will not cause any adverse impacts to the receiving stream, which in this case, is Turkey Creek.
- 2.12 Flood Zones. With respect to FEMA flood zones, a portion of the subject development is within a 100-year flood zone. There is also a small portion of the subject property that is located with the regulatory floodway that is immediately adjacent to Turkey Creek. However, this portion located in the regulatory floodway is being avoided and platted within the green area/perpetual wetland preserve. The streets and lots that are being developed in the “A” Zone have been designed so that all streets and lots are elevated above the 100-year floodplain.
- 2.13 No Construction. The no action alternative is defined as no new construction on the site. A no action alternative would require the applicant to sustain a loss of investment capital and reasonable economic use of the applicant’s property. The City of Gulfport and Harrison County would not gain highly needed affordable single-family housing. The no-action alternative will not meet the stated purpose of the project.
- 2.14 Other Undeveloped property. There are other properties in the immediate area could accommodate this type of development. However, based on the study that was undertaken, it is very likely that these “other properties” would present many similar if not greater environmental effects. If the applicant purchased other property, it is likely that the subject property would still be subjected to development pressure by others.

2.15 Existing Site, Partial development. The project site having only a small amount of upland and is mostly forested bayhead and cutover wet pine flat requires that some of the wetland be impacted. The project was designed to avoid as much wetland as possible and still retain an economically feasible project. Wetland will be avoided on the project site and the avoided areas will remain outside of developed lots. The highest quality area of forested bayhead on the west portion of the site at 55th will be avoided. This is the alternative best suited to this project.

2.16 Full Development. Total utilization of the entire site would allow for maximum utilization of the property. The complete development of the property would allow for the desired number of housing units, utilizing local density standards, providing a higher degree of financial return to the Developer. Total utilization of the entire site would not provide compromise between the need for housing and wetland preservation. For this project total development, although preferred by the Developer, is not necessary.

3.0 Affected Environment

3.01 Site Analysis. The property is currently vacant and is in a residential zone. The property is adjacent to 55th and 53rd Avenues and is adjacent to residential development. The wetland area proposed for impact is a cutover wet pine flat and forested bayhead. No coastal wetlands are on or near the property. A drainage canal was excavated along the west side of the site adjacent to 53rd Ave. and spoils were sidecast that now comprise the unimproved access road. Hydrology is influenced by rainfall. The total acreage of the site is approximately 22.27 acres, of which, 18.39 acres is wetland. The applicant proposes to impact 6.39 acres of wet pine/hardwood flat adjacent to a small forested bayhead drain and 3.85 acres of cutover wet pine flat.

3.02 Water Quality. Stormwater from the undeveloped site currently flows into the surrounding ditches and wetlands. Storm water control and treatment features are designed within the project and these plans have been submitted to Mississippi Department of Environmental Quality.

3.03 Wetland Resources. The wetlands proposed for impact on the site can be assigned a low and medium quality based on the habitat type and disturbance levels. Generally, natural wetlands, free of disturbances, are given a high value. Medium quality wetlands show moderate signs of past disturbance or uncharacteristic vegetation. Low quality wetlands may have ditches present and impacts and alterations to vegetation are apparent. The wetlands are deemed to be of low and medium quality due to the past disturbances and compartmentalization by the surrounding development, impacts to hydrology by excavation of a drainage canal, ditching, suppressed burning, recruitment of non-preferred and exotic species, and cut over pine harvest.

3.04 Cultural Resources. Cultural resources were assessed during the study of the subject site. This is to confirm that no known cultural resources were found to exist on the subject site.

3.05 Threatened and Endangered Species. Threatened and Endangered Species were assessed during the study of the subject site. This is to confirm that no threatened or endangered species were found or observed on the subject site. Moreover, the subject site is not suitable habitat for any threatened or endangered species.

3.06 Submerged Aquatic Vegetation. NA

3.07 Shellfish Resources. NA

4.0 Environmental Consequences

4.01 Wetland Impacts and Mitigation. Approximately 10.25 acres of forested bayhead drain and wet pine flat will be impacted, and approximately 8.14 acre of wetland will be avoided. Appropriate compensatory mitigation will be provided through a mitigation bank commensurate with 8.25 acres of low quality wetland and 2.0 acres of medium quality wetland.

4.02 Dredge or Excavation Impacts. NA

- 4.03 Construction of Structures. New city streets and residential utilities will be constructed to service the residential sites. Each lot will be prepared for residential construction and housing will be built upon the sites.
- 4.04 Water Quality and Stormwater Plan. Best management practices to control sedimentation will be employed to insure MDEQ requirements are met. All storm water plans will be submitted to MDEQ for review and approval. Sanitary sewer facilities currently serve the site.
- 4.05 Cultural Resources. No known cultural resources are located on the project site. If any cultural resources are discovered during construction, Mississippi Department of Archives and History will be contacted. See also 3.04
- 4.06 Threatened and Endangered Species. No listed species are expected to be affected. See also 3.05.
- 5.0 Coastal Use Impacts**
- 5.01 Coastal Wetlands Use Plan. The site is not a coastal wetland and the Coastal Wetlands Use Plan (CWUP) does not apply.
- 5.02 Surrounding Uses. The project is compatible with the existing surrounding uses in the project area that are deemed to be residential. See 3.01 for a further discussion of surrounding activities.
- 5.03 Water Dependency. Since the wetlands are not navigable, water dependency is not relevant.
- 5.04 Navigation. No navigable waters are affected by the subject project.

6.0 Public Interest

6.01 Public Interest Considerations. Primarily, the proposed project will provide affordable single-family housing opportunities. The proposed project will also create construction related employment opportunities and expand the tax base. The project represents only a minimal impact to the public interest of wetlands protection in return for creating needed affordable housing in the Gulfport area. With mitigative actions, adverse cumulative impacts of similar projects are deemed to be minimal.

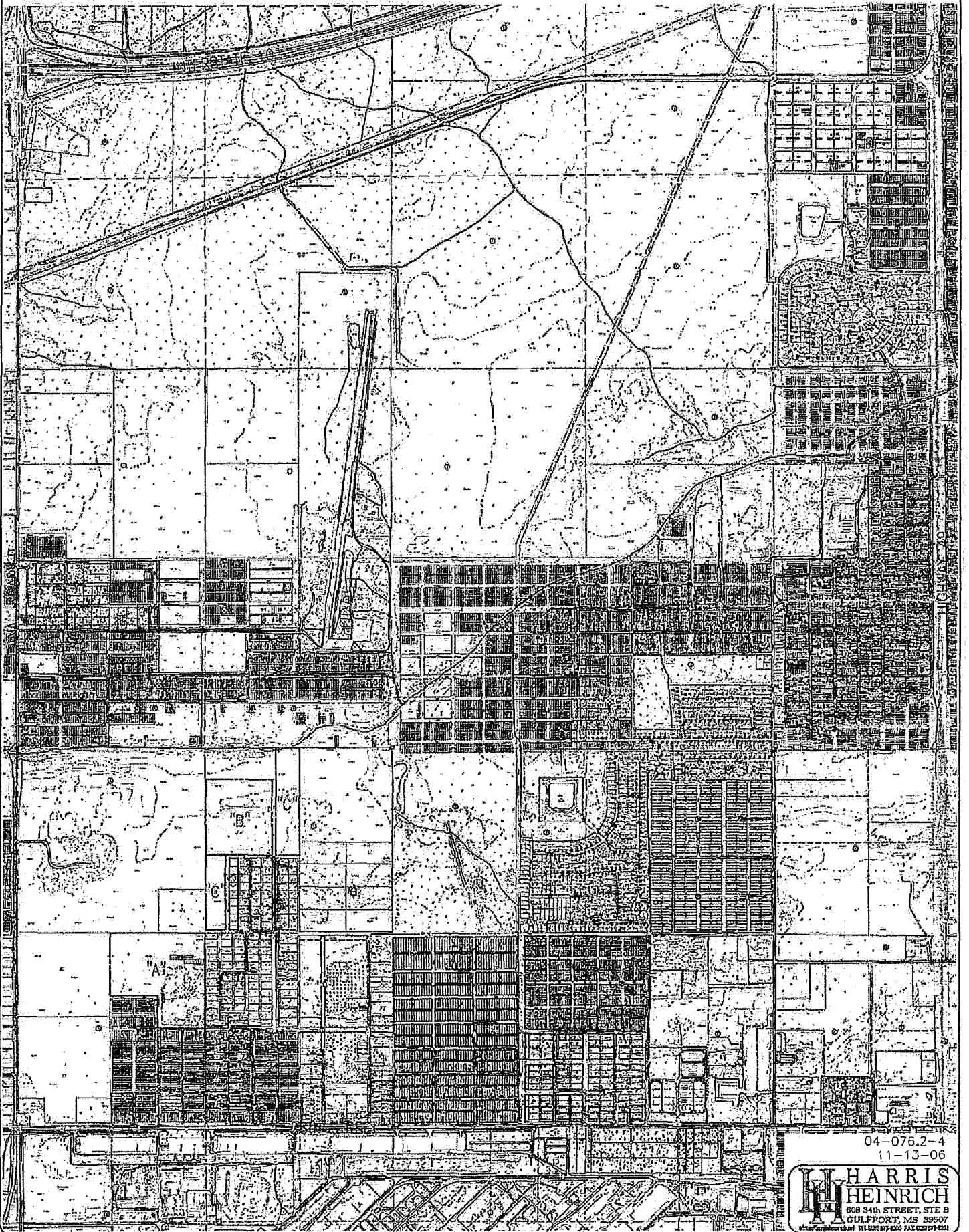
6.02 Public Interest Statement. The public interest will be served by creating affordable housing opportunities, employment opportunities, the expansion of the tax base and economy, and by providing revenue to the City of Gulfport.

End of Environmental Assessment

EXHIBIT "A"



SCALE
1" = 1800'



04-076.2-4
11-13-06

HARRIS HEINRICH
608 34th STREET, STE B
GULFPORT, MS 39507
Map No. 1113213-003 P11 03/21/21

December 17, 2004

Certified Mail
Return Receipt Requested

DBDS Development, LLC
9711 W. Oaklawn Road
Biloxi, MS 39532

RE: Case File Number 0412PC215 - Aaron Harris, agent for DBDS Development, LLC, property owner, requests General Plan Approval for a subdivision of 12 acres (metes and bounds) into a 19-lot single-family residential subdivision with two additional lots to preserve wetlands and one lot for detention pond (Wrigleyville Subdivision, Phase Two), zoned R-1.7.5. (Located on tax parcel number 0710K-01-002.000, north of 36th Street, south of Turkey Creek, east of 53rd Avenue and west of 39th Avenue.)

