

AGENDA

GULFPORT CITY ARCHITECTURAL REVIEW COMMITTEE MEETING

CITY HALL COUNCIL CHAMBERS

THURSDAY, JANUARY 9, 2025 AT 3:00 PM

- A. Prayer**
- B. Pledge of Allegiance**
- C. Call to Order**
- D. Determination of a Quorum**
- E. Confirmation of Agenda**
- F. Announcements**

F1. If you are aggrieved by a vote of the Architectural Review Committee, see below.

Any person or any officer, department or agency of the City aggrieved by a decision of the Architectural Review Committee may, within fifteen (15) days thereafter, appeal therefore to the Gulfport City Council by submitting to the Department of Urban Development – Planning Division a written notice of appeal specifying the decision from which the appeal is taken.

F2. Speaker Card

Please provide the completed card at the time you speak to the Architectural Review Committee. City staff personnel can assist in any questions you may have or in completing the card. This public meeting is open to all for comment.

G. Adoption of Minutes

G1. Architectural Review Committee - 12-12-24

H. Hearing of Cases

H1. Signs

H2. Architectural Review Committee Permits

1. Architectural Review Committee 2501ARC001:

Architectural Review Committee 2501ARC001, by owner 1909 East Pass Road LLC, seeking approval for a waiver from the required dumpster enclosure, and the requirement

for landscaped islands, Tax Parcel 1010G-03-018.000, 1909 East Pass Road, Zoned T6
(Urban Center Zone), Ward 2

I. Reports

J. Unfinished Business

K. Other Business

L. Adjournment

MINUTES

GULFPORT ARCHITECTURAL REVIEW COMMITTEE MEETING

Thursday, December 12, 2024, 2024 3:00 P.M.

City Council Chambers

- A. **Prayer**: The ARC Board led a prayer.
- B. **Pledge of Allegiance**: The Pledge of Allegiance was recited.
- C. **Call to Order**: The meeting of the ARC board was called to order at **3:01 P.M.**.
- D. **Determination of a Quorum**: A Roll Call was conducted and a quorum was determined.

BOARD MEMBERS PRESENT:

JOHNNY OLSEN
BRENT FRENCH
LEE PALERMO
KENNY MCNAIR

BOARD MEMBERS ABSENT:

DANIELLE COTTON

STAFF MEMBERS PRESENT

MATILDA WELCH
SAMUEL SWEETING
BRYCE CLUGH

COURT REPORTER:

E. Confirmation of Agenda:

F. Approval of Minutes:

Motion by **Mr. Olsen** and seconded by **Mr. French** to approve Minutes of the **November 14, 2024**, ARC Committee meeting was carried unanimously.

G. Hearing of cases:

G1. The declaration of appeal process was read by the Chairman of the Architectural Review Committee: Any person or any officer, department, or agency of the city aggrieved by any decision of the Architectural Review Committee may confirm by filing a written notice of appeal within fifteen (15) calendar days after the date of the Architectural Review Committee hearing. Any appeal shall be in writing and submitted to the Department of Urban Development – Planning Division stating what decision is being appealed and detailing how you are aggrieved. This Architectural Review Committee notice of appeal shall be forwarded as part of the record with the record and decision from the Architectural Review Committee to the Planning Commission. The Planning Commission shall make a final decision based upon the record as submitted. No new evidence may be presented at the meeting. Please contact this office for further details on the appeal process.

G2. The Chairman asked all individuals speaking at today's meeting to complete a speaker's card.

G3. Routine Agenda:

1. Architectural Review 2412ARC054:

Architectural Review Committee 2412ARC054, by agent Jessica Cecil, seeking approval for a new 28" by 10'-5" freestanding ground sign, Tax Parcel 0811L-01-038.000, 2992 W Beach Blvd, Zoned T6 (Urban Core Zone), Ward 2

Speaking for the Petition: Jessica Cecil

Speaking against the Petition: None

Motion: Mr. Olsen – to approve as proposed.

Second: Mr. French

Lee Palermo	- Chairman
Kenny McNair	-Yea
Danielle Cotton	- Absent
Brent French	- Yea
Johnny Olsen	- Yea

Action: Motion carried unanimously

2. Architectural Review 2412ARC055:

Architectural Review Committee 2412ARC055, by agent Jon Storonskyj, seeking approval for a new freestanding ground sign, Tax Parcel 0808I-02-036.000, 14256 Dedeaux Rd, Zoned R-B (Residence-Business), Ward 5

Speaking for the Petition: Jon D. Storonskyj

Speaking against the Petition: None

Motion: Mr. French – to approve as proposed.

Second: Mr. Olsen

Lee Palermo	- Chairman
Kenny McNair	-Yea
Danielle Cotton	- Absent
Brent French	- Yea
Johnny Olsen	- Yea

Action: Motion carried unanimously

Adjournment:

Motion by **Mr. Olsen** to adjourn the meeting was seconded by **Mr. McNair** and carried unanimously. The meeting adjourned at **3:09 P.M. .**

THESE MINUTES WERE APPROVED BY A VOTE OF THE ARCHITECTURAL REVIEW COMMITTEE.

Danielle Cotton, Secretary

Date: _____



URBAN DEVELOPMENT DEPARTMENT | PLANNING & ZONING

PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE

P: 228.868.5710 | F: 228.868.5708 | PLANNERS@GULFPORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE CASE # 2025-345

Hearing Date: Thursday, January 9, 2025

Signs



URBAN DEVELOPMENT DEPARTMENT | PLANNING & ZONING

PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE

P: 228.868.5710 | F: 228.868.5708 | PLANNERS@GULFPORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE CASE # 2025-346

Hearing Date: Thursday, January 9, 2025

Architectural Review Committee Permits



URBAN DEVELOPMENT DEPARTMENT | PLANNING & ZONING

PO BOX 1780 | GULFPORT, MS | 1410 24TH AVENUE

P: 228.868.5710 | F: 228.868.5708 | PLANNERS@GULFPORT-MS.GOV

ARCHITECTURAL REVIEW COMMITTEE CASE # 2025-380

Hearing Date: Thursday, January 9, 2025

Architectural Review Committee 2501ARC001: Architectural Review Committee 2501ARC001, by owner 1909 East Pass Road LLC, seeking approval for a waiver from the required dumpster enclosure, and the requirement for landscaped islands, Tax Parcel 1010G-03-018.000, 1909 East Pass Road, Zoned T6 (Urban Center Zone), Ward 2

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2501ARC001

Hearing Date: January 9, 2025

Current Zoning/Use: T6 / Commercial Structure

Legal: Architectural Review Committee 2501ARC001, by owner 1909 East Pass Road LLC, seeking approval for a waiver from the required dumpster enclosure, and the requirement for landscaped islands, Tax Parcel 1010G-03-018.000, 1909 East Pass Road, Zoned T6 (Urban Center Zone), Ward 2

TECHNICAL DETAILS

The applicant requests a waiver not to meet the required design standard for Appendix A, Sec. IV Supplementary Regulations (a)(3)(1.5)(iii) & (a)(3)(3.4)(iii-v)

Design Standards

1.5.

Storage, utilities, and mechanical equipment.

- iii. Trash enclosures should be located remotely from project access points, building entries, public view corridors, and main circulation paths, but must be accessible to truck traffic for pick up. Enclosures should be constructed of six (6) foot high masonry walls with solid metal gates or wood gates. Enclosure finishes should match the building in color and texture and should include stonework, landscaping, wood and other natural elements.

3.4

Parking location and design.

- iii. Parking areas should be connected to primary building entries by pedestrian walkway corridors and organized in clearly defined grouping of spaces separated by landscaping or by design components of the site or building.
- iv. To reduce heat gain in parking areas, the use of shade trees in parking islands or along landscape buffers is required.
- v. Parking rows should contain no more than ten (10) parking spaces uninterrupted by a landscaped island. Landscape islands should measure a minimum of eight (8) feet in width and eight (8) feet in length.

EXECUTIVE SUMMARY

The applicant is seeking approval to deviate from architectural design standard requirements for landscaped islands and dumpster enclosure, seeking for the sight to remain as is. The applicant had applied for a permit for an interior buildout which the amount for the renovation meet or exceeded the \$50,000 threshold stated in the beginning paragraph of the commercial design

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

standards: “The standards of this section apply to commercial and mixed use building project meeting the following criteria: *New and Renovated Buildings along Commercial and Mixed Use Corridors*. New construction of a building or major renovation or addition to an existing building valued greater than fifty thousand (\$50,000.00) dollars intended for commercial, office, hotel/motel, or other commercial or mixed use on a property fronting on or visible from a public roadway designated as an arterial or major collector in the city's comprehensive plan.” Due to the renovation’s cost meeting or exceeding the \$50,000 threshold, the location is required to meet the architectural design requirements listed in the ordinance in Appendix A, Sec IV, (a)(3) *Commercial Projects*. The applicant is claiming via a notarized affidavit that the site is not utilizing a dumpster for trash service and instead is utilizing roll away cans for the trash collection and removal. One departmental condition, if approved, would be for the existing dumpsters being removed from the site before any permits being issued. In addition, the applicant is seeking approval to deviate from the landscaped island requirements, as stated in Appendix A, Sec IV (a)(3)(3.4)(iii-v), in order for the site to remain as is in regards to its parking lot aisles. While the applicant has provided a statement in regards to why they are seeking the waiver from the parking aisle requirements, they do not mention a hardship. Upon staff review of the subject site, the parking lot for the site has existed prior to the current architectural design standards, and according to the earliest available imagery was established prior to 2007. It should be noted that there were at least three other commercial locations that were made to incorporate landscaped islands in their existing parking lots, despite their parking lots existing before the current architectural design standards. The Handsboro Square on East Pass Road, The Rouse’s Market at 1444 E Pass Road, and the Walmart Supercenter at 9350 Hwy 49 had parking lots that existed prior to Gulfport’s architectural design standards, and were made to bring their sites into conformity by including landscaped islands into their parking aisles. That being said, these sites did so prior to the creation of this Architectural Review Committee, and likewise could have requested for a waiver from the landscaped island requirements should this board had been established at that time. The nearby McDonald’s restaurant at 1010 Cowan Road had requested a similar deviation last year, under case# 2409ARC042. However, other properties that have parking lots that existed before the current architectural design standards have been made to incorporate landscaped islands since the creation of this board. One example for such instance was the Singing River Hospital at 15200 Community Road, which applied for a waiver in 2023 under case# 2303ARC002 and was denied by this board. Another recent example is the former Winn-Dixie that is being renovated into an Aldi’s Marketplace at 11312 Hwy 49, which has included a parking plan to incorporate landscaped islands with their permitting documents.