To Whom It May Concern:

At the Public Hearing on Thursday, December 16, 2004, the Gulfport City Planning Commission considered and decided the above referenced case.

This letter will officially notify you that the Planning Commission approved the request for the General Plan subject to the following conditions being met and approved by Engineering, Public Works, Building Code Services Code Services and Planning Division, prior to beginning construction:

- 1) Base course for roads to be limestone or approved structural equivalent;
- 2) Outfall for detention pond appears to be 3-1/2+/- below existing ground level. Show positive drainage to Turkey Creek;
- 3) Street elevation to be at or above base flood elevation;
- 4) 7 feet to bottom of all street, stop & related signs. This does not address sign ordinance under Planning & Zoning.
- 6) Verify existing 8 inch water main shown on submitted plan;
- 7) Storm drain pipe in right-of-way to be RCP only;
- 8) Provide FFE for each lot as mentioned in Gulfport Code of Ordinances;

- 9) Plat needs to show minimum building setback lines and lot widths must be 60' at the 25' setback.
- 10) Plat needs to show names of adjoining land owners of record;
- 11) A draft copy of protective covenants shall be submitted.
- 12) As shown on the attached wetlands map, a substantial portion of this development is within identified wetlands. A letter must be submitted showing when and if these wetland areas have been mitigated. Also, this information should be shown in map form so it can be determined if all lots have buildable areas as they relate to the zoning district and comply with related criteria.

Only the construction necessary to ensure the proper installation and operability of Fire Hydrants can occur, before further development/construction on site can begin.

Project development is subject to compliance with all applicable codes and regulations during construction including structures;

Any person may appeal this decision to the Gulfport City Council within fifteen (15) calendar days of the public hearing. The filing fee for an appeal is based on the actual cost of the required official transcript and any related miscellaneous charges. Any appeal shall be in writing and submitted to the Department of Urban Development-Planning Division stating what decision is being appealed and why you are aggrieved.

If you have any questions or comments, please contact this office at 868-5710.

Sincerely,

URBAN DEVELOPMENT PLANNING DIVISION

Paula D. Doyle
Planner II

PDD/mdn

cc: Aaron Harris
Building Code Services

**WRIGLEYVILLE SUBDIVISION, PHASE TWO
DETENTION POND AND EXFILTRATION PIPE SIZING CALCULATIONS**

AREA REQUIRED TO BE STORED

Storage depth req'd. (inches)	13	Pond area provided (sf)	19503
Area to be stored (acres)	11.18	Pond volume provided (cf)	21128

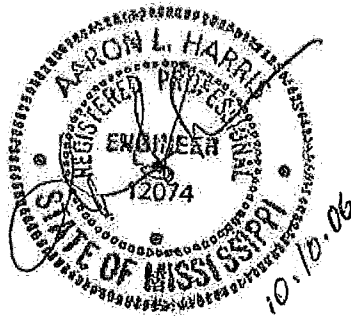
20291.7 CF (Req'd. storage volume)

ALLOWABLE CFS

Allowable release rate for 24hr period	0.23 CFS
Allowable release rate for 72hr period	0.08 CFS

ACTUAL CFS

constant	1.49	Proposed pipe size	0.5
n	0.012		
A	0.20		
Wp	0.13 divide by		
Rh	1.57 times		
So	0.001 assumed		
Q=	0.19 cfs	USE 6" PVC	



**WRIGLEYVILLE SUBDIVISION, PHASE ONE, UNITS ONE & TWO
DETENTION POND AND EXFILTRATION PIPE SIZING CALCULATIONS**

AREA REQUIRED TO BE STORED

Storage depth req'd. (inches)	22	Pond area provided (sf)	11454
Area to be stored (acres)	11.09	Pond volume provided (cf)	20999
20128.35 CF (Req'd. storage volume)			

ALLOWABLE CFS

Allowable release rate for 24hr period	0.23 CFS
Allowable release rate for 72hr period	0.08 CFS

ACTUAL CFS

constant	1.49	Proposed pipe size	0.5
n	0.012		
A	0.20		
Wp	0.13 divide by		
Rh	1.57 times		
So	0.001 assumed		
Q=	0.19 cfs	USE 6" PVC	



October 4, 2004

Certified Mail
Return Receipt Requested

DBDS Development, LLC
9711 W Oaklawn Road
Biloxi, Ms 39532

RE: Case File Number 0409PC168 Aaron Harris, agent for DBDS Development, LLC, property owner, requests General Plan Approval for a subdivision of 8.3 +/- acres (metes and bounds) into a 17-lot single-family residential subdivision (Wrigleyville Subdivision), zoned R-2. (Located on tax parcel number 0710K-01-039.000, north of 33rd Avenue, south of Interstate 10, west of 53rd Avenue, east of Canal Road.)

To Whom It May Concern:

At the Public Hearing on Thursday, September 30, 2004, the Gulfport City Planning Commission considered and decided the above referenced case.

This letter will officially notify you that the Planning Commission approved the request for the General Plan with the following conditions being met prior to any type of construction:

- 1) Provide double water service detail for each lot
- 2) Replace HDPE pipe along 55th Avenue with RCP in right-of-way.
- 3) Need explanation of outfall structure, may consider WEIR type structure instead. Throttle pipe and exit pipe are same size
- 4) Stop Sign and other signs is 7 feet to bottom of sign Sheet CD1.
- 5) Indicate location of hydrants and must be installed and operable prior to construction
- 6) All removal of brush and trees shall be removed from site or buried. No burning in City of Gulfport.
- 7) Subject to compliance with all codes and regulations during construction including structures.
- 8) Plat needs to show setbacks
- 9) Need to address adjoining land information on plat
- 10) Statement that there are no restrictive covenants or other instruments which would prohibit the subdivision of subject properties.
- 11) Proposed wetland preserve and Detention Pond identified as A and B.

Any person may appeal this decision to the Gulfport City Council within fifteen (15) calendar days of the public hearing. The filing fee for an appeal is based on the actual cost of the required official transcript and any related miscellaneous charges. Any appeal shall be in writing and submitted to the Department of Urban Development-Planning Division stating what decision is being appealed and why you are aggrieved.

If you have any questions or comments, please contact this office at 868-5710.

Sincerely,

URBAN DEVELOPMENT PLANNING DIVISION

Paula D. Doyle
Planner II

PDD/mdn

cc: Building Code Services
Aaron Harris

**Wrigleyville Subdivision, Phase One, Units One & Two
Wrigleyville Subdivision, Phase Two
Gulfport, Mississippi**

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

Prepared for

Wrigleyville Development Co.
9711 Oaklawn Road
Biloxi, MS 39532
(228) 326-2513

By:

Harris & Heinrich, LLC
608 34th Street, Suite B
Gulfport, Mississippi 39501
PH (228) 575-8200
FAX (228) 575-8201

Project No. 04-076



STORMWATER POLLUTION PREVENTION PLAN

Table of Contents

Project Narrative	3
Project Description	3
Location	3
Access	4
Planned Work	4
Soils	4
Construction Sequence	4
Site Preparation	4
Construction Access	5
Sediment Control Measures	5
Vegetation	6
Maintenance Plan	6
Short Term	6
Long Term	7
Site Location Map	8
USGS 7.5 Minute Quadrangle Map	9
Sediment Control Plan and Details	10
Appendix A – Drainage Calculations	11

Project Narrative

Project Description

The proposed project consists of the construction of new street extensions and single family “detached dwelling” subdivision development, located on 55th Avenue, 53rd Avenue, and 36th Street in Gulfport, Harrison County, Mississippi (see attached drawings). The proposed construction and development project, including all phases, consists of approximately 22.27 acres. Construction of the proposed residential development project will require site preparation (clearing and grubbing), earthwork (cut and fill), new fill material, subsurface drainage improvements, installation of impervious pavements and permanent erosion control. Post-development surface runoff calculations have been prepared and are included in Appendix A.

Storm water detention will be implemented for each phase of the proposed development, as it is required by the local governmental authority, City of Gulfport. Short-term and long-term erosion will be controlled on-site, as described herein.

Location

The proposed project will be located at the northern end of 55th Avenue, the western end of 36th Street, and at the northern end of 53rd Avenue, in Gulfport, Mississippi, as shown in the attached exhibits.

The subject development will occur in three (3) phases, as follows.

- 1) Phase One (1), Unit One (1) will involve the extension of the existing 55th Avenue and looping into the west end of 36th Street, approximately 1,200 feet of new street and construction of 16 lots (including detention pond) along the west side of newly extended 55th Avenue;
- 2) Phase One (1), Unit Two (2) will involve the construction and re-platting of the existing 16 lots (previously platted as Lots 1-9 of New Pinehurst Subdivision, Unit 2) along on the east side of the newly extended 55th Avenue up to the newly extended 36th Street.
- 3) Phase Two (2) will involve the extension of 53rd Avenue, approximately 600 feet of new street, and the construction of 20 lots (including detention pond).

Construction of all site and related improvements will be completed in the above phases of development. An individual 404 wetlands permit from the U.S. Army Corps of Engineers is required for this project, as some existing wetlands are being filled for this project.

Access

All access to the subject development will be off of 55th Avenue and 53rd Avenue, as depicted in the drawings. These points of access will serve as the only access into the development.

Planned Work

As previously mentioned, the proposed project will be constructed in phases, as described herein. The total development, including neutral ground and jurisdictional wetlands to remain, is approximately 22.27 acres. The total area to be impacted is approximately 17.85 acres.

Soils

The project area soils have been identified as Poarch fine sandy loams (PoB), which are well-drained soils on ridges. The slopes generally range from 2 to 5 percent. Potential for normal off-site loss is moderate. Proposed earthwork will involve cut and fill over most of the subject property with borrow fill to be placed in certain areas. The potential for erosion and sedimentation is most likely to occur where borrow fills are placed on the site. Therefore, sediment control along the property lines to be implemented to prevent silting or "siltation" into adjacent low areas will be critical during construction.

Construction Sequence

The following construction sequence is planned to minimize the amount of sediment movement on site and sediment loss from the project site. Property line and construction boundary silt fence, silt-protection of the drainage system and double silt fencing along existing sensitive areas such as wetlands, creeks, etc. will be placed during construction to maintain project erosion control. Installation and maintenance of these measures are considered critical for controlling sediment movement at this project site.

Site Preparation

Prior to actual clearing and grubbing and stripping of the street and building pad areas or any type of construction, a silt fence shall be placed along the perimeter of the development, in particular the down-slope edges of the area being developed. A storm drain inlet protection system shall be installed around all inlets and other drainage structures to prevent siltation into the underground storm drainage system.

Construction Access

Access to the development shall consist of the two entrances, one off of 55th Avenue and the second off of 53rd Avenue. These ingress/egress points shall be stabilized with crushed limestone, to a minimum thickness of eight inches (8"). The limestone shall be graded smooth, and maintained in that condition, for the duration of construction. The area of each limestone surface shall be a minimum of 25 feet wide by 75 feet long. Accumulated mud and debris shall be regularly removed from the entrance areas to prevent tracking onto public roads.

Sediment Control Measures

This project will be constructed utilizing associated sediment control measures. Silt fences, hay bales, storm drain systems, and energy dissipation devices will be utilized and shall be installed in the following sequence to minimize soil movement and loss off of the site:

- 1) Silt Fence: Silt fence shall be installed according to the manufacturer's recommendations.
 - a. Install a single line of silt fence barrier around the project perimeter property lines and install a double line of silt fence along the down slope sides of all environmentally sensitive areas such as delineated wetlands, existing creeks and waterways, etc. prior to the clearing and grubbing and earth moving operation;
 - b. Silt fence shall also be placed around all four (4) sides of each drainage structure that is constructed, to ensure no siltation into the underground storm drainage system;
 - c. Silt fence shall be removed no sooner than 30 days after all streets are paved and all right-of-ways are established with a good stand of grass vegetation.
- 2) Install the storm drains to the grades, elevations and locations shown on the plans. Care shall be taken to minimize movement of sediment into the storm drains until the streets and building sites receive their final surfaces, and site is established with turf, landscaping and other permanent erosion control in accordance with the above. Any drainage culverts under

access driveways shall be particularly protected against siltation, utilizing silt fence as described above.

Vegetation

Vegetation (turf) and/or landscaping shall be immediately applied to all areas that have been disturbed during the site preparation, earthwork and building construction but not paved. Once areas have been brought to plan grade elevation and contoured per the plans, the ground shall be prepared, fertilized, mulched, seeded and watered as necessary for vegetation establishment. Any washing, rutting, erosion, etc., that occurs during the project shall be corrected until permanent erosion control is established.

Maintenance Plan

Both the short-term (during construction) and long-term (after construction) maintenance needs are addressed herein.

Short Term

All erosion and sediment control practices will be checked for stability and operation following every runoff producing rainfall, but not less than once per week. Any needed repairs and/or replacement shall be made immediately to maintain the performance as designed.

Sediment shall be removed from the upstream side of the silt fence when it accumulates to approximately six inches (6") deep at the fence. The silt fence shall then be replaced as necessary to maintain a continuous barrier.

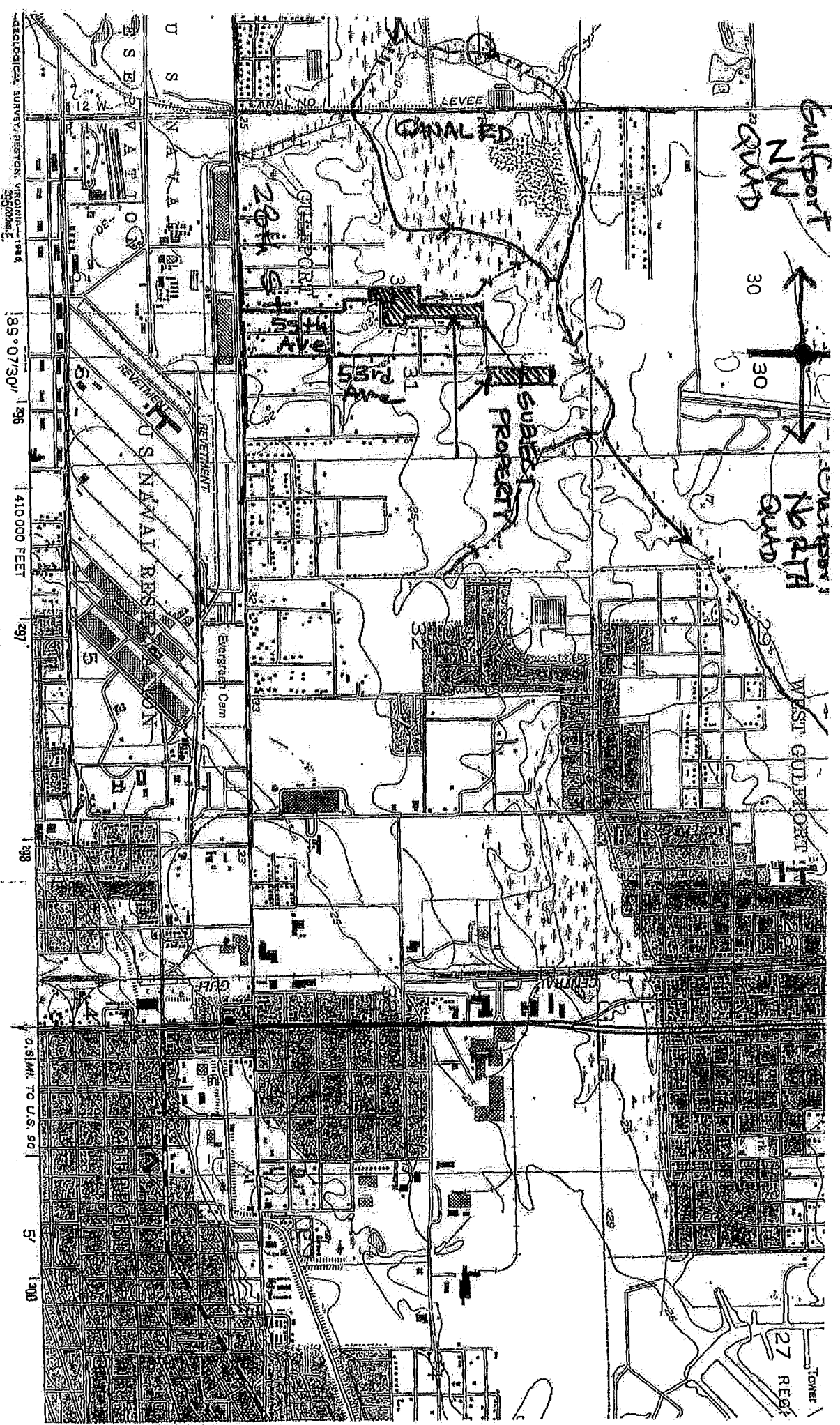
All vegetated areas will be fertilized, and re-vegetated as necessary to maintain a dense plant establishment. During construction of the streets, the contractor shall be required to properly dispose of all trash that is generated from the work. During construction of each building site, contractor is required to install a 50 CY trash receptacle for the deposition of rubbish and debris incurred during the house construction process, that will be emptied on an as needed basis.

In addition, the contractor shall be responsible for monitoring the silt fence perimeter for any rubbish and debris resulting from construction and depositing said items in the trash receptacles.

Long Term

All vegetated areas will be maintained in an adequate condition to provide proper ground cover and to reduce to potential for erosion and soil loss, until a permanent "mow-able" stand of grass is established. Where vegetation is lost, the area shall be fertilized, re-mulched and re-seeded as necessary to fulfill the contract conditions, and until accepted by the Owner.

As needed, new employees and/or parties responsible for permanent erosion control will be informed about the requirements of the Maintenance Plan.



Gulfport
NW
QUAD

30 ←
↑
30

Gulfport
North
QUAD

WEST GULFPORT

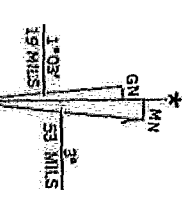
TOWER
27
REG

ROAD CLASSIFICATION

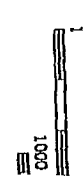
- Light-duty road, hard or improved surface
- Unimproved road
- U. S. Route
- State Route

Mapped by U. S. Coast and Geodetic Survey
 Edited and published by the Geological Survey
 Control by USC&GS and USCE
 Culture and drainage in part compiled from aerial photographs taken 1950. Topography by Planetable surveys 1951
 Field check 1954
 Hydrography compiled from USC&GS chart 876-877 (1954)

Polynomic projection. 1927 North American datum
 10,000-foot grid based on Mississippi coordinate system, east zone
 1000-meter Universal Transverse Mercator grid ticks,
 zone 16, shown in blue