DEPARTMENTAL CONDITIONS

1. If approved, onsite dumpsters will need to be removed from site before any permits can be issued.

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

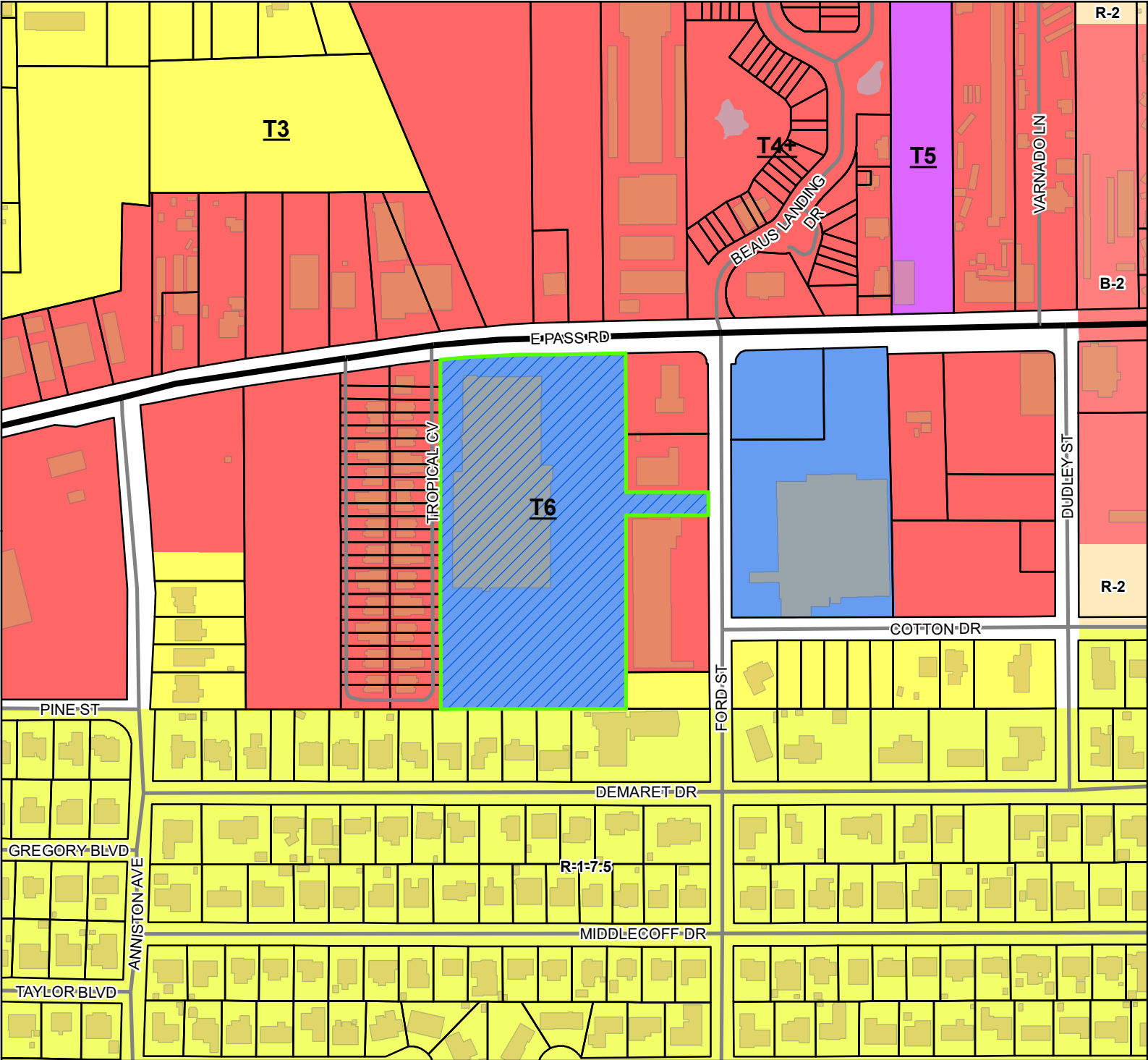
DIRECTOR APPROVAL

This report has been reviewed and approved by:



Greg Holmes

Director of Urban Development Department



Legend

- Site
- US or State Highway
- Street
- Parcels
- Buildings
- Water Features
- City Limit

Smart Code

- T6
- T5
- T4+
- T3

Zoning

- B-2 - General Business District
- R-1-7.5 - Single Family Residence District (Low Density)
- R-2 - Single Family Residence District (Medium Density)

Site Information

1010G-03-018.000
Zoning: T6 (Urban Core Zone)
Size: 7.1 acres
Flood: X

DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

OWNER:James H Horne

Printed Name of Owner

P.O. Box 1238

Mailing Address

Gautier

City

MS

State

39553

Zip Code

AGENT:James H Horne

Printed Name of Agent

P.O. Box 1238

Mailing Address

Gautier

City

MS

State

39553

Zip Code

Name of Owner (PRINT)James H Horne (1909 East Pass Road LLC)

Address (Street, City, State, Zip Code)

1909 East Pass Rd Gulfport, MS 39507

Phone (Home)

228-219-2817

(Work)

(Cell)

228-219-2817

Tax Parcel Number(s) Owned:

1010 G-03-018.000

Signature:

**Name of Owner (PRINT)**Daniel A. Richard (1909 E. Paw Road LLC)

Address (Street, City, State, Zip Code)

1909 E. Paw Rd, Gulfport, MS 39507

Phone (Home)

228-219-2816

(Work)

497-4770

(Cell)

228-219-2816

Tax Parcel Number(s) Owned:

1010 G-03-018.000

Signature:

Daniel A. Richard**Name of Owner (PRINT)**

Address (Street, City, State, Zip Code)

Phone (Home)

(Work)

(Cell)

Tax Parcel Number(s) Owned:

Signature:

1909 EAST PASS ROAD LLC
1909 East Pass Road
Gulfport, MS 39507

Affidavit Regarding Trash Service for Commercial Building Buildout

State of Mississippi
County of Harrison

Before me, the undersigned authority, personally appeared James H Horne, owner, 1909 East Pass Road, LLC, who, being duly sworn, deposes and states as follows:

1. **Affiant's Information:**

My name is James H Horne, and I am the owner of the property located at 1909 East Pass Road, Gulfport, Mississippi.

2. **Purpose of the Affidavit:**

This affidavit is submitted to the City of Gulfport to confirm that the buildout of the commercial building located at the above-referenced address will not require or utilize a designated dumpster for trash service.

3. **Trash Service Plan:**

I affirm that trash generated during the operation and ongoing use of the building will be managed through can service. Trash will be collected using appropriate trash receptacles, and arrangements will be made with a private or municipal trash collection service provider to ensure regular and compliant waste removal.

4. **No Designated Dumpster Required:**

I further affirm that there is no need for a designated dumpster to be placed on the property for waste disposal.

5. **Compliance with City Regulations:**

I understand that all trash collection and disposal will be conducted in accordance with the applicable regulations and requirements of the City of Gulfport and its authorized waste management policies.

Dated this 13th day of December, 2024

JAMES H HORNE

Acknowledgment

State of Mississippi
County of Harrison

On this 13 day of December, 2024, before me, the undersigned Notary Public, personally appeared James H Horne, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged that they executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Notary Public

My Commission Expires: April 12, 2027





Covenant Affidavit

I, Helen N Skymetti, being owner or agent of the property 1909 East Pass Rd
PRINT NAME PRIMARY ADDRESS OR PARCEL
Gulfport, MS
39507

which is the subject of this application, hereby state that this variance request is not in violation of any restrictive or protective covenants.

Helen N Skymetti

Signature

12/13/14

Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 13th day of December, 20 24

Samuel Sweeting

Notary Public



05/22/2027

Commission Expiration

IMPORTANT NOTICE:

1. Please be advised that failure to submit a complete application, with all supporting documents, could delay your **hearing date**. The Architectural Review Committee will not consider a request until all information is submitted and accurate.
2. Please be advised that the application deadline dates posted are designed to allow the staff time to review the application and receive required comments from coordinating agencies. The application is not considered complete until all required information from the applicant is available for review by the staff and coordinating agencies.
3. All boxes will need to be **initialed by applicant with required documentation** before application can be accepted.

Submission Requirements:

Page one of this application, completed and signed.

Site plan. Please note that approval of your request, in part, is based on your **11" by 17"** site plan.

- The property lines and dimensions have been provided on the drawing.
- All buildings and structures located on the property have been identified.
- All dimensions of buildings and structures have been noted on the site plan.
- All distances from the property lines to all the buildings and structures have been identified and noted on the site plan.
- Street names have been provided which abut the property.
- Traffic flow, parking and driveways have been identified.
- If required buffer strips have been identified
- Other pertinent information as needed to pictorially demonstrate the proposed development/use.

Proof of ownership (Copy of deed i.e., Warranty Deed or Quitclaim Deed)

If applicable, notarized proof of **authority to act as agent** for owner (board resolution, etc.) (see page 9)

The City of Gulfport Planning Division Staff will notify, by letter, property owners adjacent to the requested action identified in this application using the Land Roll database from the County Tax Office. If you would like to have additional persons or property owners notified, please provide a list of **additional persons to be notified**.