UTM GRID AND 1985 MAGNETIC NORTH
 DECLINATION AT CENTER OF SHEET

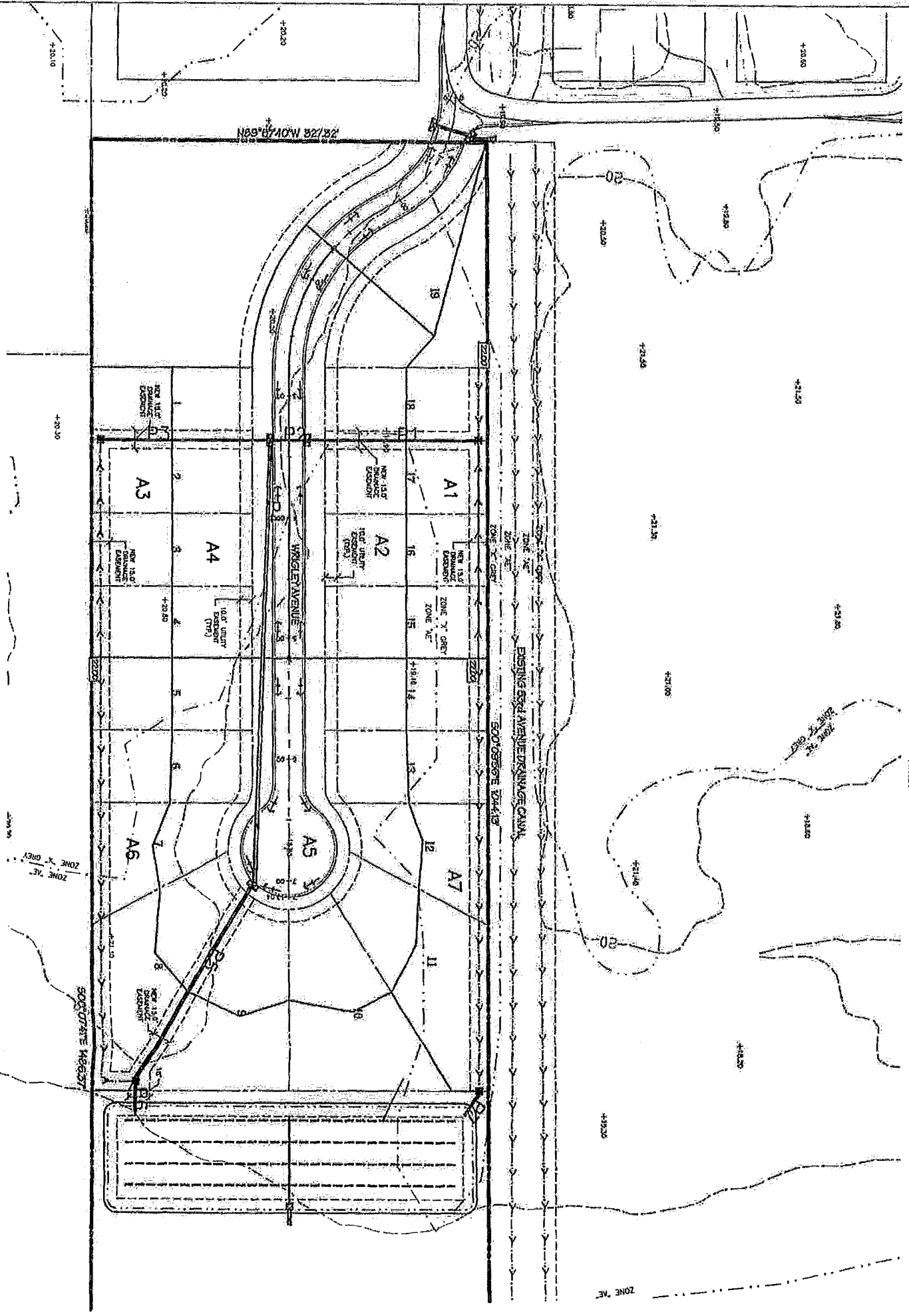


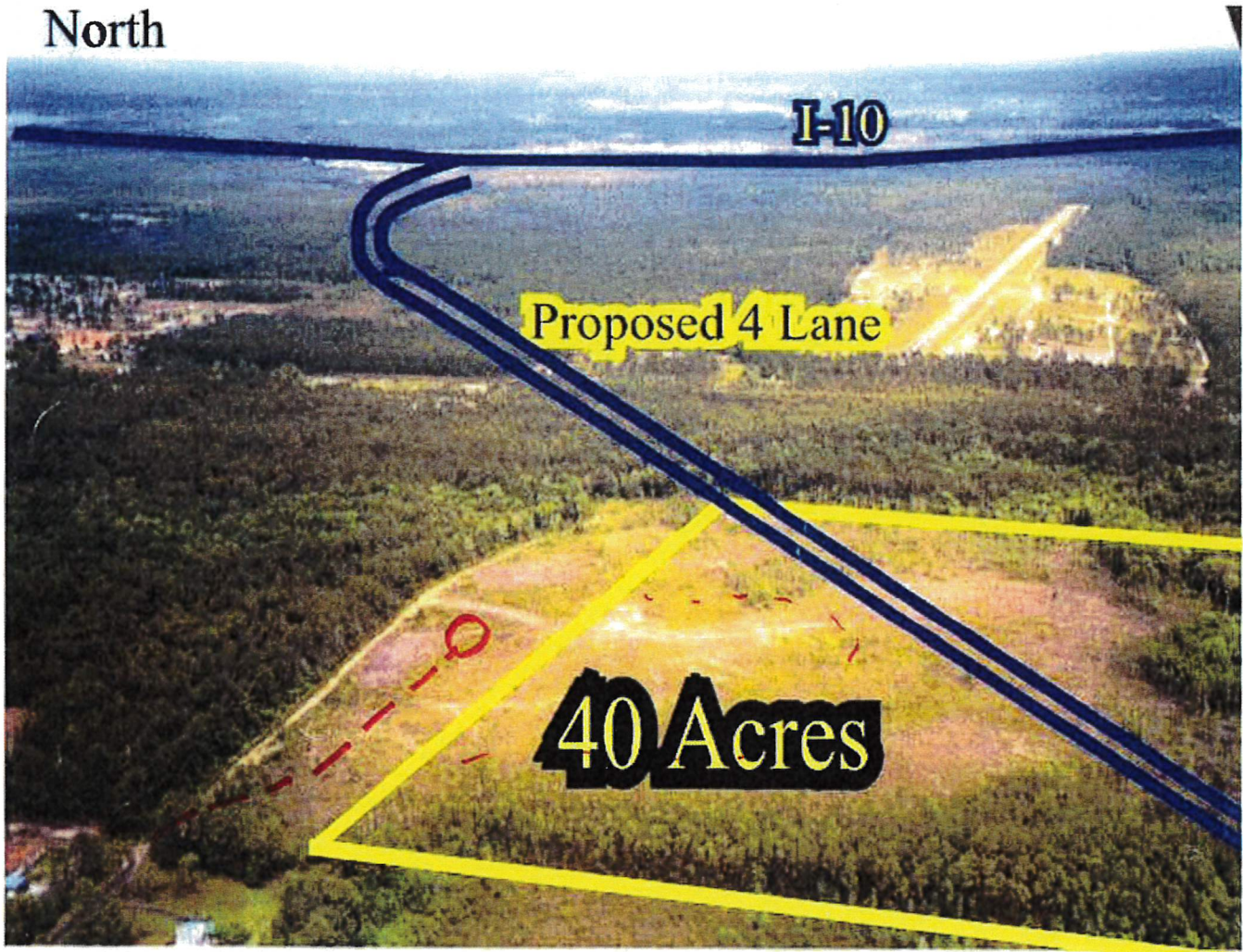
Sediment Control Plan and Details

(see attached Sediment Control Plan and Details)

DETENTION POND DETAIL

N.T.S.







Michael Watson

SECRETARY OF STATE

This is not an official certificate of good standing.

Name History

Name	Name Type
Wrigleyville Development Co., Inc.	Legal

Business Information

Business Type:	Profit Corporation
Business ID:	853985
Status:	Good Standing
Effective Date:	04/09/2004
State of Incorporation:	Mississippi
Principal Office Address:	3515 S. River Ridge Road Biloxi, MS 39532

Registered Agent

Name
Jones, Donald R.
1605 - 23rd Avenue
Gulfport, MS 39501

Officers & Directors

Name	Title
Allen Terry Mobbs 9711 West Oaklawn Road Biloxi, MS 39532	Incorporator
Jose F Diaz Sr 3425 S W 128th Ave Miami, FL 33175	Director, President
Charles H. Reddien PO Box 6133 Diamondhead, MS 39525	Director, Treasurer

STATE OF MISSISSIPPI

COUNTY OF HARRISON



1st Judicial District
Instrument Number 2004 4590 D-J1
Filed/Recorded 6 7 2004 8 13 A
Total Fees 8.00
3 Pages Recorded



WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged, the undersigned, DBDS DEVELOPMENT, L.L.C., 9711 West Oaklawn Road, Biloxi, Mississippi 39532 (228) 326-2351, does hereby sell, convey and warrant unto WRIGLEYVILLE DEVELOPMENT CO., INC., 9711 West Oaklawn Road, Biloxi, Mississippi 39532 (228) 326-2351, the following described land and property being located in the First Judicial District of Harrison County, Mississippi, being more particularly described as follows, to-wit:

PARCEL 1: Parcel of land located in the Southwest One-Fourth of the Northeast One-Fourth of Section 31, Township 7 South, Range 11 West, First Judicial District of Harrison County, Mississippi and being more particularly described as Beginning at the Southwest corner of the Northeast One-Fourth of said Section 31, and thence North 1065 feet; thence run East 285 feet; thence run South 1065 feet; thence run West 285 feet to the Point of Beginning.

PARCEL 2: Parcel of land located in the West One-Half of the Northeast One-Fourth of Section 31, Township 7 South, Range 11 West, First Judicial District of Harrison County, Mississippi, and being more particularly described as Commencing at the Southwest corner of the Southeast One-Fourth of the Northeast One-Fourth of said Section 31 and run thence North 1065 feet to the Point of Beginning; thence from said Point of Beginning; thence from said Point of Beginning, run thence North 1575 feet to the Northwest corner of the Northeast One-Fourth of the Northeast One-Fourth of said Section 31; thence run West 330 feet; thence run South 1575 feet; thence run East 330 feet to the Point of Beginning.

PARCEL 3: Lots One (1), Two (2), Eight (8), Eleven (11), Fourteen (14), Fifteen (15), Seventeen (17), Twenty (20), Twenty-One (21), Twenty-Five (25), Twenty-Six (26), Twenty-Eight (28), Forty-Four (44), Fifty-One (51), Fifty-Seven (57), Sixty-Two (62) and Sixty-Eight (68), NEW PINEHURST SUBDIVISION, Unit One (1), a subdivision according to the official map or plat thereof on file and of record in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi, in Plat Book 18 at Page 32 thereof, reference to which is hereby made in aid of and as a part of this description.

PARCEL 4: Lots One (1), Two (2), Three (3), Four (4), Five (5), Six (6), Seven (7), Eight (8), and Nine (9), NEW PINEHURST SUBDIVISION, Unit Two (2), a subdivision according to the official map or plat thereof on file and of record in

the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi, in Plat Book 18 at Page 35 thereof, reference to which is hereby made in aid of and as a part of this description.

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, rights-of-way and easements applicable to subject property, and subject to any and all prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners.

TAXES for the current year have been pro-rated as of this date and are hereby assumed by the Grantee herein.

IN WITNESS WHEREOF, DBDS DEVELOPMENT, L.L.C. has caused this conveyance to be executed by its duly authorized officer, having first been duly authorized to do so, on this the 22 day of April, 2004.

DBDS DEVELOPMENT, L.L.C.

BY: Allen T. Mobbs
ALLEN T. MOBBS, Member

STATE OF MISSISSIPPI

COUNTY OF HARRISON

THIS DAY PERSONALLY CAME AND APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, ALLEN T. MOBBS, who acknowledge that he is a Member of DBDS DEVELOPMENT, L.L.C. , and as its act and deed, he signed, sealed and delivered the above and foregoing instrument of writing on the day and in the year therein mentioned, he having been first duly authorized to do so.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 22 day of April, 2004.

Shelby C. Craig
NOTARY PUBLIC

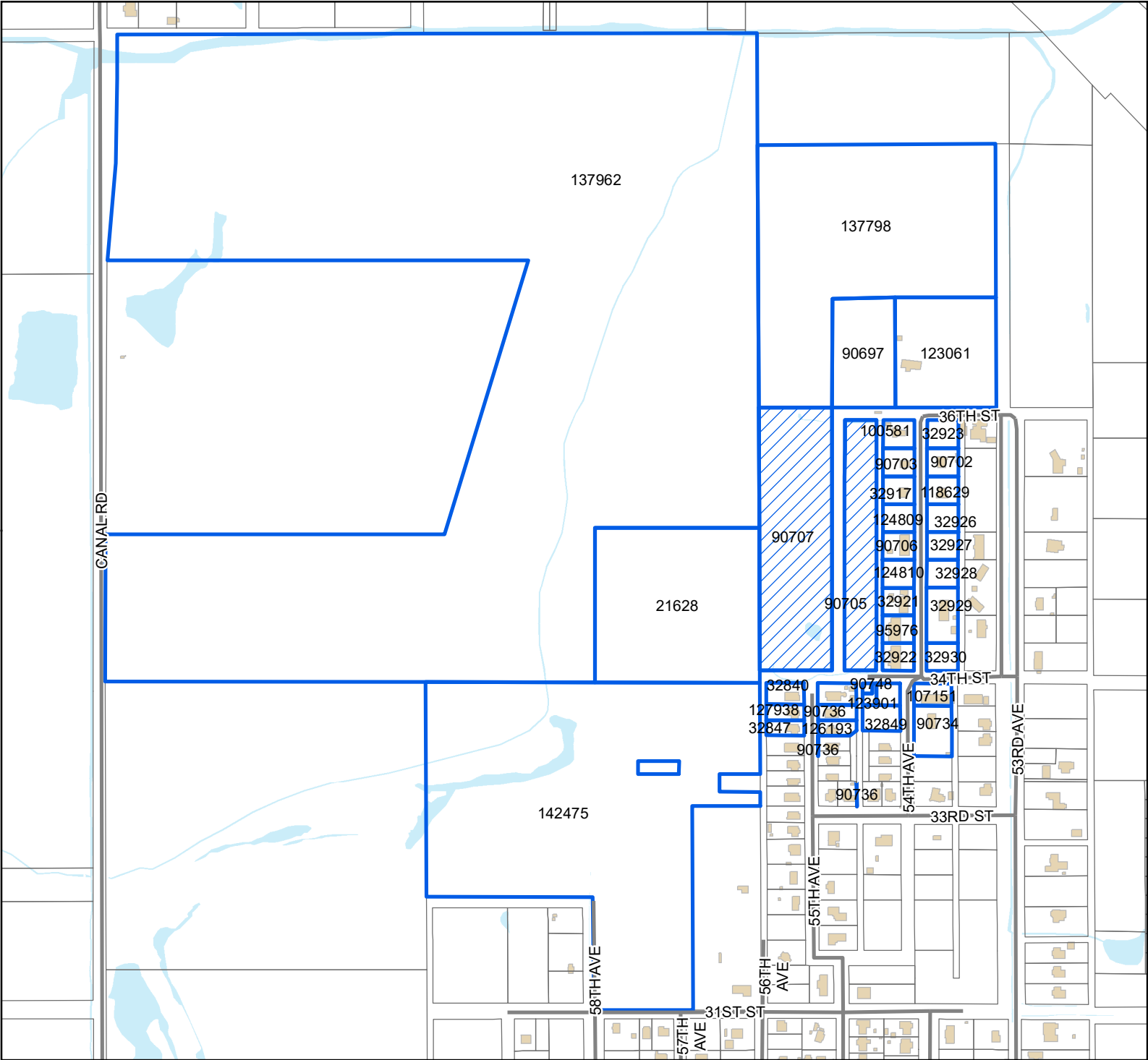
My Commission Expires:

Prepared by:
Gulf Title Company, Inc.
P. O. Box 280
Gulfport, MS 39502
(228) 865-0011
File #





Index:
Parcel 1 - SW 1/4 of NE 1/4 of Sec 31-7-11
Parcel 2 - W 1/2 of the NE 1/4 of Sec 31-7-11

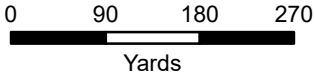
Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			WRIGLEYVILLE DEVELOPMENT CO. INC				
		0710K-01-039.000	(OWNER)	3425 SW 128TH AVE	MIAMI	FL	33175
		0710K-01-034.001	KIM SAVANT (AGENT)	4 INDEPENDENCE DRIVE	GULFPORT	MS	39507
			Adjacent Property Owners (2512PC141)				
	127938	0710N-02-030.001	WATSON GERALD E JR	1811 FLINT CREEK COURT	SAN JOSE	CA	95148
	142475	0710M-01-001.001	HOPE BETTY ARDENE ETAL	12227 PRESERVATION DR	GULFPORT	MS	39503
	90705	0710K-01-034.001	WRIGLEYVILLE DEVELOPMENT CO INC	3425 SOUTHWEST 128 AVE	MIAMI	FL	33175
	32840	0710N-02-029.000	WHITE LORRAINE	3325 55TH AVE	GULFPORT	MS	39501
	32841	0710N-02-028.000	MARSHALL MAURICE C & DESHAZIOR	3324 55TH AVE	GULFPORT	MS	39501
N	90748	0710N-02-017.001	GULFPORT CITY OF				0
	32928	0710K-01-030.000	CAMPBELL ALONZO	4777 SW 11TH ST, #106	GRESHAM	OR	97080
	107151	0710N-02-016.001	AYCOCK DAVID L & DONNA J	5309 34TH ST	GULFPORT	MS	39501
	100581	0710K-01-033.001	HAFNER LARRY GLENN &	REVA ANNE MCKITHERN	GULFPORT	MS	39501
	32926	0710K-01-031.000	COOK ROBERT F & MAI D	26860 RIVER ROAD	CLOVERDALE	CA	95425
	32923	0710K-01-032.001	STATE OF MISS 2018	P O BOX 136	JACKSON	MS	39205
	90702	0710K-01-032.000	FOXWORTH JAKE MALCOLM	3412 54TH AVE	GULFPORT	MS	39501
N	90707	0710K-01-039.000	WRIGLEYVILLE DEVELOPMENT CO INC	3425 SOUTHWEST 128AVE	MIAMI	FL	33175
	32849	0710N-02-018.000	THOMAS RICARDO S & VENITA M	12223 THREE RIVERS RD	GULFPORT	MS	39503
	32929	0710K-01-029.000	NORRIS GERALD L	3402 -54TH AVENUE	GULFPORT	MS	39507
	32921	0710K-01-036.000	KEMP WANDALETTE	3405 54TH ST	GULFPORT	MS	39501
	32917	0710K-01-034.000	TOLAR TERRY & EILERMANN JANET	2620 RUE PALAFOX	BILOXI	MS	39531
	90703	0710K-01-033.000	PICKART JILLIAN NICOLE	3415 54TH AVE	GULFPORT	MS	39501
N	21628	0710L-01-002.000	HOPE BETTY ARDENE ETAL	12227 PRESERVATION DR	GULFPORT	MS	39503
	95976	0710K-01-037.001	CLEARY CHRISTOPHER	18511 DEVIN CT	GULFPORT	MS	39503
	32922	0710K-01-037.000	INCE PHILLIP RYAN	3401 54TH AVE	GULFPORT	MS	39501
N	32930	0710K-01-028.000	AYCOCK DAVID L & DONNA J	5309 34TH ST	GULFPORT	MS	39501
	118629	0710K-01-032.002	SHIELDS KERI A	3410 54TH AVE	GULFPORT	MS	39501
N	32927	0710K-01-031.001	COOK ROBERT F & MAI D	26860 RIVER ROAD	CLOVERDALE	CA	95425
	90734	0710N-02-016.000	AYCOCK HELEN F	3310 54TH AVE	GULFPORT	MS	39501
	32847	0710N-02-030.000	KENNEDY JULIA M	3317 55TH AVE	GULFPORT	MS	39503
	90736	0710N-02-019.000	D D PROPERTIES 3 LLC	584 WESTFIELD DR	PEARL	MS	39208
	126193	0710N-02-019.001	SAUCIER SHANNON D	3316 55TH AVENUE	GULFPORT	MS	39501
N	32842	0710N-02-017.000	THOMAS RICARDO S & VENITA M	12223 THREE RIVERS RD	GULFPORT	MS	39503
	123901	0710N-02-017.002	GULFPORT CITY OF	P O BOX 662	GULFPORT	MS	39502
	124809	0710K-01-035.001	SWANIER NIKIA & IVAN	407 RUSSELL AVE	LONG BEACH	MS	39560
	123061	0710K-01-019.001	EDWARDS KEITH D	5320 36TH ST	GULFPORT	MS	39501

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
N	90706	0710K-01-035.000	SWANIER NIKIA & IVAN	407 RUSSELL AVE	LONG BEACH	MS	39560
N	124810	0710K-01-035.002	SWANIER NIKIA & IVAN	407 RUSSELL AVE	LONG BEACH	MS	39560
N	137798	0710K-01-019.002	MISS TRANSPORTATION COMM	RIGHT OF WAY DIVISION	JACKSON	MS	39215
N	137962	0710L-01-001.001	MISS TRANSPORTATION COMMISSION	C/O RIGHT OF WAY (TITLE SECTION)	JACKSON	MS	392151850
N	90697	0710K-01-019.000	EDWARDS KEITH D	5320 36TH ST	GULFPORT	MS	39501



Legend

-  Site
-  Street
-  Buildings
-  Water Features



1 inch = 550 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

McClatchy

The Beaufort Gazette
 The Belleville News-Democrat
 Bellingham Herald
 Centre Daily Times
 Sun Herald
 Idaho Statesman
 Bradenton Herald
 The Charlotte Observer
 The State
 Ledger-Enquirer

Durham | The Herald-Sun
 Fort Worth Star-Telegram
 The Fresno Bee
 The Island Packet
 The Kansas City Star
 Lexington Herald-Leader
 The Telegraph - Macon
 Merced Sun-Star
 Miami Herald
 El Nuevo Herald

The Modesto Bee
 The Sun News - Myrtle Beach
 Raleigh News & Observer
 Rock Hill | The Herald
 The Sacramento Bee
 San Luis Obispo Tribune
 Tacoma | The News Tribune
 Tri-City Herald
 The Wichita Eagle
 The Olympian

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Cols	Depth
51445	IPL0287853	Legal Ad - IPL0287853		1.0	79.0L

ATTENTION: GULFPORT URBAN DEVELOPMENT IP
 PO BOX 1780
 GULFPORT, MS 39502
 accountspayable@gulfport-ms.gov;sasmith@gulfport-ms.gov

STATE OF MISSISSIPPI
 COUNTY OF HARRISON
 Before me, the undersigned Notary personally appeared the under-
 signed, who, being by me first duly sworn, did depose and say that he/
 she is a clerk of The Sun Herald, a daily newspaper published in the
 city of Gulfport, in Harrison County, Mississippi and the publication of
 the notice, a copy of which is hereto attached, has been made in said
 paper in the issue(s) of:

1.0 insertion(s) published on:
 11/05/25 Print

[Print Tearsheet Link](#)

[Marketplace Link](#)

Mary Castro



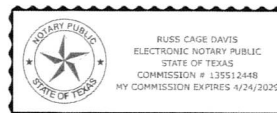
Mary Castro

Russ Cage Davis



Sworn to and subscribed before
 me on

Nov 5, 2025, 10:28 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNIX*

LEGAL NOTICE PUBLIC HEARING

In conformance with Section VIII of the Comprehensive Zoning Ordinance of the City of Gulfport, Mississippi, 1979 as amended, notice is hereby given advising that the Gulfport City Planning Commission will hold a public hearing in the City of Gulfport, Mississippi at 4:30 PM., Thursday, November 20, 2025 in the Council Chambers of the Gulfport City Hall located at 2309 15th Street to consider the following requests. A copy of the requests will be available for public review at the office of the Department of Urban Development, Planning Division, located on the first floor of the William H. Hardy Building, 1410 24th Avenue.