An **affidavit** stating the request is not in violation of restrictive or protective.

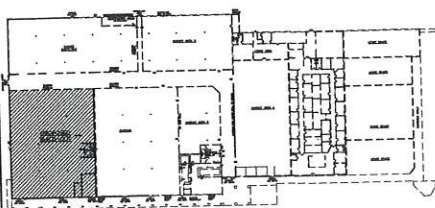
State hardship of why design standards cannot be met individually and thoroughly as a separate attachment

I the owner/agent acknowledge this is a complete application

A handwritten signature in blue ink, appearing to read "Paul Hane", is written over the acknowledgment line.

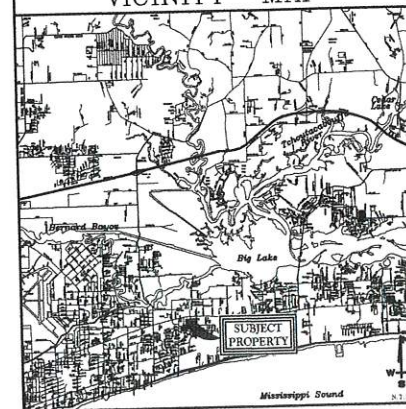
Requesting due to no need for dumpster service, city cans will be used. The existing parking lot & striping will remain; no need to change; existing trees & landscaping will remain and exterior of building will not be altered. Interior buildout only.

UNIT LOCATOR



Interior Build-out FOR Mississippi Antique Galleria 1909 East Pass Rd. Suite C1 Gulfport, MS 39507

VICINITY MAP



CLIENT:

1909 East Pass Road, LLC
4051 Gautier Vancleave Rd.
Gautier, MS 39553



INTERNATIONAL BUILDING CODE 2018 INFO & GENERAL DATA

Zoning: T6
Classification of Occupancy: B
Occupant Load: 30
Minimum Type of Construction: Type II-B
Sprinklers Provided: YES
Height of building: EXISTING
Number of stories: 1
Total Heated Sq. Footage: 11,189 sf
F.F.E.: EXISTING
Flood Zone (FIRM): "X"

*Building shall meet requirements:
2018 IBC Building Code, including appendices A,B,D,E,F,G,I,J,&K.
Accessible and Usable Buildings and Facilities ICC

A117.1-2009

2018 Existing Building Code, including appendices B&C.
2018 ICC Fuel Code, including all appendices
2018 ICC Mechanical Code, including appendix A.
2018 ICC Plumbing Code, including appendix C&E.
2018 Private Sewage Disposal Code, including appendix A.
2018 Property Maintenance Code, including appendix A.
2018 National Fire Code, including all appendices.
2017 National Fire Prevention Association NFPA 70 National
Electric Code.
2018 National Fire Prevention Association NFPA 101 Life Safety
Code including
Annexes Hereto.

2018 International Energy Conservation Code. (IECC)

City of Gulfport Code Ordinances

NOVEMBER 7, 2024

- 1 12-03-24 RESPONSE TO CITY OF GULFPORT
- 2 12-11-24 RESPONSE TO CITY OF GULFPORT

TME

TERRY MORAN
ENGINEERING & SURVEYING

TERRY MORAN, P.E., P.L.S.
P.O. Box 4075 Ph (228) 896-4733
Biloxi, MS 39535 Fax (228) 896-6769

IN ASSOCIATION WITH

HEINRICH . ASSOCIATES

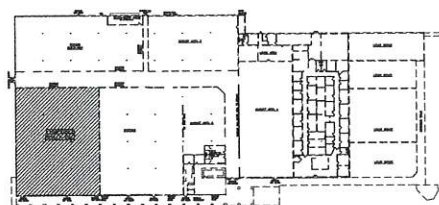
RESIDENTIAL & COMMERCIAL DESIGN
370 Courthouse Road, Suite 104 - Gulfport, MS 39507
Ph (228) 896-6768 - Fax (228) 896-6769
admin@heinrichassociates.net

SHEET INDEX

PLAN COVER SHEET T1
DEMOLITION PLAN B1
FLOOR PLAN B2
LIFE SAFETY-FLOOR PLAN B3
PLUMBING PLAN P1
MECHANICAL PLAN M1
ELECTRICAL PLAN E1

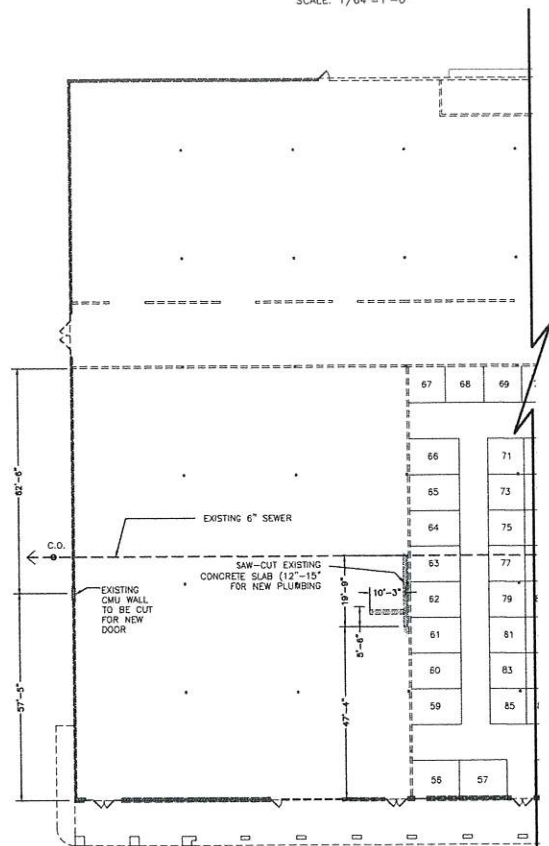
ATTENTION: NO CONSTRUCTION IS TO COMMENCE ON THIS PROJECT
BEFORE THE APPROPRIATE PERMITS HAVE BEEN OBTAINED.

24-160



UNIT BUILD-OUT

SCALE: 1/64"=1'-0"



EXISTING CONDITION AND DEMOLITION PLAN

SCALE: 1/16"=1'-0"

GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING DEMOLITION.
- COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION SHOWN IN THE DRAWINGS. DUE CARE IS TO BE TAKEN TO AVOID UNDOE DAMAGE TO ADJACENT FINISHES SCHEDULED TO REMAIN.
- REMOVE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE. DO NOT ALLOW MATERIAL AND DEBRIS TO ACCUMULATE ON SITE. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- COORDINATE LOCATION OF DUMPSTER WITH BUILDING OWNER PRIOR TO ITS DELIVERY.
- CONSTRUCTION MATERIALS SHALL BE REMOVED BEFORE BUILDING IS OCCUPIED OR USED FOR ANY PURPOSE AND CONTRACTOR SHALL REMOVE PROTECTIVE MEASURES AT COMPLETION OF WORK AND LEAVE INTERIOR AREAS BROOM CLEAN.
- COORDINATE DEMOLITION IN AREAS THAT ARE TO REMAIN OCCUPIED DURING CONSTRUCTION IF NECESSARY. PROVIDE FREE AND SAFE ACCESS TO AND FROM OCCUPIED AREAS OF THE BUILDING AT ALL TIMES.
- PROVIDE DUST BARRIERS TO PROTECT OCCUPIED AREAS OF BUILDING DURING DEMOLITION AND NEW WORK IF NECESSARY.
- COORDINATE DEMOLITION, RELOCATING, DISCONNECTING, AND CAPPING OF HVAC, PLUMBING, AND ELECTRICAL SERVICES WITH THE APPROPRIATE SUBCONTRACTORS PRIOR TO START OF DEMOLITION. PROVIDE BY-PASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE BUILDING. PROVIDE ADEQUATE NOTICE TO OWNER IF SHUT-DOWN OF SERVICES IS REQUIRED.
- IF UNANTICIPATED HVAC, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS ARE ENCOUNTERED WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN, NOTIFY ENGINEER IMMEDIATELY.
- GENERAL CONTRACTOR IS TO CATALOG AND PROPERLY STORE ALL EXISTING ITEMS SCHEDULED TO BE REINSTALLED.
- IF MASONRY WALLS ARE PRESENT TO BE DEMOLISHED, THEN THE CONTRACTOR IS TO DEMOLISH MASONRY WALLS IN SMALL SECTIONS AND BRACING AND SHORING SHALL BE USED WHERE NECESSARY TO AVOID COLLAPSE OF THE STRUCTURE. SHORING MUST BE DONE IN A MANNER THAT WILL NOT INTERFERE WITH NEW WORK. IN NO CASE WILL PRESENTLY SUPPORTED LOADS BE ALLOWED TO BE UNSUPPORTED.
- CONTRACTOR SHALL PROTECT FLOORS WITH APPROPRIATE COVERINGS WHERE NECESSARY.
- PROMPTLY REPAIR DAMAGES TO ADJACENT AREAS CAUSED BY DEMOLITION WORK SCHEDULED TO REMAIN.
- REMOVE ALL ELECTRICAL RECEPTACLES, SWITCHES, LIGHTING FIXTURES, AND WIRING AS REQUIRED IN AREA OF NEW WORK. SEE PLANS FOR FINAL ELECTRICAL LAYOUT. IF AN EXISTING SWITCH, LIGHT FIXTURE, OR RECEPTACLE IS LOCATED IN A REQUIRED LOCATION, THAT ITEM MAY REMAIN UNLESS THE EXISTING ITEM OR WIRING IS FAULTY. FIELD DETERMINE.
- PROVIDE TEMPORARY SHORING AS REQUIRED AT ANY LOAD BEARING WALLS SCHEDULED TO BE REMOVED.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND OR WORKMEN ON SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT, OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- CONTRACTOR SHALL MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.