Special Exception 2511SE126.
 by agent Timmthy Wilks, seeking approval for a assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3

Planning Commission Approval 2511PC128. by owners Albert & Gwendolyn Dunlap, seeking approval for administrative office for a real estate management company as a home occupation, Tax Parcel 0711L-02-113.000, 1430 Lewis Avenue, Zoned R-1-7.5 (Single-Family), Ward 1

General Plan 2512PC141. by agent Kim Savant, seeking approval for a 30-lot subdivision with 3 out-parcels (Wrigleyville Subdivision), Tax Parcels 0710K-01-039.000, 0710K-01-034.001, 34th Street, Zoned R-2 (Single-family), Ward 1

Zoning Text Amendment 2511PC127. by agent Schwartz, Orgler, Jordan, & Williams, PLLC, Amendments to the Comprehensive Zoning Ordinance, to amend Section III, District Regulations (K) Chart of Permitted Uses, to allow Medical Clinics to be allowed in I-1 zoning districts with Planning Commission Approval.

Zoning Text Amendment 2512PC145. by the City of Gulfport, amendments to the Comprehensive Zoning Ordinance, as amended, to amend Section I, Definitions to define Intermodal Shipping Container and Shipping Container Park (residential); Section III, District Regulations (C)(10), to include residential Shipping Container Parks and to add such use to subsection (K) of the Chart of Permitted Uses by Planning Commission Approval in R-B, Residence-Business Districts only; and Section IV, Supplementary Regulations, to create subsection 11C to provide for Shipping Container Park (residential) requirements.

This the 4th day of November 2025
 Keith Williams, Chairman
 City of Gulfport Planning Commission
 IPL0287853
 Nov 5 2025



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, November 20, 2025

Planning Commission Recommendation



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, November 20, 2025

Zoning Text Amendment 2511PC127: Zoning Text Amendment 2511PC127, by agent Schwartz, Orgler, Jordan, & Williams, PLLC, Amendments to the Comprehensive Zoning Ordinance, to amend Section III, District Regulations (K) Chart of Permitted Uses, to allow Medical Clinics to be allowed in I-1 zoning districts with Planning Commission Approval.

Technical Report
ZONING TEXT AMENDMENT

GENERAL INFORMATION

Case File Number: 2511PC127

Hearing Date: November 20, 2025

Legal: Zoning Text Amendment 2511PC127, by agent Schwartz, Orgler, Jordan, & Williams, PLLC, Amendments to the Comprehensive Zoning Ordinance, to amend Section III, District Regulations (K) Chart of Permitted Uses, to allow Medical Clinics to be allowed in I-1 zoning districts with Planning Commission Approval.

TECHNICAL DETAILS

The applicant requests to amend the text to the zoning ordinance to allow for a Medical Clinic to be allowed within I-1 (Light Industry) zoning districts. Specifically, the applicant requests the Medical Clinic use to be allowed by Planning Commission Approval within I-1 (Light Industry) zoning districts.

By allowing a citywide change and not just a site specific, this would further dilute intent for the industrial zoning districts. The intention of the industrial zones are that these districts are placed in areas suitable for manufacturing and related activities and are separated from residential areas by commercial business or natural barriers.

As per the Chart of Permitted Uses, Medical Clinics are allowed in R-O, T4L, R-B, T4+, B-1, T5, B-2, T6, B-4, and I-3 zoning districts by right, and are more abundant (see maps). While the proposed I-1 zoning offers a minor addition of available areas for that would allow for a Medical Clinic use, a more site specific option would be for the property the applicant mentions in their application to be rezoned to allow for the proposed use. However, in order for that to be applicable the property would need either 4 continuous acres or directly abut a zoning that would allow for the proposed use. Upon review of the mentioned parcel, and the neighboring properties, staff noted that the parcel listed is approximately 1.6 acres and does not directly abut a zoning district that would allow for the proposed use. However, then neighboring parcel to the north does abut a B-2 (General-business) zoning district which would allow for the use by right (see maps). However, there is no guarantee that the applicant could get the neighboring parcel to go through a Zoning Map Amendment along with their subject parcel. Upon reading through the applicant's application they appear to have considered that option before the Text Amendment, as they mention about requesting a rezoning in their narrative, despite their listed request to allow for Medical Clinics within the I-1 zoning districts with Planning Commission Approval.

DIRECTOR APPROVAL

This report has been reviewed and approved by:



Greg Holmes
Director of Urban Development Department



CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

APPLICATION FOR ZONING TEXT AMENDMENT

For Staff Use Only

Case File #: 2511 PC 127
Date Received: 10-3-25
Receipt #: 13512005
Received By: Samuel Smith
Zoning: I-1
Ward: 3 Flood: X

GENERAL DESCRIPTION OF REQUEST: (If necessary, attach a separate sheet of paper detailing the purpose of the request.)

Zoning text amendment to allow for medical
clinics to be allowed in I-1 zoned properties
with planning commission approval.

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request.

OWNER

Floyd J. Smith

Printed Name Of Owner

Mailing Address

City State Zip code

Home Phone Work/Cell Phone

Email

[Signature]
Signature Of Owner

AGENT

Schwartz, Orgler, Jordan & Williams, PLLC

Printed Name Of Agent

Mailing Address

City State Zip code

Home Phone Work/Cell Phone

Email

[Signature]
Signature Of Agent

If the property or properties listed above have more than one owner, please check this box. In the case of multiple owners, reverse side must be completed. Each additional owner will need to complete and sign the reverse side of this application. We can only accept applications with original signatures.

SECTIONS A. THROUGH H. MUST BE SUBMITTED FOR A COMPLETE APPLICATION.

STATE OF MISSISSIPPI
COUNTY OF HARRISON

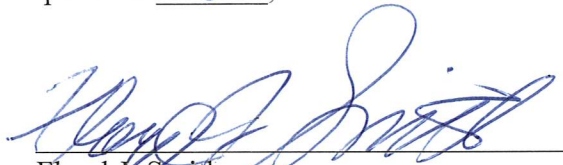
AFFIDAVIT OF AUTHORITY

PERSONALLY APPEARED BEFORE ME, Floyd J. Smith, who being
first duly sworn states as follows:

1. I am an adult resident citizen of Gulfport, MS, and am the owner of Tax Parcel No. 0810K-01-006.000.
2. I hereby nominate and appoint the firm, Schwartz, Orgler & Jordan, PLLC, and its attorneys, as my agent for all purposes related to the Application for Zoning Text Amendment, and any other applications which will need to be filed related to the real properties being commonly described as Tax Parcel No. 0810K-01-006.000.
3. Schwartz, Orgler, Jordan & Williams, PLLC hereby have authority to submit said application(s) and speak on behalf of Floyd J. Smith at any hearings related to the same as required by the City of Gulfport.
4. This Affidavit of Authority is executed for the specific purposes of satisfying the City of Gulfport's "Submission Requirements" of the Application for Zoning Text Amendment, as well as any other rules or regulations of the City of Gulfport which require this Affidavit of Authority.

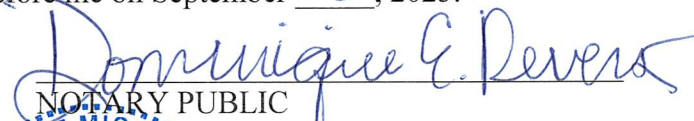
Further affiant sayeth not.

WITNESS MY SIGNATURE, this ~~September~~ ^{October} ~~_____~~ ^{3rd}, 2025.



Floyd J. Smith

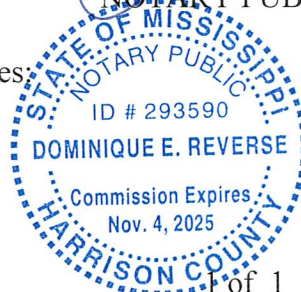
Sworn to and subscribed before me on ~~September~~ ^{October} ~~_____~~ ^{3rd}, 2025.



NOTARY PUBLIC

My commission expires:

(SEAL)



**CITY OF GULFPORT
APPLICATION FOR ZONING TEXT AMENDMENT**

Re: Parcel No. 0810K-01-006.000; Zoning Text Amendment

Floyd J. Smith (hereinafter referred to as "Smith" or "Owner"), is the owner of Harrison County Ad Valorem Tax Parcel No. 0810K-01-006.000 ("subject property"). Smith is the true and lawful fee simple owner of the subject property, which property is located in the First Judicial District of Harrison County, Mississippi, being more particularly described as follows:

A parcel of land being located in the Northeast Quarter of Section 33, Township 7 South, Range 11 West, Harrison County, Mississippi, better described as:

Commencing at the intersection of the east Line of said Section 33 and the North margin of 34th Street and run West along said North margin 1382.0 feet to the POINT OF BEGINNING. Thence continue West along said North margin 275.04 feet; thence North 0 degrees 34 minutes 40 seconds East 213.16 feet; thence South 89 degrees 20 minutes 20 seconds East 375.0 feet; thence South 0 degrees 33 minutes 40 seconds West 108.90 feet; thence West 100.0 feet; thence South 0 degrees 33 minutes 40 seconds West 100.0 feet to the POINT OF BEGINNING.

Smith is the owner of the subject property by virtue of that certain Warranty Deed recorded as Instrument Number 2007 1632 D-J1. A true and accurate copy of the same is attached hereto as Exhibit "A". The subject property is currently zoned I-1.

The owner respectfully requests a zoning text amendment to allow for a medical office/clinic to be allowed with planning commission approval in an I-1 zoned property. The subject property has been listed for sale, and the owner has received no offers to develop the same for industrial purposes. The owner has received an offer and is under contract to sell the same to a Purchaser who desires to develop the same as a medical office/clinic. Approval of the zoning text amendment would allow for stagnant industrial sites to open up for potential development.

Further, the property owners' request should be granted as there is a public need for the property to be rezoned. The City of Gulfport's population is growing, with a current population of 72,824. Furthermore, the post-pandemic trends suggest that communities like Gulfport, Mississippi could be the beneficiary of a migration away from more expensive, metropolitan areas.¹ "On the whole it is clear that people are moving from more expensive places to less expensive places, which was true before the shock of COVID, but accelerated post-pandemic and became a clearer broad trend." *Id.* "Different sets of factors appear to explain growth in areas that saw faster population growth. One theory is that vacation towns have seen significant growth in demand, as remote work allows year-round living in places with desirable amenities but fewer skilled job opportunities." *Id.* The increase in population in Gulfport has led to an

¹<https://eig.org/how-remote-work-is-shifting-population-growth-across-the-u-s/>

increased need for I-3 properties. Additionally, this area of Gulfport has experienced stagnation recently, so the amendment which would allow for new development is necessary and desirable.

There are no site plans available at this time, as the prospective purchaser does not want to incur unnecessary expenses if this is not approved. If approved, a separate application will be filed for planning commission approval of the specific development.

While I-1 sites are generally in highly industrial areas, there are I-1 zoned properties in the City in areas where it makes sense to have more uses than what I-1 allows. There exists public need for the zoning text amendment, and the proposed text amendment is not inconsistent with the City of Gulfport comprehensive plan.

Index as follows: NE 1/4 of Section 33, T7S, R11W, Harrison County, 1st JD, MS

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

WARRANTY DEED

THAT FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged, **GILES CHEMICAL CORPORATION INC., A Mississippi corporation, successor in merger by S & T SERVICES, INC.**, do hereby grant, bargain, sell, convey and warrant, unto **FLOYD J. SMITH**, the following described property, together with the improvements, hereditaments and appurtenances thereunto situated and located in the First Judicial District of the County of Harrison, State of MS, and more particularly described as follows, to-wit:

A parcel of land being located in the Northeast Quarter of Section 33, Township 7 South, Range 11 West, Harrison County, Mississippi, better described as:

Commencing at the intersection of the East line of said Section 33 and the North margin of 34th Street and run West along said North margin 1382.0 feet to the POINT OF BEGINNING. Thence continue West along said North margin 275.04 feet; thence North 0 degrees 34 minutes 40 seconds East 213.16 feet; thence South 89 degrees 20 minutes 20 seconds East 375.0 feet; thence South 0 degrees 33 minutes 40 seconds West 108.90 feet; thence West 100.0 feet; thence South 0 degrees 33 minutes 40 seconds West 100.0 feet to the POINT OF BEGINNING.

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, rights-of-way and easements applicable to subject property, and any prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners of subject property.

TAXES for the current year have been pro-rated as of this date and are hereby assumed by the Grantee herein.

THIS CONVEYANCE is also subject to Zoning and/or other land use regulations promulgated by federal, state or local governments affecting the use or occupancy of the subject property.



[Signature]
1st Judicial District
Instrument 2007 1632 D -J1
Filed/Recorded 2 9 2007 2 48 P
Total Fees 12.00
8 Pages Recorded

WITNESS THE SIGNATURE of the Grantors on this the 8th day of February, 2007.

GILES CHEMICAL CORPORATION,
INC., successor in merger by
S & T SERVICES, INC.



RICHARD N. WRENN, JR.,
VICE-PRESIDENT

STATE OF NORTH CAROLINA
COUNTY OF Montgomery

PERSONALLY appeared before me, the undersigned authority of law in and for this jurisdiction, the within named RICHARD N. WRENN, JR., who acknowledged to me that he is the VICE-PRESIDENT of the corporation known as GILES CHEMICAL CORPORATION, INC., successor in merger by S & T SERVICES, INC., and that for and on behalf of said corporation and as its act and deed he signed and delivered the foregoing instrument of writing on the day and year therein mentioned, he having been first duly authorized to do so.

GIVEN under my hand and official seal on this the 8 day of February, 2007.

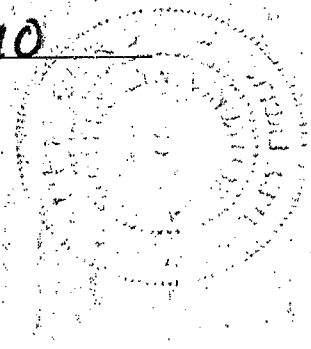


NOTARY PUBLIC

(SEAL)

My Commission Expires:

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
CARRIE GERO, Notary Public
West Conshohocken Boro., Montgomery Co.
My Commission Expires July 20, 2010



ADDRESS OF GRANTORS:
P.O. BOX 370
WAYNESVILLE, NC 28786
(828)-452-4784

ADDRESS OF GRANTEE:
P.O. BOX 2009
GULFPORT, MS 39505
(228)-832-3881

PREPARED BY AND RETURN TO:

FILE# 061923

Schwartz, Orgler & Jordan, PLLC
15487 Oak Lane Drive, Suite 200-I
Gulfport, MS 39503
(228) 832-8550

ARTICLES OF MERGER OF S & T SERVICES, INC.
INTO GILES CHEMICAL CORPORATION

EXHIBIT A

FILED

The undersigned corporations hereby execute these Articles of Merger for the purpose of merging S & T Services, Inc. into Giles Chemical Corporation, both corporations organized and existing under the laws of the State of North Carolina.

SECRETARY OF STATE
NORTH CAROLINA

The following Agreement and Plan of Merger was duly unanimously approved and adopted by all of the shareholders and by the boards of directors of each of the undersigned corporations in the manner prescribed by law:

AGREEMENT AND PLAN OF MERGER

This Agreement and Plan of Merger is made and entered into by and between S & T Services, Inc. and Giles Chemical Corporation.

Whereas, it is desirable to merge S & T Services, Inc. into Giles Chemical Corporation.

Now, Therefore, in consideration of the premises and the mutual agreements contained herein, this Agreement and Plan is hereby entered into by the respective corporations, under their corporate seals:

1. The names of the merging corporations are S & T Services, Inc. and Giles Chemical Corporation, each corporation organized and existing under the laws of the State of North Carolina.

2. S & T Services, Inc. (hereinafter sometimes referred to as the "Merged Corporation") shall be merged into Giles Chemical Corporation, and the surviving corporation shall be Giles Chemical Corporation (hereinafter sometimes referred to as the "Surviving Corporation").

3. The name which the Surviving Corporation is to have after the merger shall be "Giles Chemical Corporation."

4. The authorized capital stock of the Surviving Corporation is currently 7,500 shares of stock, divided into 2,500 shares of no par value voting common stock ("Common Stock") and 5,000 shares of \$100 par value 6% non-cumulative voting preferred stock ("Preferred Stock"). From and after the merger, the authorized capital stock of the Surviving Corporation shall be 350,000 shares of no par value common stock (hereinafter called "Common Stock") and 650,000 shares of \$1.00 par value 6% non-cumulative voting preferred stock (hereinafter called "Preferred Stock").

5. The terms and conditions of the merger, and the mode of carrying the same into effect, are as follows:

(a) The officers and directors of the Merged Corporation and the Surviving Corporation, to effect the merger,

shall cause Articles of Merger to be filed with the Secretary of State of the State of North Carolina and shall cause all other documents and instruments necessary and desirable to be executed and filed as appropriate.

(b) The Surviving Corporation shall be a North Carolina corporation and shall be governed by the laws of the State of North Carolina.

(c) The Certificate of Incorporation of the Surviving Corporation as filed in the Office of the Secretary of State of North Carolina on July 22, 1968, and as amended by Articles of Amendment filed October 1, 1965, and June 28, 1978, shall continue to constitute the Charter of the Surviving Corporation, except that Article 4 of the Charter shall be rescinded and deleted, and the following shall be substituted as Article 4:

ARTICLE 4

" a. The total authorized capital stock of the corporation shall be (i) 350,000 shares of no par value common stock (hereinafter "Common Stock"), and (ii) 650,000 shares of \$1.00 par value 6% non-cumulative voting preferred stock (hereinafter "Preferred Stock"). All of said authorized capital stock, when issued, shall be fully paid and non-assessable, any may be paid for in cash or property, or by cash and property, real or personal, and the stock paid for in property, real or personal, shall be fully paid-up stock to the same extent and effect as if paid for in cash.

b. At all times, each holder of Common Stock shall be entitled to one vote for each share of such stock standing in the name of the holder on the books of the corporation, and (i) each holder of the Preferred Stock shall be entitled to .007692307 votes for each share of such stock standing in the name of the holder on the books of the Corporation.

c. The Preferred Stock shall be non-callable and non-convertible and shall have preference with respect to (i) dividends declared and paid by the Corporation, and (ii) the assets of the Corporation in the event of liquidation, as follows:

No dividends can be declared and paid on Common Stock in any fiscal year unless \$.06 in dividends have been declared and paid to the holders of Preferred Stock during such fiscal year. Upon liquidation of the Corporation, no liquidation dividends or other distributions

in liquidation may be made to holders of Common Stock unless and until each holder of Preferred Stock has received a payment equal to the Preferred Stock's \$1.00 par value.

d. The corporation shall be authorized and empowered to increase, decrease or otherwise change its capital structure or issue stock with a preferential lien both on the earnings and property of the corporation, or the corporation may amend or change, supplement or delete, any of the limitations, restrictions and preferences on its capital stock, all as the corporation may designate in compliance with the applicable provisions of Chapter 55 of the General Statutes of North Carolina, and as heretofore or hereafter amended.

e. All Stockholders of the corporation shall have pre-emptive rights to acquire additional or treasury shares of the corporation."

(d) The By-Laws of the Surviving Corporation, as the same shall exist on the effective date of this merger, shall continue to constitute the By-Laws of the Surviving Corporation.

6. In the merger, the following shall occur as to the shares of stock of the corporations which are parties to this Agreement and Plan of Merger:

(a) The outstanding 1,340 shares of \$100.00 par value common capital stock of the Merged Corporation shall be exchanged for such number of shares of the no par value Common Stock of the Surviving Corporation whose book value net worth in the aggregate equals the aggregate book value net worth of the common shares of the Merged Corporation as determined as of 11:59 P.M., June 30, 1982 by the Certified Public Accountants of the Merged Corporation and the Surviving Corporation.

(b) Each one (1) outstanding share of \$100.00 par value preferred stock of the Merged Corporation shall be exchanged for one hundred ten (110) shares of \$1.00 Par Value Preferred Stock of the Surviving Corporation.

(c) Each one (1) outstanding share of \$100.00 par value preferred stock of the Surviving Corporation shall be exchanged for one hundred (100) shares of \$1.00 Par Value Preferred Stock of the Surviving Corporation.

(c) When this merger is completed, the certificates representing the presently outstanding shares of capital stock of the Merged Corporation shall be surrendered to the Surviving Corporation for cancellation, and in lieu thereof, there

shall be issued to said Shareholders certificates representing in the aggregate the number of shares of capital stock of the Surviving Corporation as determined herein. However, until so surrendered, each outstanding certificate that prior to the effective date and time of the merger represented stock of the Merged Corporation shall be deemed for all corporate purposes to evidence ownership of the number of shares of the capital stock of the Surviving Corporation into which such shares represented by such certificates shall have been converted as aforesaid.