DEMOLITION LEGEND

- EXISTING ELEMENTS TO REMAIN: ————
- EXISTING ELEMENTS TO BE DEMOLISHED: //

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.

NOTE: NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER, BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

TERRY MORAN, P.E., P.L.S.
P.O. Box 4875
Bilal, MS 39235
Ph: (228) 944-4733
Fax: (228) 944-6799

TME
TERRY MORAN ENGINEERING



HEINRICH ASSOCIATES
ARCHITECTURAL & COMMERCIAL DESIGN
370 Courthouse Road, Suite 154 - Gulfport, MS 39507
Ph: (228) 833-1100
info@heinrichassociates.net

FLOOR PLAN

INTERIOR BUILD-OUT FOR
MISSISSIPPI ANTIQUE GALLERIA
GULFPORT, MS

Sheet Title

Date: 11-07-24

Drawn By: H.N.

Check By: R.B.H.

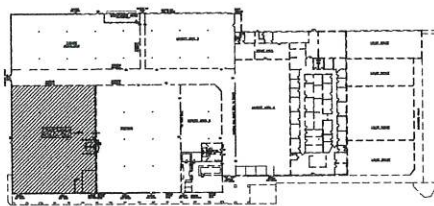
REV.

Sheet

B1

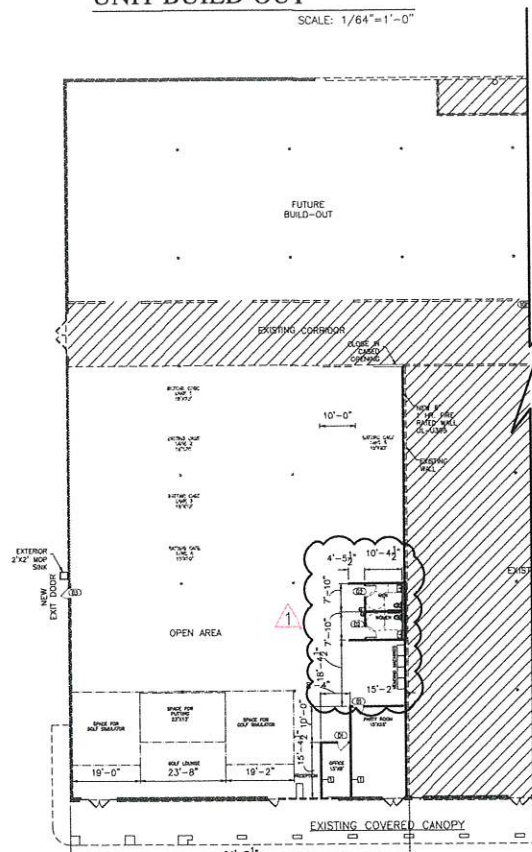
Project No

24-160



UNIT BUILD-OUT

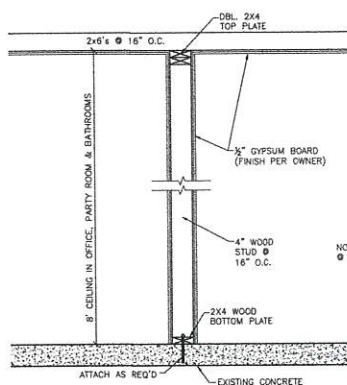
SCALE: 1/64"=1'-0"



FLOOR PLAN

SCALE: 1/16"=1'-0"

WALL TYPE:
 8'-0" HIGH WALL OPEN CEILING "X"
 BRACING REQUIRED @ ALL CORNERS



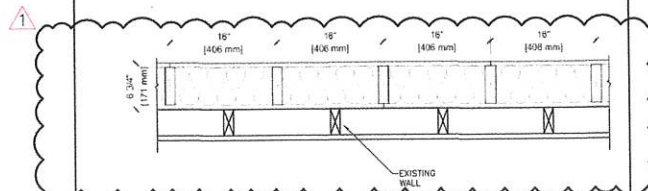
TYP. INTERIOR WALL DETAIL

NON RATED ASSEMBLY

NOTE: X BRACING REQUIRED
 @ ALL CORNERS.

DESIGN NO. UL U305

FIRE RATING: 1-HR
 STC RATING: 35
 SOUND TEST: USG 1012/4
 SYSTEM THICKNESS: 6.34" (161 MM)
 LOCATION: INTERIOR
 FRAMING TYPE: WOOD STUD (LOAD-BEARING)



ASSEMBLY REQUIREMENTS:

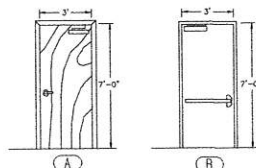
GYPSON PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® GYPSON PANEL (UL TYPE SGA)
 WOOD STUDS: 2" X 6" (50 X 140 MM) WOOD STUDS, 16" (406 MM) O.C.
 INSULATION: 6 1/2" (165 MM) BATT INSULATION
 GYPSON PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® GYPSON PANEL (UL TYPE SGA)

UL-U305 ASSEMBLY

1-HR RATED ASSEMBLY

DOOR & FRAME SCHEDULE

SYM	SIZE	QTY.	DOOR DESCRIPTION	ELEVATION OR TAG	OPERATING HARDWARE	FRAME DESCRIPTION	FIRE RATING	REMARKS
D1	3'-0" x 7'-0"	2	FLUSH SOLID CORE	A	LEVER HANDLE - US280	WOOD	N/A	INTERIOR
D2	3'-0" x 7'-0"	2	FLUSH SOLID CORE	A	PRIVACY - LEVER HANDLE - US280	WOOD	N/A	INTERIOR - BATHROOM
D3	3'-0" x 7'-0"	1	STEEL DOOR	B	MORTISE - PANIC BAR - US280	STEEL	N/A	EXTERIOR - CLOSER - WEATHER STRIP - THRESHOLD



- NOTE:
- ALL DOORS AND WINDOWS WITHIN A 1-HR FIREWALL MUST BE 45 MINUTE RATED (MH).
 - ALL DOORS LOCATED WITHIN A 1-HR FIREWALL SHALL BE SELF-CLOSING.
 - ALL DOOR AND WINDOW STYLES AND COLORS SHALL BE SELECTED BY OWNER.
 - CONTRACTOR SHALL ENSURE THAT ALL WINDOWS MEET THE REQUIREMENTS OF SECTION 1609.1.4 OF THE INTERNATIONAL BUILDING CODE 2018 EDITION, PROTECTION FROM WINDBORNE DEBRIS AND MEET THE REQUIREMENTS OF THE LARGE WIND TEST OF ASTM E 1998 OR CONTRACTOR SHALL USE PRE-CUT WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16" WITH A MAXIMUM SPAN OF NO MORE THAN 8 FEET THAT SHALL REMAIN ON SITE AT ALL TIMES. CONTRACTOR SHALL ENSURE THAT ALL ATTACHMENTS SHALL BE IN ACCORDANCE WITH TABLE 1609.1.4 OF INTERNATIONAL BUILDING CODE 2012 EDITION.
 - ALL DOOR SIZES SHOWN ARE CLEAR OPENING. REFER TO DOOR MANUFACTURER FOR ACTUAL ROUGH IN SIZE TO BE CONSTRUCTED.
 - ALL EXIST DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL.
 - ALL DOOR FRAMES TO BE METAL.

NEW WORK LEGEND

EXISTING WALLS	----
NEW WORK - WALLS	=====
EXISTING - WALLS	=====
8x6x16" CMU	=====
NEW 1 HOUR FIRE WALL	=====

AREA CALCULATIONS

B OCCUPANCY

EXISTING AREA: 61,179 SF
 RENOVATED AREA: 11,189 SF
 FUTURE BUILD-OUT: 10,033 SF
 TOTAL SF: 82,371 SF

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.

NOTE:
 NO ON-SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER, BUILDER/CONTRACTOR. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

TERRY MORAN, P.E., P.L.S.
 P.O. Box 4725
 Bismarck, ND 58105
 P: (701) 223-9944
 F: (701) 223-9945

TME
 TERRY MORAN ENGINEERING



HEINRICH ASSOCIATES
 RESIDENTIAL & COMMERCIAL DESIGN
 378 Courthouse Road, Suite 100
 Bismarck, ND 58105
 P: (701) 223-9944
 F: (701) 223-9945
 aheinh@heinhassociates.net

FLOOR PLAN

INTERIOR BUILD-OUT FOR
 MISSISSIPPI AND GALLERIA
 GULFPORT, MS

Sheet Title

Project Title

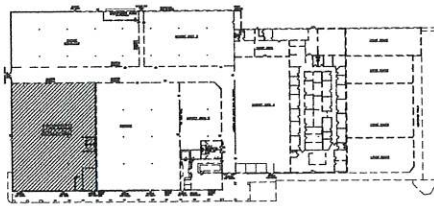
Drawn By: H.N.

Check By: R.H.L.

REV: 12/02/24

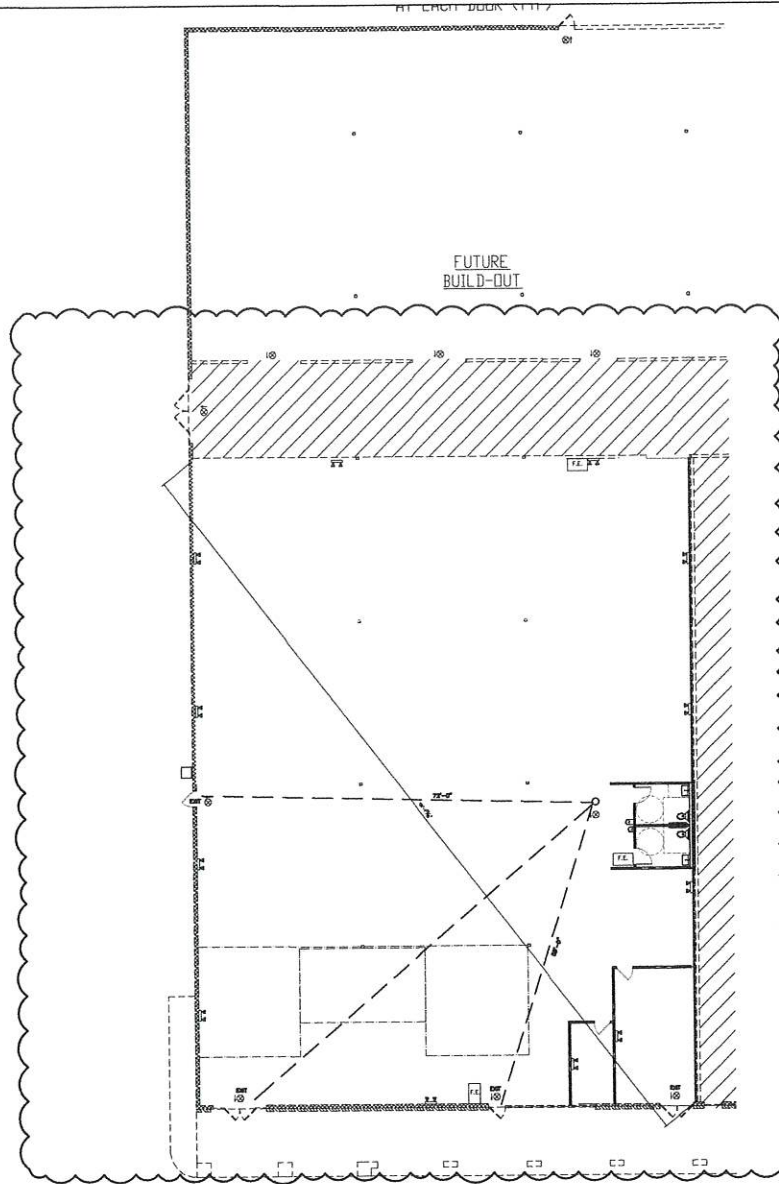
Project No: 24-160

B2



UNIT BUILD-OUT

SCALE: 1/8"=1'-0"



FUTURE
BUILD-OUT

LIFE SAFETY - FLOOR PLAN

SCALE: 3/32"=1'-0"

AREA CALCULATIONS	
B OCCUPANCY	
OCCUPANCY LOAD 30	
EXISTING AREA	81,178 SF
RENOVATED AREA	11,185 SF
FUTURE BUILD-OUT	10,003 SF
TOTAL SF	82,371 SF

NOTE: NO ON-SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

TERRY MORAN, P.E., P.L.S.
P.O. Box 4725
Blount, MS 39535
Ph (228) 964-4725
Fax (228) 964-4726



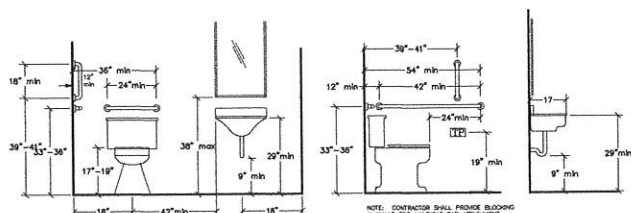
TME
TERRY MORAN ENGINEERING

HEINRICH ASSOCIATES
RESIDENTIAL & COMMERCIAL DESIGN
379 Courthouse Road, Suite 104, Gulfport, MS 39507
Ph (228) 833-1100
eha@heinchassociates.net

Sheet Title
Date: 11/07/24
Drawn By: JLN
Check By: RBL
REV: 12/03/24
REV: 12/11/24
Project No: 24-160

Project Title
INTERIOR BUILD-OUT FOR
MISSISSIPPI ANTIQUE GALLERIA
GULFPORT, MS

Sheet
B3



ADA PLUMBING ELEVATIONS

N.T.S.

PLUMBING LEGEND

- WASTE LINE - EXISTING
- WASTE LINE - ABOVE FINISH FLOOR
- WASTE LINE - BELOW FINISH FLOOR
- Ø" PIPE DIAMETER
- Ø" GAS CONNECTION VALVE
- WATER CONNECTION VALVE
- FLOOR DRAIN
- ELBOW UP
- ELBOW DOWN
- TEE UP
- TEE DOWN
- REDUCER/INCREASER FITTING
- STUDDOR AIR VALVE
- WATER CLOSET UP
- CLEAN OUT
- FLOOR DRAIN
- TROUGH W/ GRATE
- FLOOR SINK

PLUMBING NOTES

1. CONTRACTOR SHALL LOCATE & VERIFY ALL EXISTING UTILITIES AND UTILITY TIE-INS PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL SUPPLY AND INSTALL PLUMBING IN ACCORDANCE WITH LIFE SAFETY CODE, 2018 EDITION AND INTERNATIONAL PLUMBING CODE, 2018 EDITION.
3. CONTRACTOR SHALL CONSULT WITH OWNER AND PROVIDE EQUIPMENT AND MATERIALS ACCORDING TO OWNER'S REQUIREMENTS.
4. CONTRACTOR SHALL TIE INTO EXISTING SEWER & WATER SERVICES.
5. CONTRACTOR SHALL COORDINATE WITH SPRINKLER SYSTEM DESIGNER TO ENSURE PROPER LOCATION AND SIZE OF RISER AND SPRINKLER HEADS (IF REQUIRED).
6. ALL SEWER PIPING SHALL MAINTAIN A MIN. DOWNWARD SLOPE OF 1/4" PER FOOT.
7. CONTRACTOR SHALL INSTALL AUTOMATIC TRAP PRIMERS ON ANY FLOOR DRAINS SHOWN ON PLANS.
8. CONTRACTOR SHALL ENSURE THE BATHROOM EXHAUST DUCT FAN IS SIMULTANEOUSLY SWITCHED ON & OFF W/ EACH BATHROOM EXHAUST FAN.
9. EXTERIOR WATER VALVES AND PLANTER IRRIGATION SHALL BE CONNECTED TO IRRIGATION SERVICE VALVE.

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Brent, MS 39005
Ph: (228) 986-4733
Fax: (228) 986-2709

TME
TERRY MORAN ENGINEERING



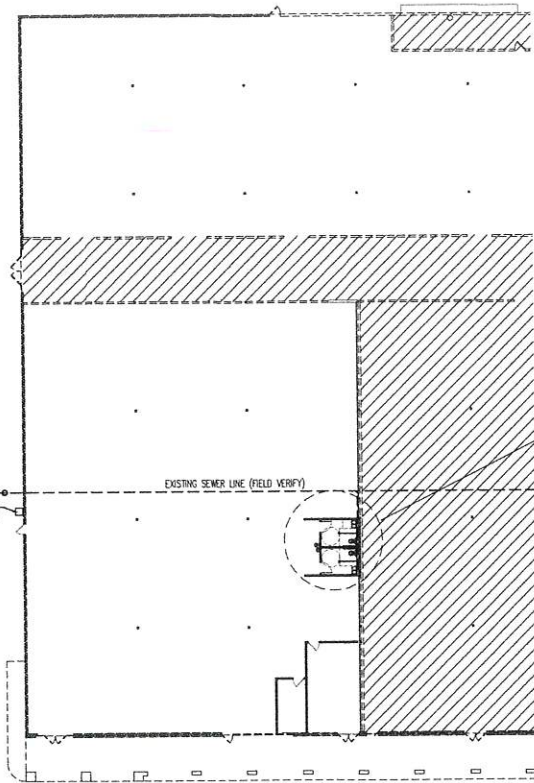
HEINRICH - ASSOCIATES
RESIDENTIAL & COMMERCIAL DESIGN
370 Courthouse Road, Suite 104 - Gulfport, MS 39507
PH: 392-4444
FAX: 392-4444
info@heinrichassociates.net



PLUMBING PLAN
INTERIOR BUILD-OUT FOR
MISSISSIPPIANTIQUE GALLERIA
GULFPORT, MS

Sheet Title
Date: 11-07-24
Drawn By: J.L.N.
Check By: J.L.L.
REV: 12-03-24
2, 12-11-24

Sheet
P1
Project No
24-160

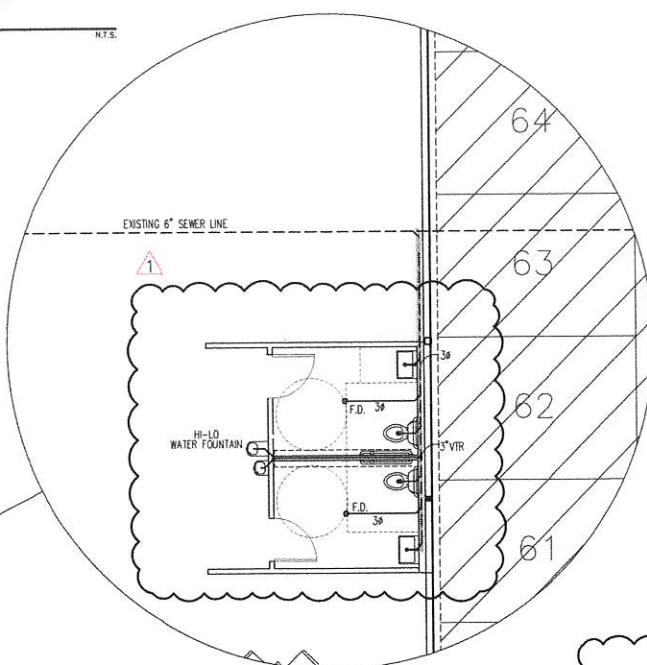


PLUMBING PLAN

SCALE: 1/16"=1'-0"

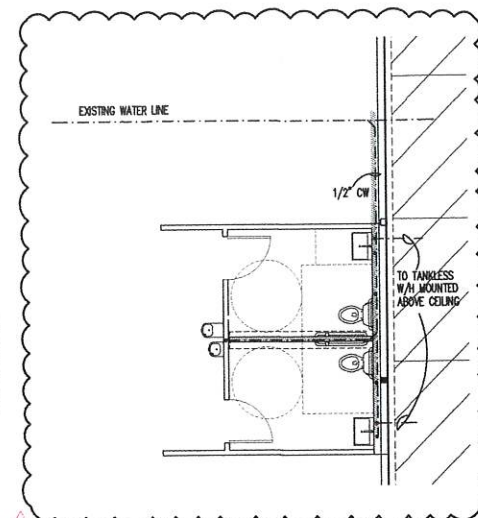
NOTE:
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

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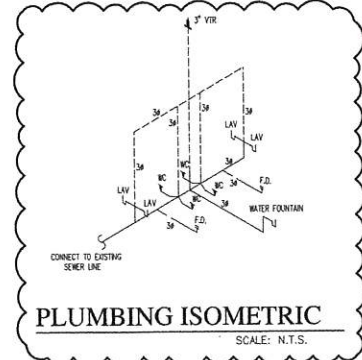
ENLARGED SEWER PLAN

SCALE: 1/4"=1'-0"



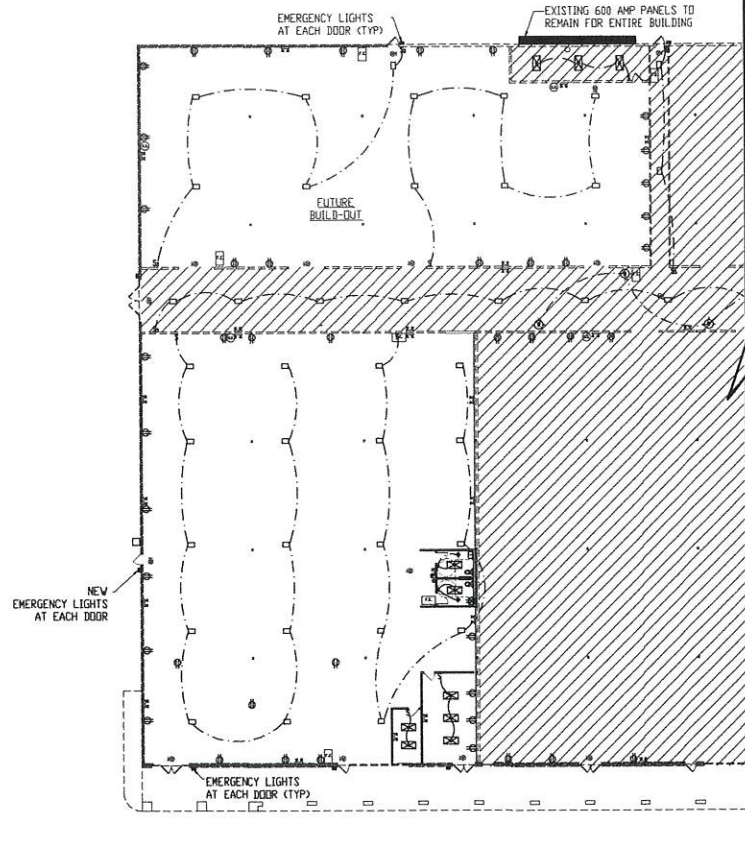
SUPPLY PIPING PLAN

SCALE: 1/4"=1'-0"



PLUMBING ISOMETRIC

SCALE: N.T.S.



ELECTRICAL PLAN

SCALE: 1/16"=1'-0"

ELECTRICAL NOTES

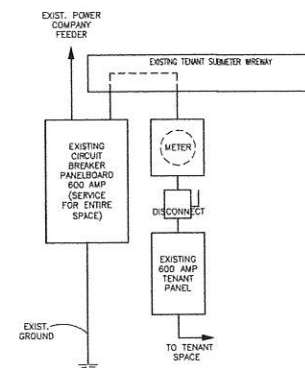
- 1) ELECTRICAL FIXTURES, SWITCHES, OUTLETS ETC. ARE SHOWN FOR GENERAL LOCATION ONLY. MOUNTING HEIGHTS, FIXTURE TYPES, AND EXACT LOCATIONS PER OWNER AND CONTRACTOR.
- 2) CONTRACTOR SHALL INSTALL ELECTRICAL POWER AND LIGHTING IN ACCORDANCE WITH LIFE SAFETY CODE, 2018 EDITION AND NATIONAL ELECTRIC CODE, 2018 EDITION.
- 3) CONTRACTOR SHALL ENSURE THAT ALL EMERGENCY LIGHTING (SECTION 1006) AND EXIT LIGHTING (SECTION 1011) IS IN COMPLIANCE THE INTERNATIONAL BUILDING CODE 2018 EDITION.
- 4) A/C UNIT SHALL BE SIZED BY OTHERS.
- 5) CONTRACTOR SHALL VERIFY WITH OWNER, PHONE, AND CABLE LOCATIONS.
- 6) ELECTRICAL PANELS SIZE TO BE CONFIRMED BY CONTRACTOR AND LEGIBLY LABELED ACCORDINGLY.
- 7) FIRE AND SMOKE DETECTION TO BE DESIGNED BY OTHERS.
- 8) CONTRACTOR SHALL ENSURE THAT ALL ELECTRICAL EQUIPMENT INSTALLED OR USED SHALL BE REASONABLY SAFE TO PERSONS AND PROPERTY AND IN CONFORMITY WITH THE PROVISIONS OF THIS ARTICLE, THE APPLICABLE STATUTES OF THE STATE AND ANY ORDERS, RULES OR REGULATIONS ISSUED BY THE AUTHORITY THEREOF. CONFORMITY WITH THE APPLICABLE STANDARDS OF THE UNDERWRITERS' LABORATORIES, INC., SHALL BE PRIMA FACIE EVIDENCE THAT SUCH EQUIPMENT IS REASONABLY SAFE TO PERSONS AND PROPERTY.
- 9) ALL COMMERCIAL BUILDINGS SHALL BE WIRED IN METAL GALVANIZED RIGID CONDUIT, ELECTRICAL METALLIC TUBING, POLYVINYL CHLORIDE (PVC) CONDUIT OR AFC CABLEING SYSTEMS INCLUDING MC AND AC CABLE. ALL RACEWAY SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED METHODS OF THE 2018 NEC.
- 10) CONTRACTOR SHALL NOT USE ANY ELECTRICAL CONDUCTOR SMALLER THAN NUMBER TWELVE-GAUGE COPPER AND ALL ALUMINUM WIRING IS PROHIBITED AND SHALL NOT BE USED WITHIN OR ON ANY BUILDING, STRUCTURE OR PREMISES, PUBLIC OR PRIVATELY OWNED.

FIXTURE LEGEND

- ⊠ LITHONIA 20TB 432 B12 120 GEB (2x4)
- ⊠ LITHONIA NIGHT LIGHT (2x4)
- ⊠ EXISTING LITHONIA LED HIGH BAY
- ⊠ SINGLE POLE WALL SWITCH
- ⊠ LITHONIA LHQM SWIR 120/277 EXIT/EMER. PACK
- ⊠ SECURITY LIGHT W/ PHOTOCELL
- ⊠ WALL MOUNTED LIGHT
- ⊠ SERVICE PANEL (TO BE SIZED BY CONTRACTOR)
- ⊠ 110V DUPLEX CIRCUIT
- ⊠ CEILING MOUNTED DUPLEX CIRCUIT
- ⊠ SIGN CIRCUIT ON TIMER
- ⊠ EMERGENCY LIGHTS W/ BATTERY BACK-UP
- ⊠ F.E. FIRE EXTINGUISHER
- ⊠ S.D. SMOKE DETECTOR

NOTE:
ELECTRICAL SHALL TIE INTO
EXISTING 200 AMP SERVICE

NOTE:
ALL OUTLETS AND LIGHTING ARE EXISTING
UNLESS OTHERWISE SHOWN.



RISER DIAGRAM

N.T.S.

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TERRY MORAN, P.E., P.L.S.
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License No. 10008
Mississippi State Board of Engineers
Boswell, MS 39033 Fax (228) 896-6797



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ARCHITECTS & COMMERCIAL DESIGN
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Ph (228) 896-6798 - Fax (228) 896-6799
ahs@heinchassociates.com

Sheet Title ELECTRICAL PLAN
Project Title INTERIOR BUILD-OUT FOR MISSISSIPPI ANTIQUE GALLERIA GULFPORT, MS

Rev. 1 1/27/24
Drawn By J.H.N.
Check By R.B.H.
REV.
Sheet E1
Project No. 24-160



Michael Watson

SECRETARY OF STATE

This is not an official certificate of good standing.

Name History

Name	Name Type
1909 East Pass Road, LLC	Legal
Mississippi Antique Galleria	Fictitious Name
The MAG	Fictitious Name
Shoppe the Square at The MAG	Fictitious Name

Business Information

Business Type:	Limited Liability Company
Business ID:	1167858
Status:	Good Standing
Effective Date:	02/05/2019
State of Incorporation:	Mississippi
Principal Office Address:	4051 Gautier Vancleave Rd Gautier, MS 39553

Registered Agent

Name
Nikki Skrmetti
4051 Gautier Vancleave Rd
Gautier, MS 39553

Officers & Directors

Name	Title
Jordan Mathews 2355 Pass Road Biloxi, MS 39531	Organizer
James H Horne 4051 Gautier Vancleave Rd Gautier, MS 39553	Member
David Richards 4051 Gautier Vancleave Rd Gautier, MS 39553	Member

B198127



1st Judicial District
Instrument 2019-1154-D-31
Filed/Recorded 02/27/2019 10:25 AM
Total Fees \$12.00
2 Pages Recorded

Prepared by & Return To:
Schwartz, Orgler & Jordan, PLLC
P O Box 4682
Biloxi, MS. 39535
228-388-7441

Index: Lot 2, Blk 17, Great Southern Golf Estates, Unit 3
and Sec. 29-7-10

STATE OF MISSISSIPPI
COUNTY OF HARRISON

SPECIAL WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged, the undersigned,

VILLAGE SQUARE GULFPORT, LLC,

849 Scenic Drive, Pass Christian, MS 39571, (228) 363-2819,

does hereby sell, convey and specially warrant unto

1909 EAST PASS ROAD, LLC,

P. O. Drawer 1238, Gautier, MS 39553 (228) 363-2819,

the following described land and property being located in the First Judicial District of Harrison County, Mississippi, being more particularly described as follows, to-wit:

TRACT 1: All of Grantors' fee simple interest in and to those certain parcels or lots of land located in Harrison County, First Judicial District, Mississippi, more particularly described below, including all improvements thereon and all of Grantor's right, title and interest in all leases attaching thereto.

PARCEL NO. 1: The east 250 feet of the west 538.4 feet of Lot 2, Block 17 of GREAT SOUTHERN GOLF ESTATES SUBDIVISION, Unit 3, Section 29, Township 7 South, Range 10 West, according to the map or plat thereof on file and of record in Plat Book 20, page 32 of the Records of Harrison County, Mississippi.

PARCEL NO. 2: The east 150 feet of the west 688.4 feet of Lot 2, Block 17, of GREAT SOUTHERN GOLF ESTATES SUBDIVISION, Unit 3, in Section 29, Township 7 South, Range 10 West, according to a map or plat thereof on file and of record in Plat Book 20, page 32 of the Records of Harrison County, Mississippi.

PARCEL NO. 3 Commencing at the corner common to Section 29, 30, 31 and 32, Township 7 South, Range 10 West, Harrison County, Mississippi, run thence North 89 degrees 53 minutes East 1023.4 feet to a concrete marker on said section line which is the southwest corner of the property conveyed to Handsboro United Methodist Church, thence run North 0 degrees 21 minutes east 469.0 feet to a point of beginning.

2

From the point of beginning run north 89 degrees 53 minutes east 179.7 feet to the west right of way of Ford Street; thence run South 0 degrees 07 minutes west 50.0 feet along the west right of way of Ford Street; thence run South 89 degrees 53 minutes west 179.9 feet; thence run North 0 degrees 21 minutes east 50.0 feet to the POINT OF BEGINNING. Being a part of Lot 2, Block 17 of GREAT SOUTHERN GOLF ESTATES SUBDIVISION, Unit 3, Section 29, Township 7 South, Range 9 West, according to the map or plat thereof on file and of record in Plat Book 20, page 32 of the Records of Harrison County, Mississippi.

Being the same property conveyed to Khanh Dinh Vu and Phuong-Anh Cao Vu in Instrument Number 2004-2484 D-J1, to Village Square Mall, LLC, by Instrument Number 2005-15034 D-J1 and to Village Square Gulfport, LLC, by Instrument Number 2019 569-D-J1.

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, rights-of-way and easements applicable to subject property, and subject to any and all prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners.

TAXES for the current year have been pro-rated as of this date and are hereby assumed by the Grantee herein.

IN WITNESS WHEREOF, Village Square Gulfport, LLC, has caused this conveyance to be executed by its duly authorized officer, after having first been duly authorized to do so, on this the 26th day of February, 2019.

Village Square Gulfport, LLC

BY: 
Jourdan Nicaud, Sole Member

STATE OF MISSISSIPPI

COUNTY OF HARRISON

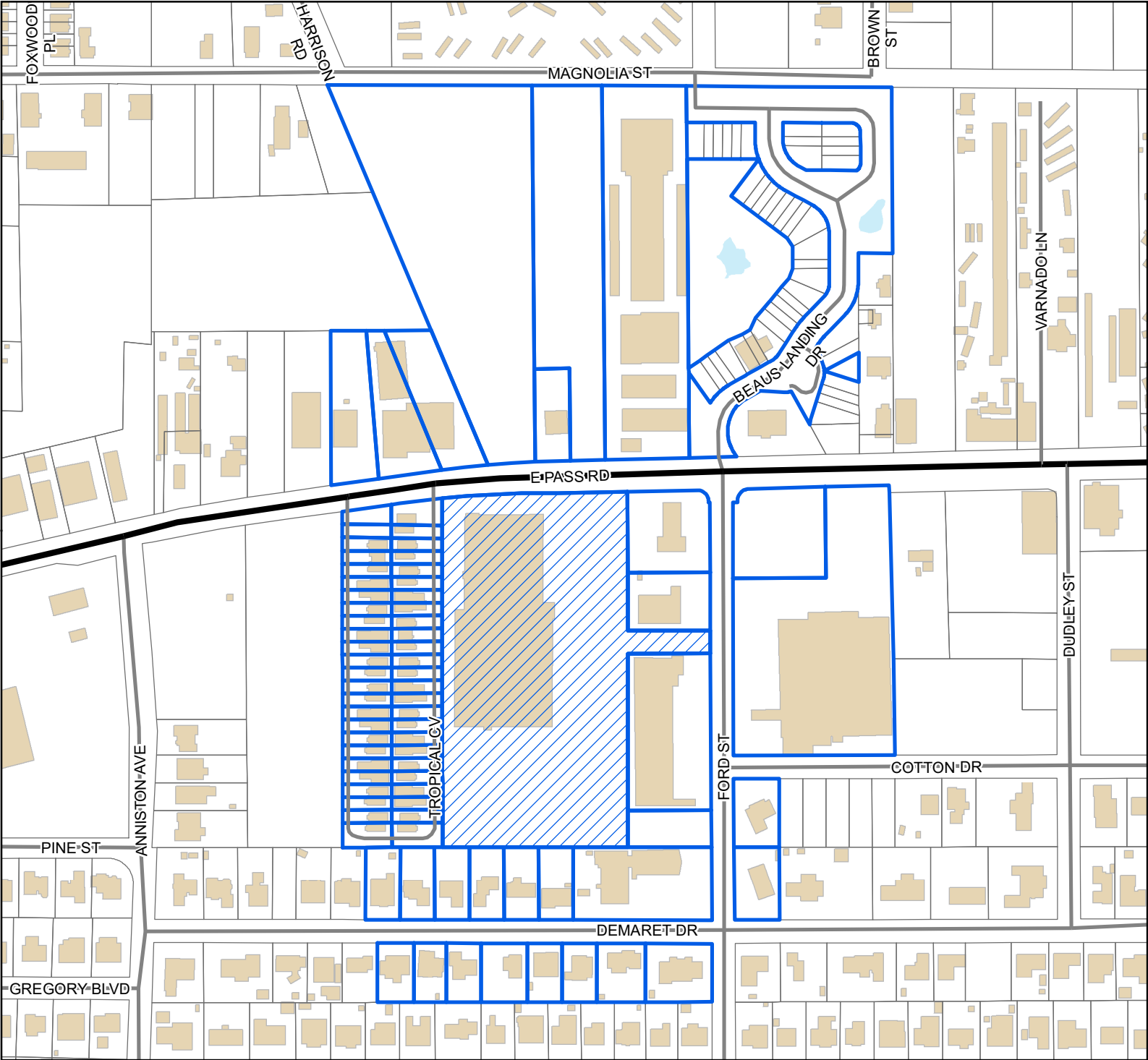
THIS DAY PERSONALLY CAME AND APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, Jourdan Nicaud, who acknowledged that he is the Sole Member of Village Square Gulfport, LLC, and as its act and deed, he signed, sealed and delivered, the above and foregoing instrument of writing on the day and in the year therein mentioned, for and on behalf of said entity after having been first duly authorized to do so.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 26th day of February, 2019.



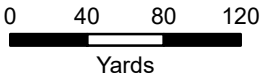
My Commission Expires: _____


NOTARY PUBLIC



Legend

- Site
- Adjacent Properties
- US or State Highway
- Street
- Buildings
- Water Features



1 inch = 300 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y		1010G-03-018.000	1909 EAST PASS ROAD LLC (OWNER)	P.O. BOX 1238	GAUTIER	MS	39553
			Adjacent Property Owners(2501ARC001)				
	128174	1010G-03-019.040	SIGNATURE GULF COAST PROPERTIES LLC	1715 21ST AVE	GULFPORT	MS	395012942
N	128175	1010G-03-019.041	SIGNATURE GULF COAST PROPERTIES LLC	1715 21ST AVE	GULFPORT	MS	395012942
	30094	1010G-02-030.000	SOUTHERN CHARM FURNITURE & DESIGN L	1852 E PASS RD	GULFPORT	MS	39507
N	20577	1010G-02-031.000	SOUTHERN CHARM FURNITURE & DESIGN L	1852 E PASS RD	GULFPORT	MS	39507
	128143	1010G-03-019.009	CLARKE DEVELOPMENTS LLC	431 SANLENAY COURT	BILOXI	MS	39531
	128145	1010G-03-019.011	OLGUIN RODERICK A & ANDREA M	2602 SHORELINE RD	BRADLEY	CA	93426
	20579	1010G-02-032.000	CALHOUN JOSEPH C	P O BOX 7995	GULFPORT	MS	395067995
	106805	1010G-03-018.002	MERCY HOUSING & HUMAN DEVELOPMENT	1135 FORD STREET	GULFPORT	MS	39507
N	128142	1010G-03-019.008	CLARKE DEVELOPMENTS LLC	431 SANLENAY COURT	BILOXI	MS	39531
N	128144	1010G-03-019.010	CLARKE DEVELOPMENTS LLC	431 SANLENAY COURT	BILOXI	MS	39531
	112290	1010G-03-018.003	GULFPORT STORAGE SERVICES LLC	909 POYDRAS ST STE 2660	NEW ORLEANS	LA	70112
	27678	1010J-02-003.000	DOYLE PAULA D ETAL	2321 DEMARET DR	GULFPORT	MS	39501
	27677	1010J-02-004.000	DEVAUGHN ROLEN MICHAEL & SANDRA D	2319 DEMARET DR	GULFPORT	MS	39507
	26696	1010G-02-026.000	GULFPORT SELF STORAGE INC	P O BOX 1238	GAUTIER	MS	395531238
	128173	1010G-03-019.039	KELLY WILLIE F & JOANN M	1608 BEASLEY DRIVE	TERRY	MS	39170
	20576	1010G-02-029.000	ALLEN JONATHAN	1440 MILL RD	GULFPORT	MS	39507
	83532	1010G-02-027.000	ROSS EARL W & WALLIS GLENN	337 FAIRVIEW DR	BILOXI	MS	39531
	26695	1010G-02-028.000	RUSSELL A GARNER	7222 MAGNOLIA DRIVE	PASS CHRISTIAN	MS	39571
	103071	1010G-03-018.001	COFLO PROPERTIES LP	P O BOX 229	LAWRENCEVILLE	GA	30046
	27674	1010J-02-007.000	HA THUY VAN & THUTHUY	2313 DEMARET DR	GULFPORT	MS	395072802
	128149	1010G-03-019.015	WE DO IT RESIDENTIAL LLC	2623 W ANGELA CIR	GULFPORT	MS	39503
	128151	1010G-03-019.017	JOHNSON CARMINE	1320 TROPICAL CV	GULFPORT	MS	39507
	128169	1010G-03-019.035	BRISCOE ROBERT B & SYLVIA -TRUSTEES	2560 MERCEDES DR	BILOXI	MS	39531
	128171	1010G-03-019.037	SKKM PROPERTIES LLC	179 KENMORE AVE	BILOXI	MS	39531
	27701	1010J-02-020.000	SCHULTZ ALAN & ANGELINA Y	2322 DEMARET DR	GULFPORT	MS	39507
	27703	1010J-02-022.000	HOLLAND HUDSON R & DIRJKE A	2326 DEMARET DRIVE	GULFPORT	MS	39507
	27785	1010G-03-016.000	M P HOLDINGS LLC	2001 E PASS RD	GULFPORT	MS	39507
	27774	1010G-03-014.000	CEH PROPERTIES LLC	1010 FORD ST	GULFPORT	MS	39507
	27681	1010J-01-014.000	MICELE I JOHN	1008 FORD ST	GULFPORT	MS	39507
	27679	1010J-02-002.000	HAWTHORNE MARY B	2323 DEMARET DR	GULFPORT	MS	39507
N	128146	1010G-03-019.012	CLARKE DEVELOPMENTS LLC	431 SANLENAY COURT	BILOXI	MS	39531
	128161	1010G-03-019.027	MOUNTAIN INVESTMENTS LLC	19024 FIELDSTONE CT	SALINAS	CA	93908
	128162	1010G-03-019.028	BOSCO PETER J	4641 OLD BETHLEHEM PIKE	BETHLEHEM	PA	18015
	128163	1010G-03-019.029	YEE JONAH	4641 BETHLEHEM	BETHLEHEM	PA	18015

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
	27698	1010J-02-017.000	SAVNER MALLOY E	2316 DEMARET DR	GULFPORT	MS	39507
	27699	1010J-02-018.000	WRIGHT SUSAN G	2318 DEMARET ST	GULFPORT	MS	39507
N	27786	1010G-03-018.000	1909 EAST PASS ROAD LLC	P O BOX 1238	GAUTIER	MS	39553
	128158	1010G-03-019.024	RKWE HOLDINGS LLC	224 PECAN MEADOW DR	BATON ROUGE	LA	70810
	128160	1010G-03-019.026	DU XIAOYI & LU ZHIXIONG	3184 EVANS WAY	TWINSBURG	OH	44087
	27676	1010J-02-005.000	UNDERWOOD DOROTHY K	2317 DEMARET DR	GULFPORT	MS	39507
	27675	1010J-02-006.000	SNYDER DAVID D JR & CANDACE	2315 DEMARET DR	GULFPORT	MS	39507
	128147	1010G-03-019.013	WSMBD LLC	P O BOX 320073	FLOWOOD	MS	39232
	128148	1010G-03-019.014	TRAN ROSEMARY	6012 OLDE MAGNOLIA DR	OCEAN SPRINGS	MS	39564
	128164	1010G-03-019.030	MOUNTAIN INVESTMENTS LLC	19024 FIELDSTONE CT	SALINAS	CA	93908
	128172	1010G-03-019.038	THOMAS ROLAND G	1272 TROPICAL COVE	GULFPORT	MS	39507
N	128155	1010G-03-019.021	RKWE HOLDINGS LLC	224 PECAN MEADOW DR	BATON ROUGE	LA	70810
	128156	1010G-03-019.022	TOMOHAWK PROPERTIES LLC	7247 LIVE OAK WAY	PASS CHRISTIAN	MS	39571
N	128165	1010G-03-019.031	MOUNTAIN INVESTMENTS LLC	19024 FIELDSTONE CT	SALINAS	CA	93908
	128166	1010G-03-019.032	COBB JIMMY RANDALL	857 HIGHLAND PARK DR	TUPELO	MS	38801
	128176	1010G-03-019.042	YOREK JAMES & BERNADINE	1664 BEACH BLVD #J141	BILOXI	MS	39531
N	128177	1010G-03-019.043	SIGNATURE GULF COAST PROPERTIES LLC	1715 21ST AVE	GULFPORT	MS	39501
	128153	1010G-03-019.019	LUI AMY	1325 HOWARD AVE #221	BURLINGAME	CA	94010
N	128154	1010G-03-019.020	CLARKE DEVELOPMENTS LLC	431 SANLENAY CT	BILOXI	MS	39531
	27700	1010J-02-019.000	SCIPIONE KIM D & NANCY W	1447 EAST PASS ROAD	GULFPORT	MS	39507
N	128167	1010G-03-019.033	CLARKE DEVELOPMENTS LLC	431 SANLENAY CT	BILOXI	MS	39531
	103559	1010G-03-016.001	M P HOLDINGS LLC	2001 E PASS ROAD	GULFPORT	MS	39507
	128178	1010G-03-019.044	HINES TERRY & WATSON CARRIE	11544 STANTON CIRCLE	GULFPORT	MS	39503
	128179	1010G-03-019.045	JUNY BEACH PROPERTIES LLC	139-25 31 RD APT 3D	FLUSHING	NY	11354
	128180	1010G-03-019.046	MOUNTAIN INVESTMENTS LLC	19024 FIELDSTONE COURT	SALINAS	CA	93908
N	128150	1010G-03-019.016	RKWE HOLDINGS LLC	224 PECAN MEADOW DR	BATON ROUGE	LA	70810
N	128157	1010G-03-019.023	SIGNATURE GULF COAST PROPERTIES LLC	1715 21ST AVE	GULFPORT	MS	39501
N	128159	1010G-03-019.025	SKKM PROPERTIES LLC	179 KENMORE AVE	BILOXI	MS	39531
	27704	1010J-02-023.000	ROLLINS HENRY & OLENE L/E	2330 DEMARET DR	GULFPORT	MS	39501
	27680	1010J-02-001.000	HANDBORO UNITED METHODIST CHURCH	2333 DEMARET DR	GULFPORT	MS	39507
N	27787	1010G-03-017.000	HANDBORO UNITED METHODIST CHURCH	2333 DEMARET DR	GULFPORT	MS	39507
	128152	1010G-03-019.018	CAI JIANPING & YIYI DU	118 ODYESSEY DR	WILMINGTON	DE	19808
N	128168	1010G-03-019.034	CLARKE DEVELOPMENTS LLC	431 SANLENAY COURT	BILOXI	MS	39531
	128170	1010G-03-019.036	TRAN ROSEMARY	6012 OLDE MAGNOLIA DR	OCEAN SPRINGS	MS	39564
	27697	1010J-02-016.000	PAGLIA ALBERT B	2314 DEMARET DR	GULFPORT	MS	39507
	27702	1010J-02-021.000	FAYARD MARTHA V	2324 DEMARET DR	GULFPORT	MS	39501

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
	128182	1010G-03-019.048	OLGUIN RODERICK	2602 SHORELINE ROAD	BRADLEY	CA	93426
	128138	1010G-03-019.004	SIMANTS VICKIE L	320 S CONTY RD 21	LOVELAND	CO	80537
N	128140	1010G-03-019.006	SKKM PROPERTIES LLC	179 KENMORE AVE	BILOXI	MS	39531
N	128184	1010G-03-019.050	SIGNATURE GULF COAST PROPERTIES LLC	1715 21ST AVE	GULFPORT	MS	39501
	128135	1010G-03-019.001	STELLY MARY G	21305 JOHNSON RD	LONG BEACH	MS	39560
	128136	1010G-03-019.002	MIHALOVICH GREG	1715 21ST AVE	GULFPORT	MS	395012942
N	128137	1010G-03-019.003	CLARKE DEVELOPMENTS LLC	431 SANLENAY CT	BILOXI	MS	39531
N	128181	1010G-03-019.047	OLGUIN RODERICK	2602 SHORELINE ROAD	BRADLEY	CA	93426
	128183	1010G-03-019.049	SIGNATURE GULF COAST PROPERTIES LLC	1715 21ST STREET	GULFPORT	MS	39501
	128139	1010G-03-019.005	HEBERT CHRISTOPHER S	440 E PASS RD	GULFPORT	MS	39507
	128141	1010G-03-019.007	SOLA GRATIA LLC	9585 SOUTH BAYOU BEND DR	GULFPORT	MS	39503
	83529	1010G-02-025.000	GULF COAST LAND & DEVELOPMENT LLC	939 E SCENIC DR	PASS CHRISTIAN	MS	39571