7. The effective time and date of this merger shall be 11:59 P.M., June 30, 1983.

As to each of the undersigned corporations, the total number of shares voting for or against the Plan of Merger were as follows:

<u>Name of Corporation</u>	<u>Shares Outstanding Common Stock</u>	<u>Shares Outstanding Preferred Stock</u>
Giles Chem. Corp.	690	4452
S & T Services, Inc.	1340	871

<u>Name of Corporation</u>	<u>Total (Common and Preferred) Voted For</u>	<u>Total (Common and Preferred) Voted Against</u>
Giles Chem. Corp.	5142	-0-
S & T Services, Inc.	2211	-0-

The merger shall be effective at 11:59 P.M., June 30, 1983.

In Witness Whereof, Giles Chemical Corporation and S & T Services, Inc. have caused this Agreement and Plan of Merger to be executed in their names and on their behalf by their duly authorized Presidents and have caused their corporate seals to be affixed

hereto and attested by their duly authorized Secretaries, this the 24 day of June, 1983.

Giles Chemical Corporation

By: Howard A. Splitt
Howard A. Splitt, President

Attest:

Genevieve S. Splitt
Genevieve S. Splitt, Secretary

Corporate Seal



S & T Services, Inc.

By: Howard A. Splitt
Howard A. Splitt, President

Attest:

Genevieve S. Splitt
Genevieve S. Splitt, Secretary

Corporate Seal

STATE OF NORTH CAROLINA

COUNTY OF HAYWOOD

Howard A. Splitt and Genevieve S. Splitt, each being first duly sworn, depose and say that Howard A. Splitt is the President and Genevieve S. Splitt is the Secretary of Giles Chemical Corporation and of S & T Services, Inc., that they have each read the foregoing Articles of Amendment to the Charter of said Corporations and that all statements and facts contained therein are true, that they signed said Articles of Amendment to the Charter as President and Secretary of said Corporations respectively, and that they each were authorized to so sign the same.

Howard A. Splitt (SEAL)
Howard A. Splitt, President

Genevieve S. Splitt (SEAL)
Genevieve S. Splitt, Secretary

Sworn to and subscribed before me, this 24th day of
June, 1983.

Linda B. Sheehan (Holecomb)
Notary Public

My Commission Expires:

3/25/84

The Beaufort Gazette
 The Belleville News-Democrat
 Bellingham Herald
 Centre Daily Times
 Sun Herald
 Idaho Statesman
 Bradenton Herald
 The Charlotte Observer
 The State
 Ledger-Enquirer

Durham | The Herald-Sun
 Fort Worth Star-Telegram
 The Fresno Bee
 The Island Packet
 The Kansas City Star
 Lexington Herald-Leader
 The Telegraph - Macon
 Merced Sun-Star
 Miami Herald
 El Nuevo Herald

The Modesto Bee
 The Sun News - Myrtle Beach
 Raleigh News & Observer
 Rock Hill | The Herald
 The Sacramento Bee
 San Luis Obispo Tribune
 Tacoma | The News Tribune
 Tri-City Herald
 The Wichita Eagle
 The Olympian

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Cols	Depth
51445	IPL0287853	Legal Ad - IPL0287853		1.0	79.0L

ATTENTION: GULFPORT URBAN DEVELOPMENT IP
 PO BOX 1780
 GULFPORT, MS 39502
 accountspayable@gulfport-ms.gov;sasmith@gulfport-ms.gov

LEGAL NOTICE PUBLIC HEARING

In conformance with Section VIII of the Comprehensive Zoning Ordinance of the City of Gulfport, Mississippi, 1979 as amended, notice is hereby given advising that the Gulfport City Planning Commission will hold a public hearing in the City of Gulfport, Mississippi at 4:30 P.M., Thursday, November 20, 2025 in the Council Chambers of the Gulfport City Hall located at 2309 15th Street to consider the following requests. A copy of the requests will be available for public review at the office of the Department of Urban Development, Planning Division, located on the first floor of the William H. Hardy Building, 1410 24th Avenue.

Special Exception 2511SE126
 by agent Timmthy Wilks, seeking approval for an assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3

Planning Commission Approval 2511PC128
 by owners Albert & Gwendolyn Dunlap, seeking approval for administrative office for a real estate management company as a home occupation, Tax Parcel 0711L-02-113.000, 1430 Lewis Avenue, Zoned R-1-7.5 (Single-Family), Ward 1

General Plan 2512PC141
 by agent Kim Savant, seeking approval for a 30-lot subdivision with 3 out-parcels (Wrigleyville Subdivision), Tax Parcels 0710K-01-039.000, 0710K-01-034.001, 34th Street, Zoned R-2 (Single-family), Ward 1

Zoning Text Amendment 2511PC127
 by agent Schwartz, Orgler, Jordan, & Williams, PLLC, Amendments to the Comprehensive Zoning Ordinance, to amend Section III, District Regulations (K) Chart of Permitted Uses, to allow Medical Clinics to be allowed in I-1 zoning districts with Planning Commission Approval.

Zoning Text Amendment 2512PC145
 by the City of Gulfport, amendments to the Comprehensive Zoning Ordinance, as amended, to amend Section I, Definitions to define Intermodal Shipping Container and Shipping Container Park (residential); Section III, District Regulations (C)(10), to include residential Shipping Container Parks and to add such use to subsection (K) of the Chart of Permitted Uses by Planning Commission Approval in R-B, Residence-Business Districts only; and Section IV, Supplementary Regulations, to create subsection 11C to provide for Shipping Container Park (residential) requirements.

This the 4th day of November 2025
 Keith Williams, Chairman
 City of Gulfport Planning Commission
 IPL0287853
 Nov 5 2025

STATE OF MISSISSIPPI
 COUNTY OF HARRISON

Before me, the undersigned Notary personally appeared the undersigned, who, being by me first duly sworn, did depose and say that he/she is a clerk of The Sun Herald, a daily newspaper published in the city of Gulfport, in Harrison County, Mississippi and the publication of the notice, a copy of which is hereto attached, has been made in said paper in the issue(s) of:

1.0 insertion(s) published on:
 11/05/25 Print

[Print Tearsheet Link](#)

[Marketplace Link](#)

Mary Castro



Mary Castro

Russ Cage Davis



Sworn to and subscribed before
 me on

Nov 5, 2025, 10:28 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNiX®



URBAN DEVELOPMENT
PLANNING & ZONING
PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE
228.868.5710 | PLANNERS@GULFPORT-MS.GOV

PLANNING COMMISSION

Hearing Date: Thursday, November 20, 2025

Zoning Text Amendment 2512PC145: Zoning Text Amendment 2512PC145, by the City of Gulfport, amendments to the Comprehensive Zoning Ordinance, as amended, to amend Section I, Definitions to define Intermodal Shipping Container and Shipping Container Park (residential); Section III, District Regulations (C)(10), to include residential Shipping Container Parks and to add such use to subsection (K) of the Chart of Permitted Uses by Planning Commission Approval in R-B, Residence-Business Districts only; and Section IV, Supplementary Regulations, to create subsection 11C to provide for Shipping Container Park (residential) requirements.

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Cols	Depth
51445	IPL0287853	Legal Ad - IPL0287853		1.0	79.0L

ATTENTION: GULFPORT URBAN DEVELOPMENT IP
 PO BOX 1780
 GULFPORT, MS 39502
 accountspayable@gulfport-ms.gov;sasmith@gulfport-ms.gov

STATE OF MISSISSIPPI
 COUNTY OF HARRISON

Before me, the undersigned Notary personally appeared the undersigned, who, being by me first duly sworn, did depose and say that he/she is a clerk of The Sun Herald, a daily newspaper published in the city of Gulfport, in Harrison County, Mississippi and the publication of the notice, a copy of which is hereto attached, has been made in said paper in the issue(s) of:

1.0 insertion(s) published on:
 11/05/25 Print

**LEGAL NOTICE
 PUBLIC HEARING**

In conformance with Section VIII of the Comprehensive Zoning Ordinance of the City of Gulfport, Mississippi, 1979 as amended, notice is hereby given advising that the Gulfport City Planning Commission will hold a public hearing in the City of Gulfport, Mississippi at 4:30 PM, Thursday, November 20, 2025 in the Council Chambers of the Gulfport City Hall located at 2309 15th Street to consider the following requests. A copy of the requests will be available for public review at the office of the Department of Urban Development, Planning Division, located on the first floor of the William H. Hardy Building, 1410 24th Avenue.

Special Exception 2511SE126, by agent Timmthy Wilks, seeking approval for a assisted living facility, Tax Parcel 0710H-03-006.000, 3601 Meadowlark Drive, Zoned R-1-5 (Single-Family), Ward 3

Planning Commission Approval 2511PC128, by owners Albert & Gwendolyn Dunlap, seeking approval for administrative office for a real estate management company as a home occupation, Tax Parcel 0711L-02-113.000, 1430 Lewis Avenue, Zoned R-1-7.5 (Single-Family), Ward 1

General Plan 2512PC141, by agent Kim Savant, seeking approval for a 30-lot subdivision with 3 out-parcels (Wrigleyville Subdivision), Tax Parcels 0710K-01-039.000, 0710K-01-034.001, 34th Street, Zoned R-2 (Single-family), Ward 1

Zoning Text Amendment 2511PC127, by agent Schwartz, Orgler, Jordan, & Williams, PLLC, Amendments to the Comprehensive Zoning Ordinance, to amend Section III, District Regulations (K) Chart of Permitted Uses, to allow Medical Clinics to be allowed in I-1 zoning districts with Planning Commission Approval.

Zoning Text Amendment 2512PC145, by the City of Gulfport, amendments to the Comprehensive Zoning Ordinance, as amended, to amend Section I, Definitions to define Intermodal Shipping Container and Shipping Container Park (residential); Section III, District Regulations (C)(10), to include residential Shipping Container Parks and to add such use to subsection (K) of the Chart of Permitted Uses by Planning Commission Approval in R-B, Residence-Business Districts only; and Section IV, Supplementary Regulations, to create subsection 11C to provide for Shipping Container Park (residential) requirements.

This the 4th day of November 2025
 Keith Williams, Chairman
 City of Gulfport Planning Commission
 IPL0287853
 Nov 5 2025

[Print Tearsheet Link](#)

[Marketplace Link](#)

Mary Castro



Mary Castro

Russ Cage Davis



Sworn to and subscribed before me on

Nov 5, 2025, 10:28 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNiX®