

AGENDA

GULFPORT CITY ARCHITECTURAL REVIEW COMMITTEE MEETING

CITY HALL COUNCIL CHAMBERS

THURSDAY, APRIL 13, 2023 AT 3:00 PM

- A. Prayer**
- B. Pledge of Allegiance**
- C. Call to Order**
- D. Determination of a Quorum**
- E. Confirmation of Agenda**
- F. Announcements**

F1. If you are aggrieved by a vote of the Architectural Review Committee, see below.

Any person or any officer, department or agency of the City aggrieved by a decision of the Architectural Review Committee may, within fifteen (15) days thereafter, appeal therefore to the Gulfport City Council by submitting to the Department of Urban Development – Planning Division a written notice of appeal specifying the decision from which the appeal is taken.

F2. Speaker Card

Please provide the completed card at the time you speak to the Architectural Review Committee. City staff personnel can assist in any questions you may have or in completing the card. This public meeting is open to all for comment.

G. Adoption of Minutes

G1. Architectural Review Committee - February 24, 2023

H. Hearing of Cases

H1. Signs

H2. Architectural Review Committee Permits

**3. Architectural Review 2303ARC001:
Withdrawn by applicant**

Architectural Review Committee, 2303ARC001, by agent Austin Keith, Request a waiver from design review standards to allow for a flat roof where a pitched roof is required at Tax Parcel 1008F-01-005.000. 11837 Highlands Circle, Zoned R-B (Residence Business), Ward 6

4. Architectural Review 2303ARC002:

Architectural Review 2303ARC002, by agent Marty Hardy, Request waiver from design review standards at Tax Parcel 0808N-04-028.004, regarding landscaping islands, and pedestrian sidewalks and walkways, Zoned B-2 (General Business), Ward 7

5. Architectural Review 2304ARC003:

Architectural Review 2304ARC003, by owner Highland Lake Townhomes, LLC, requests approval at Tax Parcel 1008F-01-001.000 for subdivision identification sign for Highland Lake Townhomes, Zoned R-B (Residential Business), Ward 6

6. Architectural Review 2304ARC004:

Architectural Review 2304ARC004, by owner Gus Gamboa, requests approval at Tax Parcel 0909G-01-001.007 for metal panels on a new building, located on Seaway Road, Zoned B-2 (General Business), Ward 7

7. Architectural Review 2304ARC005:

Architectural Review 2304ARC005, by agent Jon D. Storonsky, requests design approval at Tax Parcel 0910M-02-001.000, for a double-sided pole sign and sign ID cabinet, located at 607 Pass Road, Zoned B-2 (General Business), Ward 3

8. Architectural Review 2304ARC006:

Architectural Review 2304ARC006, request by agent Jon D. Storonsky, approval to install a double-sided EMC electric message board at Tax Parcel 0910M-02-002.000, on an existing sign located at 615 Pass Rd, Zoned B-2 (General Business), Ward 3

9. Architectural Review 2304ARC007:

Architectural Review 2304ARC007, by owner Carricka Thomas, request approval for stand alone, post and panel sign at Tax Parcel 0908O-04-101.002, located at 12451 Dedeaux Road, Zoned B-1, Ward 6

10. Architectural Review 2304ARC008:

Architectural Review 2304ARC008, by agent Austin Keith, Request waiver from design review standards at Tax Parcel 1008F-01-005.000, regarding orientation of building entry way, located at 11837 Highland Cir, Zoned R-B, Ward 6

11. Architectural Review 2304ARC009:

Withdrawn by applicant

Architectural Review 2304ARC009, by agent Apple Construction, request waiver from design review standards at Tax Parcel 1008M-04-006.000, regarding metal siding located at 12111 Dedeaux Rd, Zoned B-2 (General Business), Ward 6

I. Reports

J. Unfinished Business

K. Other Business

L. Adjournment

MINUTES

GULFPORT ARCHITECTURAL REVIEW COMMITTEE MEETING

Thursday, February 24, 2023 3:00 P.M.

City Council Chambers

- A. **Prayer**: The Zoning Board led a prayer.
- B. **Pledge of Allegiance**: The Pledge of Allegiance was recited.
- C. **Call to Order**: The meeting of the Planning Commission was called to order at **3:00 pm**
- D. **Determination of a Quorum**: A Roll Call was conducted and a quorum was determined.

BOARD MEMBERS PRESENT:

LEE PALERMO
KENNY MCNAIR
DANIELLE COTTON

BOARD MEMBERS ABSENT:

JASON BELL

STAFF MEMBERS PRESENT

GREG HOLMES
MATILDA WELCH
RHONDA GADDIS

COURT REPORTER:

None

E. Confirmation of Agenda:

F. Approval of Minutes:

Motion by **Danielle Cotton** and seconded by **Mr. McNair** to approve Minutes of the **January 4, 2023**, Zoning Board meeting was carried unanimously.

G. Hearing of cases:

G1. The declaration of appeal process was read by the Chairman of the Zoning Board: Any person or any officer, department, or agency of the city aggrieved by any decision of the Board of Adjustment and appeals may within fifteen (15) days thereafter appeal there from to the mayor and city council by filing with the Planning Division a written notice of appeal specifying the decision from which the appeal is taken. In case of such appeal, the Planning Division shall cause a transcript of the proceedings in the case to be certified to the mayor and city council, and the matter will be heard on said transcript. The filing fee for an appeal is based on the actual cost of the required official transcript and any related miscellaneous charges. Any appeal shall be in writing and submitted to the Department of Urban Development – Planning Division stating what decision is being appealed and detailing how you are aggrieved.

G2. The Chairman asked all individuals speaking at today's meeting to complete a speaker's card.

G3. Routine Agenda:

1. Architectural Review 2302ARC020:

Architectural Review 2302ARC020: by agent All Signs, Inc., tax parcel 1010F-01-021.000, Request Architectural Design Review approval for free standing sign, located 1403 Cowan Road, Zoned T6 (Urban Core Zone) Ward 4

Speaking for the Petition: Michael Hage

Speaking against the Petition: None

Motion: Mrs. Cotton – To approve applicant request.

Second: Mr. McNair

Lee Palermo	- Chairman - Yea
Kenny McNair	- Yea
Jason Bell	- Absent
Danielle Cotton	- Yea

Action: Motion carried unanimously.

2. Architectural Review 2302ARC022

Architectural Review 2302ARC022, by agent Sam B. Day, tax parcels 0908P-02-001.000, 0908P-02-001.004, and 0908P-02-001.007, Request waiver from design review standards regarding landscaping island, Zoned B-2 (General Business), Ward 5

Speaking for the Petition: Samuel B. Day, Ray Wesson, Tayler Guild

Speaking against the Petition: None

Motion: Mr. Palermo – To approve the applicant request with conditions. Applicant must provide landscaping plan.

Second: Mrs. Cotton

Lee Palermo	- Chairman - Yea
Kenny McNair	- Yea
Jason Bell	- Absent
Danielle Cotton	- Yea

Action: Motion carried unanimously.

Adjournment:

Motion by **Mr. McNair** to adjourn the meeting was seconded by **Mr. Palermo** and carried unanimously. The meeting adjourned at **3.33 pm**.

THESE MINUTES WERE APPROVED BY A VOTE OF THE ZONING BOARD OF ADJUSTMENT AND APPEALS.

Danielle Cotton, Secretary

Date: _____

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Signs

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review Committee Permits

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review 2303ARC001:
Withdrawn by applicant

Architectural Review Committee, 2303ARC001, by agent Austin Keith, Request a waiver from design review standards to allow for a flat roof where a pitched roof is required at Tax Parcel 1008F-01-005.000. 11837 Highlands Circle, Zoned R-B (Residence Business), Ward 6

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2303ARC001

Hearing Date: March 16, 2023

Current Zoning/Use: R-B / Commercial Structure

Legal: Architectural Review 2303ARC001, by agent Austin Keith, Request a waiver from design review standards to allow for a flat roof where a pitched roof is required on Tax Parcel 1008F-01-005.000; Zoned R-B (Residence Business), Ward 6

TECHNICAL DETAILS

The applicant requests a waiver to not meet the required design standard for Appendix A, Sec. IV Supplementary Regulations E, 2, 2.5

- (i) Generally, roofs of residential buildings should be pitched and not flat. Common Pitched roof forms in the city are gabled, hipped, and gambrel.
- (ii) Pitched roofs should be, where possible, symmetrical hips or gables, with a pitch between 4:12 and 12:12. Pitched roofs should have overhang or eave dimensions between eight (8) and twenty-four (24) inches consistent with the dimensions between the proposed styles unless contradictory to building codes.

Gulfport Highlands Development proposed design has a flat roof design in an effort to comply with the Insurance Institute for Building and Home Safety (IBHS) regarding a "Fortified multifamily silver" requirement, which at this time, is contrary to the City of Gulfport's architectural design standard.

EXECUTIVE SUMMARY

Upon staff review of the site, we noticed that many of the homes and buildings in the surrounding area were built within the last five (5) years. For example, The Claiborne Assisted Living and Memory Care facility and the Seashore Highlands, a retirement community, are new builds and have met the required design standards.

The proposed building intended for 11837 Highland Circle, if they are allowed to continue with the proposed flat roof design, would not be in harmony with the current design of the area. Therefore, the staff recommendation is to deny the waiver request.

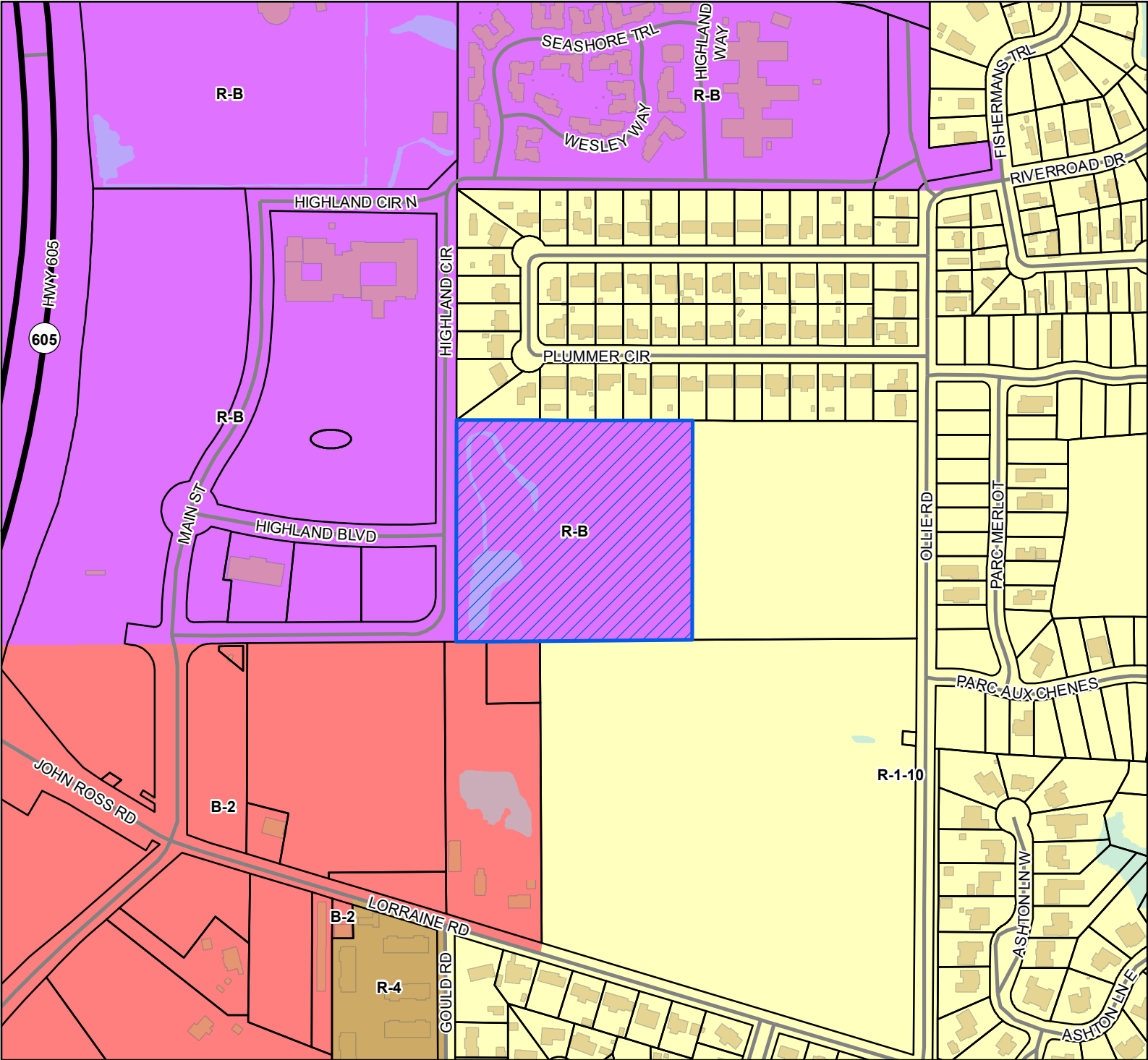
Technical Report
ARCHITECTURAL REVIEW COMMITTEE

DIRECTOR APPROVAL

This report has been reviewed and approved by:



Ryan Merrill
Director of Urban Development Department



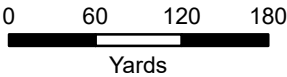
Legend

- Site
- US or State Highway
- Street
- Parcels
- Buildings
- Water Features

Zoning

- B-2 - General Business District
- R-1-10 - Single Family Residence (Low Density)
- R-4 - General Residence (High Density)
- R-B - Residence-Business District

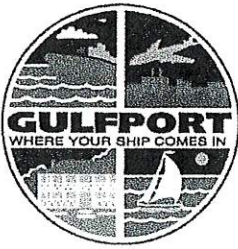
Site Information
1008F-01-005.000
Zoning: R-B (Residence Business)
Size: 10.4 Acres
Flood: X



1 inch = 400 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

Architectural Review Committee Application

REQUESTED ACTION BY THE Architectural Review Committee

(A separate submission form is required for each request):

☒	Architectural Design Review
☐	Signs

Tax Parcel Numbers

1	0	0	8	F	-	0	1	-	0	0	5	.	0	0	0					-										
					-							.								-										
					-							.								-										

Property Address: 11837 Highlands Cir, Gulfport, Ms

OWNERSHIP AND CERTIFICATION:

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request. We can only accept applications with original signatures.

OWNER

AGENT

Gulfport Highlands Development, LP

Printed Name of Owner

4680 Hickory Ridge Road

Mailing Address

Jackson Ms 39211

City

State

Zip code

Home Phone

Work/Cell Phone

noel.sims@gmail.com

Email

[Signature]
Signature of Owner

Austin Keith

Printed Name of Agent

126 Rue Magnolia

Mailing Address

Biloxi Ms 39530

City

State

Zip code

Home Phone

Work/Cell Phone

228-432-5925

Email

a.keith@prclseringfirm.com
Signature of Agent

This page must be completed if the property or properties involved have more than one owner. All persons listed as owners to the property or properties listed on page one must complete and sign this part of the application. We can only accept applications with original signatures.

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or authorized to act as the owner's agent for herein described request.

NAME OF OWNER (PRINT)

Gulfport Highlands Development, L.P.

ADDRESS (STREET, CITY, STATE, ZIP CODE)

4680 Hickory Ridge Road, Jackson, MS, 39211

PHONE # (H)

(WK/CELL) 601-260-6390

TAX PARCEL NUMBER(S) OWNED

1008F-01-005.000

SIGNATURE:



NAME OF OWNER (PRINT)

ADDRESS (STREET, CITY, STATE, ZIP CODE)

PHONE # (H)

(WK/CELL)

TAX PARCEL NUMBER(S) OWNED

SIGN:

NAME OF OWNER (PRINT)

ADDRESS (STREET, CITY, STATE, ZIP CODE)

PHONE # (H)

(WK/CELL)



Covenant Affidavit

I, Noel Simms, being owner or agent of the property 1008F-01-005.000
PRINT NAME PRIMARY ADDRESS OR PARCEL

which is the subject of this application, hereby state that this variance request is not in violation of any restrictive or protective covenants.

Noel C. Simms 1-27-23
Signature Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 27th day of January, 20 23

Tabatha Rivers
Notary Public



6/14/24
Commission Expiration



Designation of Agent

I, Noel Simms, being property owner of 1008F-01-005.000
PRINT NAME PRIMARY ADDRESS OR PARCEL
 which is the subject of this application hereby authorize Austin Keith to act as my
PRINT NAME
 representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning
 Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this
 petition. This designation authorizes my agent to make verbal or written representations and/or
 declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or
 declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in
 approval or denial of said petition.

Noel Simms
 Signature

1-27-23
 Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 27th day of January, 20 23

Tabatha Rivers
 Notary Public

6/14/24
 Commission Expiration



February 13, 2023

City of Gulfport Planning Department
1410 24th Ave #206
Gulfport, MS 39501

Re: The Gates at Gulfport Highlands
LSF #732
Submission to Architectural Review Committee

To Whom It May Concern:

Line Scale Form Architects (LSF) is serving as Architect-of-Record for The Gates at Gulfport Highlands. In this capacity we attended a Pre-Development Conference with the City of Gulfport Planning Department on January 25th. During this meeting a question was presented to the Planning Department as to the necessity for any submission to the Architectural Review Committee in addition to the submissions required under the Preliminary Design Review Application. We understood that a submission was required to provide the Architectural Review Committee an opportunity to comment on the development's preliminary design.

In keeping with the Planning Department's instructions, a submittal was prepared for the Architectural Review Committee but was rejected; the reason given was that it didn't include an original signature of the current owner of the Parcel. See generally MCA 75-12-13. Subsequently, we were notified that Ms. Sue Lynn (Planning Department) stated a submittal to the Architectural Review Committee was only necessary if portions of the development's preliminary design deviated from the published Supplementary Design Standards. We were also told it was the Applicant's responsibility to determine if the Design contained any such deviations.

We understand the City of Gulfport has established certain requirements for proposed developments. The requirements applicable to this Project (a multifamily development) are found in the City's Zoning Ordinance, Section IV Supplementary Regulations, (E) Supplementary design standards, (2) Residential projects, (a) Design standards. LSF has reviewed this portion of the Zoning Ordinance and has determined the proposed design seems to generally comply with the Supplementary Regulations, but may not comply with the following requirement:

2.5. Roofs and eaves.

- i. Generally, roofs of residential buildings should be pitched and not flat. Common Pitched roof forms in the City are gabled, hipped, and gambrel.
- ii. Pitched roofs should be, where possible, symmetrical hips or gables, with a pitch between 4:12 and 12:12. Pitched roofs should have overhang or eave dimensions between eight (8) and twenty-four (24) inches consistent with the proposed styles unless contradictory to building codes.

The proposed design has a low-slope roof (also commonly referred to as a "flat roof"). The decision to include a flat roof on the buildings was to most fully comply with the requirements of "FORTIFIED Multifamily Silver" as defined by the Insurance Institute for Building and Home Safety (IBHS). Administered by the IBHS, "FORTIFIED is a voluntary construction and re-roofing program designed to strengthen homes and commercial buildings against severe weather such as high winds, hail, hurricanes, and even tornadoes." The developer is working to comply with this series of requirements for better protection against damage from hurricanes, and reduced insurance premiums for the life of the development.

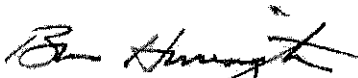
The Gates at Gulfport Highlands
LSF #732
Submission to Architectural Review Committee
February 13, 2023

To answer a question that has not been asked: the preliminary design does not include locating any equipment on the flat roof.

As you know, the development will be in the Gulfport Highlands Planned Unit Development, which is a combination of commercial and residential developments which incorporate different design elements in keeping with the general architectural styles within the development. The proposed roof plan and buildings are consistent with other buildings within the development.

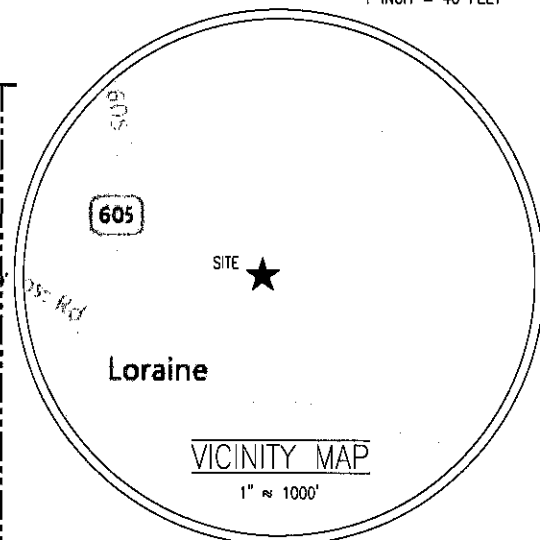
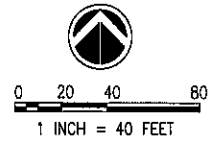
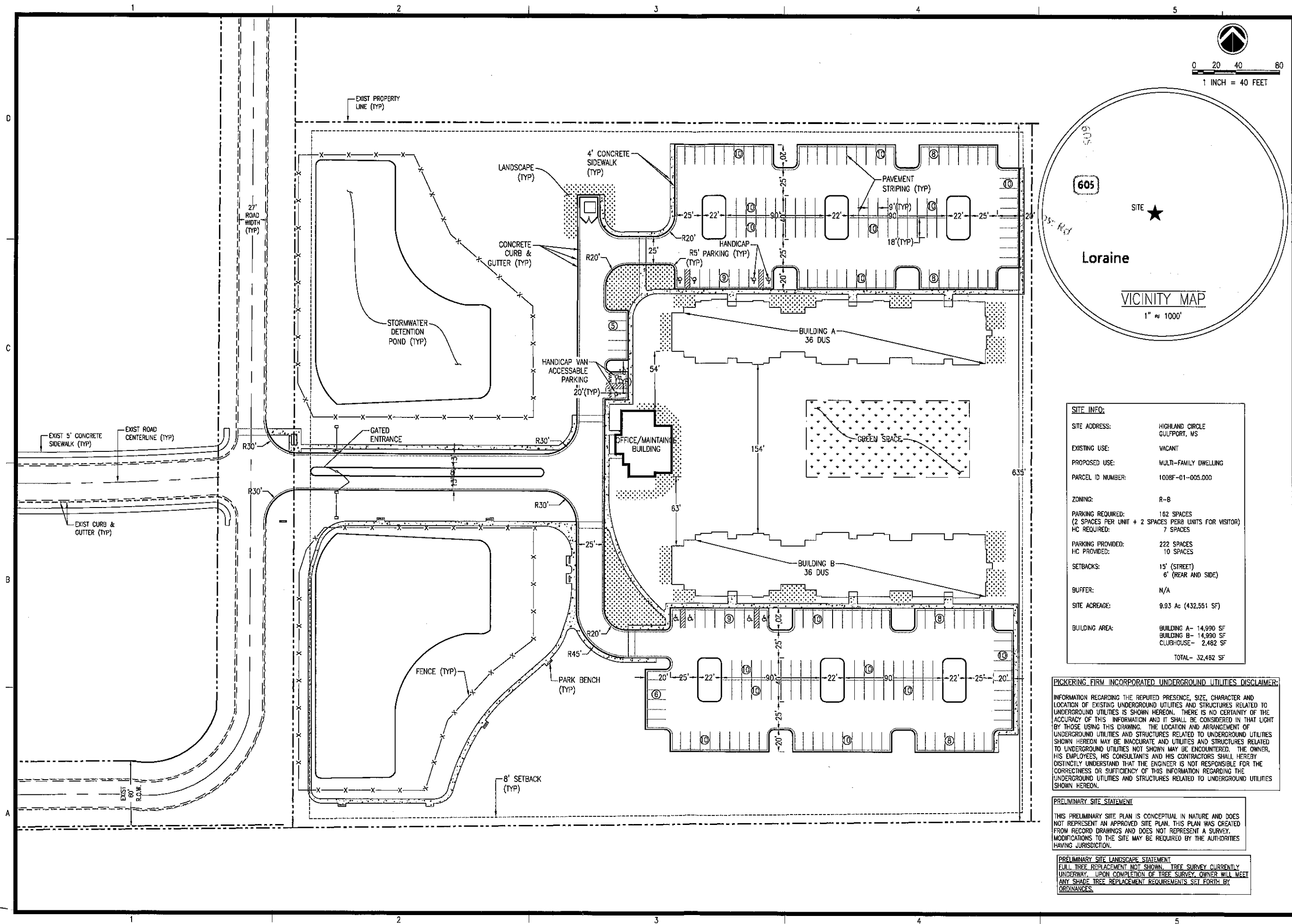
LSF believes the submitted plans generally comply with the Supplementary Design Standards. We respectfully request that the Architectural Review Committee provide us with any comments as to the design's non-compliance with the published standards. If you have any questions, please email or call me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "Bruce Herrington", written over a horizontal line.

Bruce Herrington, AIA, LEED AP
President

c: Mr. David Strange, Rowanoak Development
Ms. Cara Wagner, Pickering Firm, Inc.
Mr. Austin Keith, Pickering Firm, Inc.



SITE INFO:	
SITE ADDRESS:	HIGHLAND CIRCLE GULFPORT, MS
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-FAMILY DWELLING
PARCEL ID NUMBER:	1008F-01-005.000
ZONING:	R-8
PARKING REQUIRED:	182 SPACES (2 SPACES PER UNIT + 2 SPACES PER UNIT FOR VISITOR)
HC REQUIRED:	7 SPACES
PARKING PROVIDED:	222 SPACES
HC PROVIDED:	10 SPACES
SETBACKS:	15' (STREET) 6' (REAR AND SIDE)
BUFFER:	N/A
SITE ACREAGE:	9.93 Ac (432,551 SF)
BUILDING AREA:	BUILDING A- 14,990 SF BUILDING B- 14,990 SF CLUBHOUSE- 2,482 SF TOTAL- 32,462 SF

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINGUISHLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

PRELIMINARY SITE STATEMENT
THIS PRELIMINARY SITE PLAN IS CONCEPTUAL IN NATURE AND DOES NOT REPRESENT AN APPROVED SITE PLAN. THIS PLAN WAS CREATED FROM RECORD DRAWINGS AND DOES NOT REPRESENT A SURVEY. MODIFICATIONS TO THE SITE MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

PRELIMINARY SITE LANDSCAPE STATEMENT
FULL TREE REPLACEMENT NOT SHOWN. TREE SURVEY CURRENTLY UNDERWAY. UPON COMPLETION OF TREE SURVEY, OWNER WILL MEET ANY SHADE TREE REPLACEMENT REQUIREMENTS SET FORTH BY ORDINANCES.

REVISIONS:		
△		
△		
△		
△		

PROJECT #: 26575.00
DATE: JANUARY 2023
DRAWN BY: AAK
DESIGNER: AAK
CHECKED BY: CBW

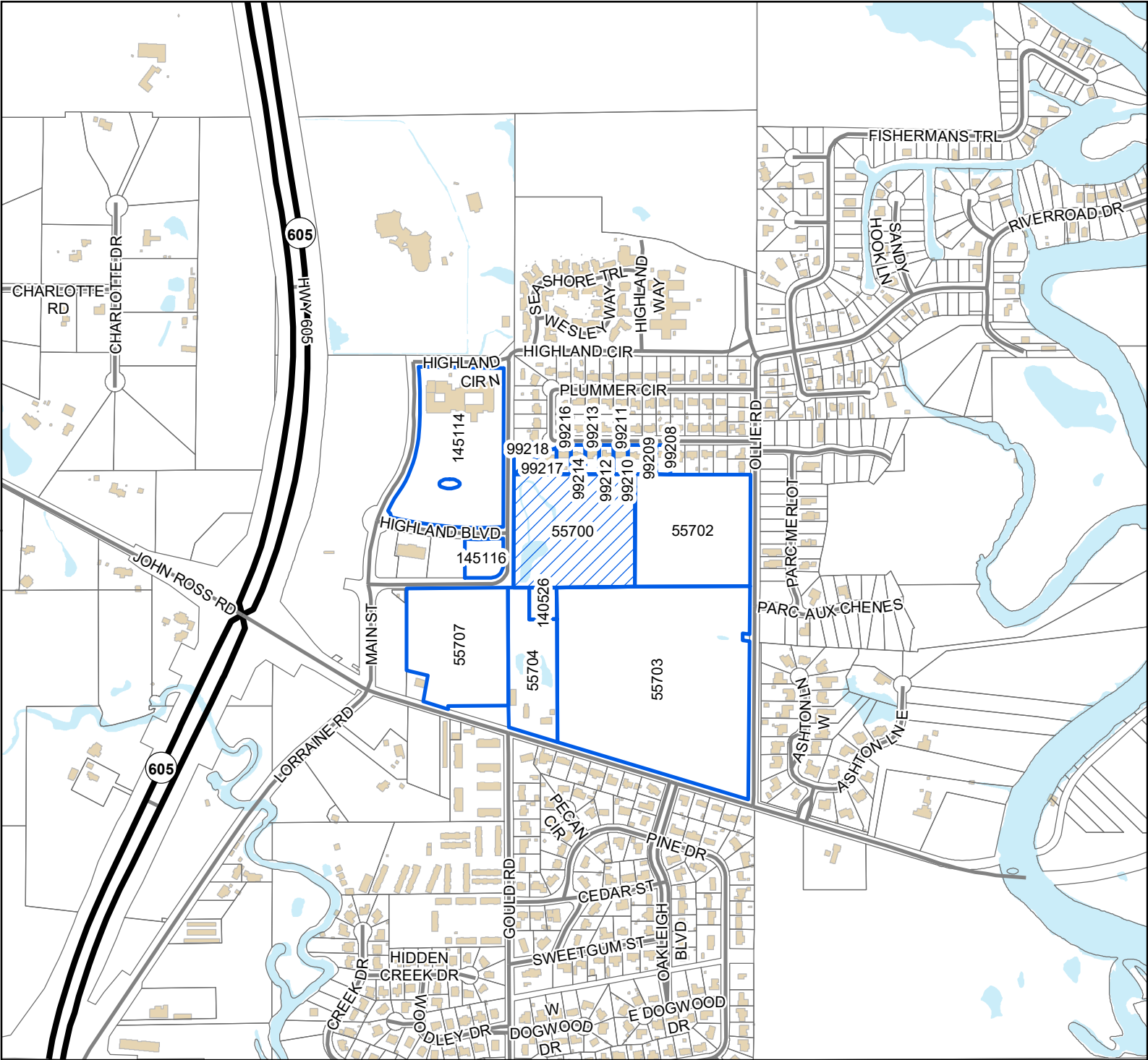
Pickering
Pickering Firm, Inc.
Transportation • Environmental • Water Resources
Civil • Facilities
126 Pine Maple
Bloomington, MS 38908
228.432.5925

**GATES AT GULFPORT
HIGHLANDS
TERMINUS OF HIGHLAND BOULEVARD**

SEAL:
**PRELIMINARY - NOT
FOR CONSTRUCTION**

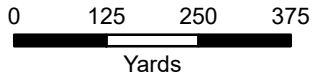
SHEET NUMBER:
1 OF 1

DESCRIPTION:
SITE PLAN



Legend

- Site
- Adjacent Properties
- US or State Highway
- Street
- Buildings
- Water Features



1 inch = 780 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			GULFPORT HIGHLANDS DEVELOPMENT LP(OWNERS) AUSTIN KEITH (AGENT)	4680 HICKORY RIDGE RD 126 RUE MAGNOLIA	JACKSON BILOXI	MS MS	39211 39530
			Adjacent Property Owners				
N	99218	1008F-01-003.021	WILSON JAMES KEVIN & SUE ELLEN	10717 PLUMMER CIRCLE	GULFPORT	MS	39503
	99216	1008F-01-003.019	BOTROS NABIEL & BERTA	10709 PLUMMER CIRCLE	GULFPORT	MS	39503
	99214	1008F-01-003.018	NEWELL DEMETRIUS T & BRIANNA BUGGS	10701 PLUMMER CIRCLE	GULFPORT	MS	39503
	99208	1008F-01-003.012	CROTTS RAY E II	25995 SOMERSET CIR	BILOXI	MS	39531
	99210	1008F-01-003.014	RUSHING JONATHAN BLAKE	10667 PLUMMER CIRCLE	GULFPORT	MS	39503
	99213	1008F-01-003.017	HOLLINGSWORTH CLINTON SR	288 AUBURON OAKS RD EAST	JACKSONVILLE	FL	32218
	99212	1008F-01-003.016	DUCCINI RONALD R & NICOLE	10685 PLUMMER CIR	GULFPORT	MS	39503
	55707	1008K-01-004.000	MORRISON INVESTMENTS LLC	ATTN: LORI SHELTON	VICKSBURG	MS	39180
	99209	1008F-01-003.013	JACKSON ANESHA	10661 PLUMMER CIRCLE	GULFPORT	MS	39503
	99211	1008F-01-003.015	RATH DONALD E	10677 PLUMMER CIR	GULFPORT	MS	39503
	99217	1008F-01-003.020	RE LLC	1636 POPPS FERRY RD, STE 231	BILOXI	MS	39532
	55702	1008F-01-004.000	BEN A RICHARDS LAND COMPANY LLC	P O BOX 6073	GULFPORT	MS	39506
N	55704	1008K-01-002.000	G&M PROPERTIES LLC	10767 E TAYLOR RD	GULFPORT	MS	39503
	140526	1008K-01-002.001	G&M PROPERTIES LLC	10767 E TAYLOR RD	GULFPORT	MS	39503
	55703	1008K-01-001.000	BEN A RICHARDS LAND COMPANY LLC	P O BOX 6073	GULFPORT	MS	39506
N	55700	1008F-01-005.000	GULFPORT HIGHLANDS DEVELOPMENT LP	4680 HICKORY RIDGE RD	JACKSON	MS	39211
	145116	1008F-01-006.006	GULFPORT HIGHLANDS DEVELOPMENT LP	4680 HICKEY RIDGE RD	JACKSON	MS	39211
	145114	1008F-01-006.004	CLAIBORNE AT GULFPORT HIGHLANDS LLC	11 PARKWAY BLVD	HATTIESBURG	MS	39401

RE: Architectural Review Committee, 2303ARC001, by agent Austin Keith, Request a waiver from design review standards to allow for a flat roof where a pitched roof is required at Tax Parcel 1008F-01-005.000. 11837 Highlands Circle, Zoned R-B (Residence Business), Ward 6

To Applicants and Adjacent Property Owners:

The City of Gulfport Architectural Review Committee will hold a public hearing to consider the above application at 3:00 P.M. on **Thursday, March 16, 2023**, in the Council Chambers at the Gulfport City Hall located at 2309 15th Street.

For more information, visit <https://www.gulfport-ms.gov/agendas/> then click the City of Gulfport Architectural Review Committee for **Thursday, March 16, 2023**. A map showing the location of the property involved is located at this website. If you have any questions or comments, please contact this office at the phone number 228-868-5710 or email planners@gulfport-ms.gov. The application is available for viewing in the Planning Division office at 1410 24th Avenue.

RE: Architectural Review Committee, 2303ARC001, by agent Austin Keith, Request a waiver from design review standards to allow for a flat roof where a pitched roof is required at Tax Parcel 1008F-01-005.000. 11837 Highlands Circle, Zoned R-B (Residence Business), Ward 6

To Applicants and Adjacent Property Owners:

The City of Gulfport Architectural Review Committee will hold a public hearing to consider the above application at 3:00 P.M. on **Thursday, March 16, 2023**, in the Council Chambers at the Gulfport City Hall located at 2309 15th Street.

For more information, visit <http://www.gulfport-ms.gov/agendas/> then click the City of Gulfport Architectural Review Committee for **Thursday, March 16, 2023**. A map showing the location of the property involved is located at this website. If you have any questions or comments, please contact this office at the phone number 228-868-5710 or email planners@gulfport-ms.gov. The application is available for viewing in the Planning Division office at 1410 24th Avenue.

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URBAN DEVELOPMENT
PLANNING DIVISION

P.O. Box 1780
Gulfport, MS 39502



URBAN DEVELOPMENT
PLANNING DIVISION

P.O. Box 1780
Gulfport, MS 39502

*****IMPORTANT MESSAGE*****

CLAIBORNE AT GULFPORT HIGHLANDS LLC

11 PARKWAY BLVD

HATTIESBURG, MS 39401

*****IMPORTANT MESSAGE*****



URBAN DEVELOPMENT
PLANNING DIVISION

P.O. Box 1780
Gulfport, MS 39502



URBAN DEVELOPMENT
PLANNING DIVISION

P.O. Box 1780
Gulfport, MS 39502

*****IMPORTANT MESSAGE*****

*****IMPORTANT MESSAGE*****

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review 2303ARC002:

Architectural Review 2303ARC002, by agent Marty Hardy, Request waiver from design review standards at Tax Parcel 0808N-04-028.004, regarding landscaping islands, and pedestrian sidewalks and walkways, Zoned B-2 (General Business), Ward 7

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2303ARC002

Hearing Date: March 16, 2023,

April 13, 2023

Current Zoning/Use: B-2 / Commercial Structure

Legal: Architectural Review 2303ARC002, by agent Marty Hardy, Request waiver from design review standards on Tax Parcel 0808N-04-028.004, regarding landscaping islands and pedestrian sidewalks and walkways, Zoned B-2 (General Business), Ward 7

TECHNICAL DETAILS

The applicant requests a waiver to not meet the required design standard for Appendix A, Sec. IV Supplementary Regulations E, 3, 3.3

1. Projects should provide safe and efficient access for pedestrians to the street, public transportation systems and adjacent neighborhoods or developments. New developments should provide continuous pedestrian sidewalks along public rights-of-way.
2. Public street sidewalks should be placed so that a minimum of six (6) feet exists between the sidewalk and back of curb to allow for streetscape planting and shading when feasible,
3. In locations where insufficient public right-of-way exists to accommodate a landscape area and sidewalk, such improvements should be provided in a recorded public access easement.
4. Public sidewalks and parking areas should be connected to primary building entries by pedestrian walkways.
5. Pedestrian crosswalks should be provided across internal drives and through parking divider islands and planting beds,
6. Pedestrian walks should generally be four (4) feet in width and made of unit pavers or brush finish or sand blasted concrete and meet design standards for public sidewalks, including ADA compliancy. Painting or imprinting walkways or use of asphalt is not recommended.

The applicant also requests a waiver to not meet the required design standard for Appendix A, Sec. IV Supplementary Regulations E, 3, a, 3, 3.4, v, parking rows should contain no more than ten (10) parking spaces uninterrupted by a landscaped island. Landscaped island should measure a minimum of eight (8) feet in width and eight (8) feet in length.

Singing River Health System is claiming that adding islands to their parking lot will cause financial hardship to the hospital. Also stating, "the hospital cannot afford to lose the much-needed parking spaces..." which they believe will occur by adding islands and walkways.

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

EXECUTIVE SUMMARY

Upon staff review of the site, we noticed there are new shade trees planted along the entry driveway and along the approximately six (6) open green grass spaces. However, there were no visible pedestrian crosswalks or walkways through internal drives or through any of the parking lot areas.

While this ordinance may cause a financial hardship to the applicant, it is *not an unnecessary* hardship; therefore, staff recommendation is to deny the request.

DIRECTOR APPROVAL

This report has been reviewed and approved by:

Ryan Merrill
Director of Urban Development Department

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2303ARC002

Hearing Date: March 16, 2023

Current Zoning/Use: B-2 / Commercial Structure

Legal: Architectural Review 2303ARC002, by agent Marty Hardy, Request waiver from design review standards on Tax Parcel 0808N-04-028.004, regarding landscaping islands and pedestrian sidewalks and walkways, Zoned B-2 (General Business), Ward 7

TECHNICAL DETAILS

The applicant requests a waiver to not meet the required design standard for Appendix A, Sec. IV Supplementary Regulations E, 3, 3.3

- i. Projects should provide safe and efficient access for pedestrians to the street, public transportation systems and adjacent neighborhoods or developments.
New developments should provide continuous pedestrian sidewalks along public rights-of-way.
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- iv. In locations where insufficient public right-of-way exists to accommodate a landscape area and sidewalk, such improvements should be provided in a recorded public access easement.
- v. Public sidewalks and parking areas should be connected to primary building entries by pedestrian walkways.
- vi. Pedestrian crosswalks should be provided across internal drives and through parking divider islands and planting beds,
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Technical Report

ARCHITECTURAL REVIEW COMMITTEE

EXECUTIVE SUMMARY

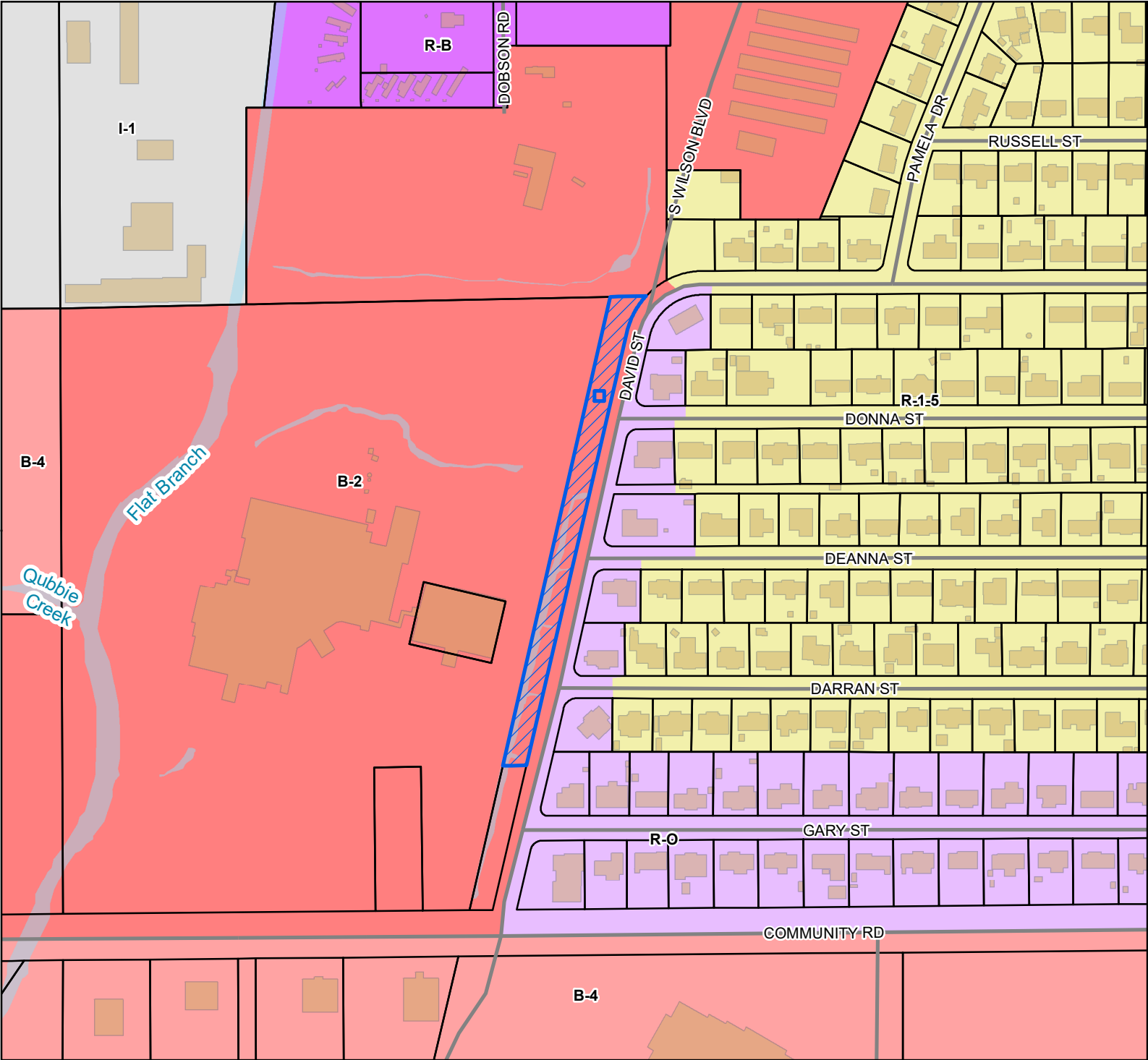
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DIRECTOR APPROVAL

This report has been reviewed and approved by:

Ryan Merrill
Director of Urban Development Department



Legend

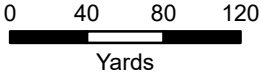
- Site
- Street
- Parcels
- Buildings
- Water Features

Zoning

- B-2 - General Business District
- B-4 - Highway Business District
- I-1 - Light Industry District
- R-1-5 - Single Family Residence District (Medium Density)
- R-O - Residence-Office
- R-B - Residence-Business District

Site Information

0808N-04-028.004
Zoning: B-2 (General Business)
Size: 31,515
Flood: X



1 inch = 300 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.



CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

Architectural Review Committee Application

REQUESTED ACTION BY THE Architectural Review Committee

(A separate submission form is required for each request):

X	Architectural Design Review
	Signs

Tax Parcel Numbers

0	8	0	8	N	-	0	4	-	0	2	8	.	0	0	4					-						.			
					-			-				.								-						.			
					-			-				.								-						.			

Property Address: ____15200 Community Road, Gulfport, MS 39503____

OWNERSHIP AND CERTIFICATION

*I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request. We can only accept applications with **original signatures***

OWNER

AGENT

_Singing River Gulfport - Singing River
Health System_____

Printed Name of Owner

_15200 Community Road_____

Mailing Address

Gulfport_____MS_____39503_____

City State Zip code

228-575-7000_____228-575-7000_____

Home Phone Work/Cell Phone

Randall.Cobb@MYSRHS.COM_____

Email

X 

Signature of Owner

_Marty Hardy - Hardy and Assoc./ Architect,
PLLC_____

Printed Name of Agent

_15260 Big John Road_____

Mailing Address

_Biloxi_____MS_____39532_____

City State Zip code

_228-215-1851_____601-941-9366_____

Home Phone Work/Cell Phone

_marty@hardyarchitect.com_____

Email



Signature of Agent



Designation of Agent

I, RANDALL COBB, being property owner of 15200 COMMUNITY RD
PRINT NAME PRIMARY ADDRESS OR PARCEL
which is the subject of this application hereby authorize MARION "MARTY" HARDY to act as my
PRINT NAME
representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning
Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this
petition. This designation authorizes my agent to make verbal or written representations and/or
declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or
declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in
approval or denial of said petition.

x Randall Cobb

Signature

x 1/24/23

Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 24th day of January, 20 23

Carla Thornton

Notary Public

April 28, 2023

Commission Expiration



February 13, 2023

Hardy and Associates Architects
15260 Big John Road, Suite A
Biloxi, MS 39441

Ref: Lighting Survey
Singing River Health Systems – Community Road, Gulfport, MS

Dear Sirs,

Welcon Electrical Consultants has completed the lighting survey of the existing property located on Community Road in Gulfport, MS.

Results of the survey are included on the attached drawings, sheet E101 and E102.

Survey includes layout of existing lighting standards in the parking areas and roadways. Light levels were recorded in approximate 20 foot intervals throughout the parking areas, roadways, and walk paths around the buildings.

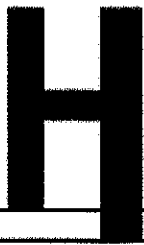
If you have any questions, please advise.

Respectfully,



Gregory P. "Greg" Wyrosdick, PE





HARDY and Associates/ Architect

Healthcare

Educational

Commercial

PLLC

Mailing Address:
15260 Big John Road,
Suite A
Biloxi, MS 39532

Phone: 228-215-1851
Fax: 228-215-1852
Cell: 601-941-9366

Web:
www.hardyarchitect.com

Mrs. Su-Lin Featherston, Planner III
City of Gulfport
Department of Urban Development
1410 24th Avenue
Gulfport, MS 39501

23 February 2023

Re: Singing River Health System, Singing River Gulfport
Submittal for Architectural Review – Waiver Request
P.N. 022-013

We are requesting a waiver for the following items:

1. Adding Islands in the parking areas every 10 spaces
2. Adding Pedestrian Sidewalks from parking areas to the building

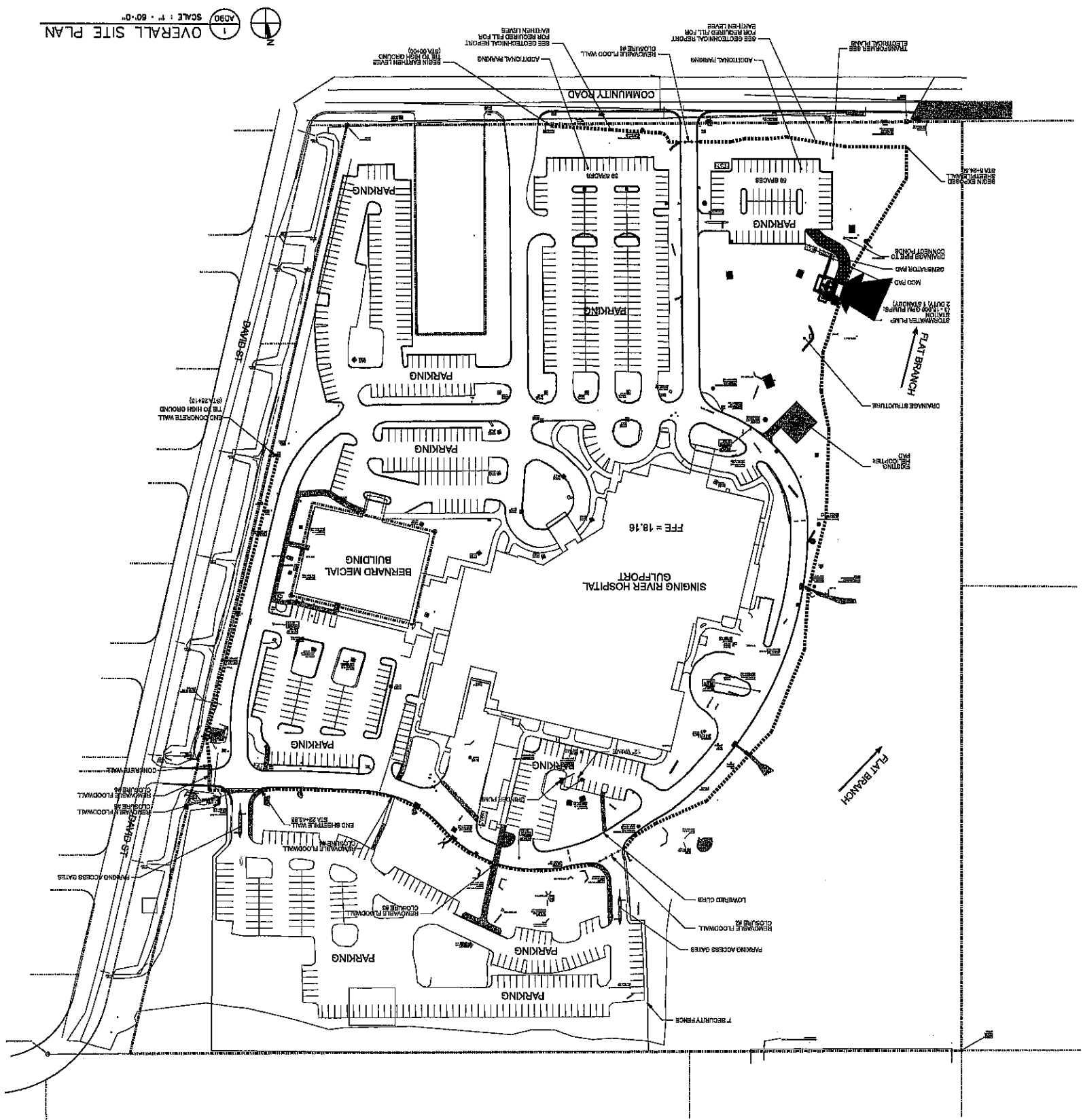
We are requesting the waiver due to a financial hardship this will place on the hospital and the hospital cannot afford to lose the much-needed parking spaces on campus that will be lost due to islands and added parking spaces.

Sincerely,

Hardy and Associates / Architect, PLLC

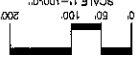
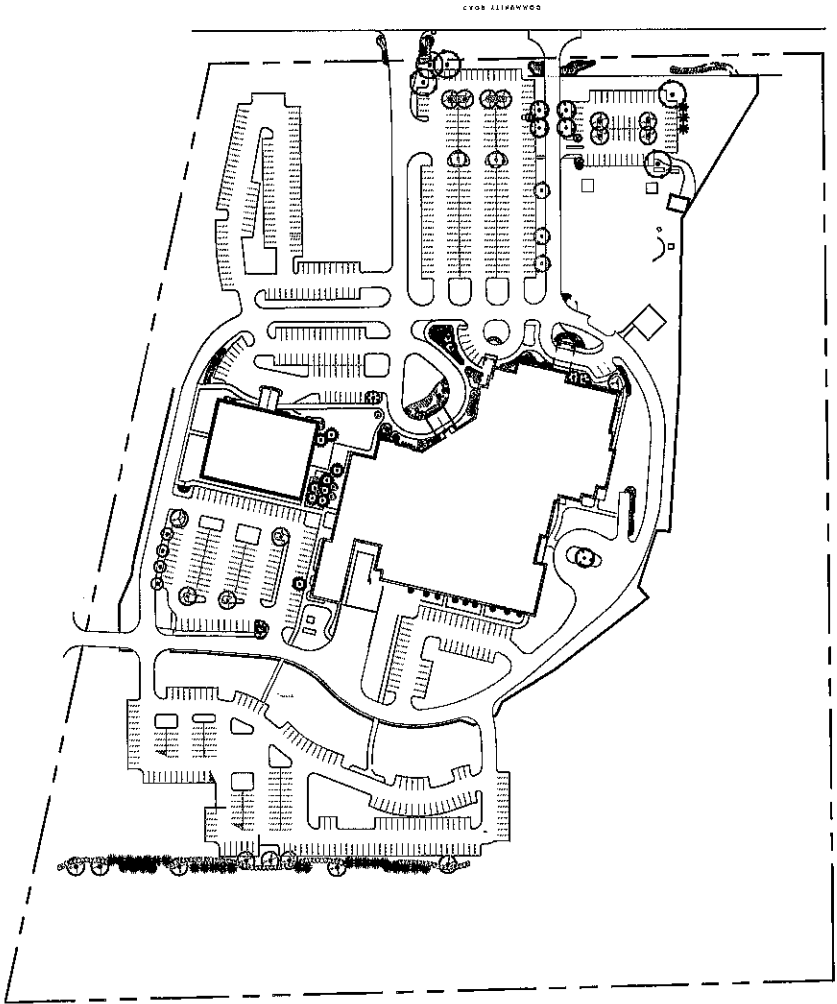
Marion A. Hardy, AIA, NCARB
President

cc: Randall Cobb - OSH



1 OVERALL SITE PLAN
SCALE: 1" = 60'-0"

Sheet Number: A090	Project Name: SINGING RIVER HEALTH SYSTEM SINGING RIVER GULFPORT FOURTH FLOOR ENDOSCOPY RENOVATION GULFPORT, MISSISSIPPI	Revision:	Project No: 022-015 Date: 10 FEBRUARY 2023 Drawn: JMM Checked: MMY
HARDY and Associates / Architect		HARDY and Associates / Architect	
HEALTHCARE EDUCATIONAL COMMERCIAL PLLC		HEALTHCARE EDUCATIONAL COMMERCIAL PLLC	
1200 S. OLYMPIA, SUITE A BLOOMING, MS 39002		1200 S. OLYMPIA, SUITE A BLOOMING, MS 39002	
PHONE: (228) 254-5801		PHONE: (228) 254-5801	
FAX: (228) 254-5802		FAX: (228) 254-5802	



1

SHEET:

NO. DATE

REVISION

MASTER PLAN

AS-BUILT

PLANTING

TITLE

CHECKED: CHL

DRAWN: CHL

DATE: 21 DEC 22

PLANTING AS-BUILT DRAWING

FOR

SINGING RIVER HEALTH SYSTEM

GULFPORT, MISSISSIPPI

15200 COMMUNITY ROAD

GULFPORT, MS

ARCHITECTURAL

PLANNING

PROJECT MANAGER/NT

6423 Jordan Road

Daphne, AL 36526

Tel: 251-939-0017 Fax: 251-939-0018

Coast Architects, Inc.

11

NO.	DATE
-----	------

REVISION:

AS-BUILT

37

CHECKED: 6

DATE: 21 DE

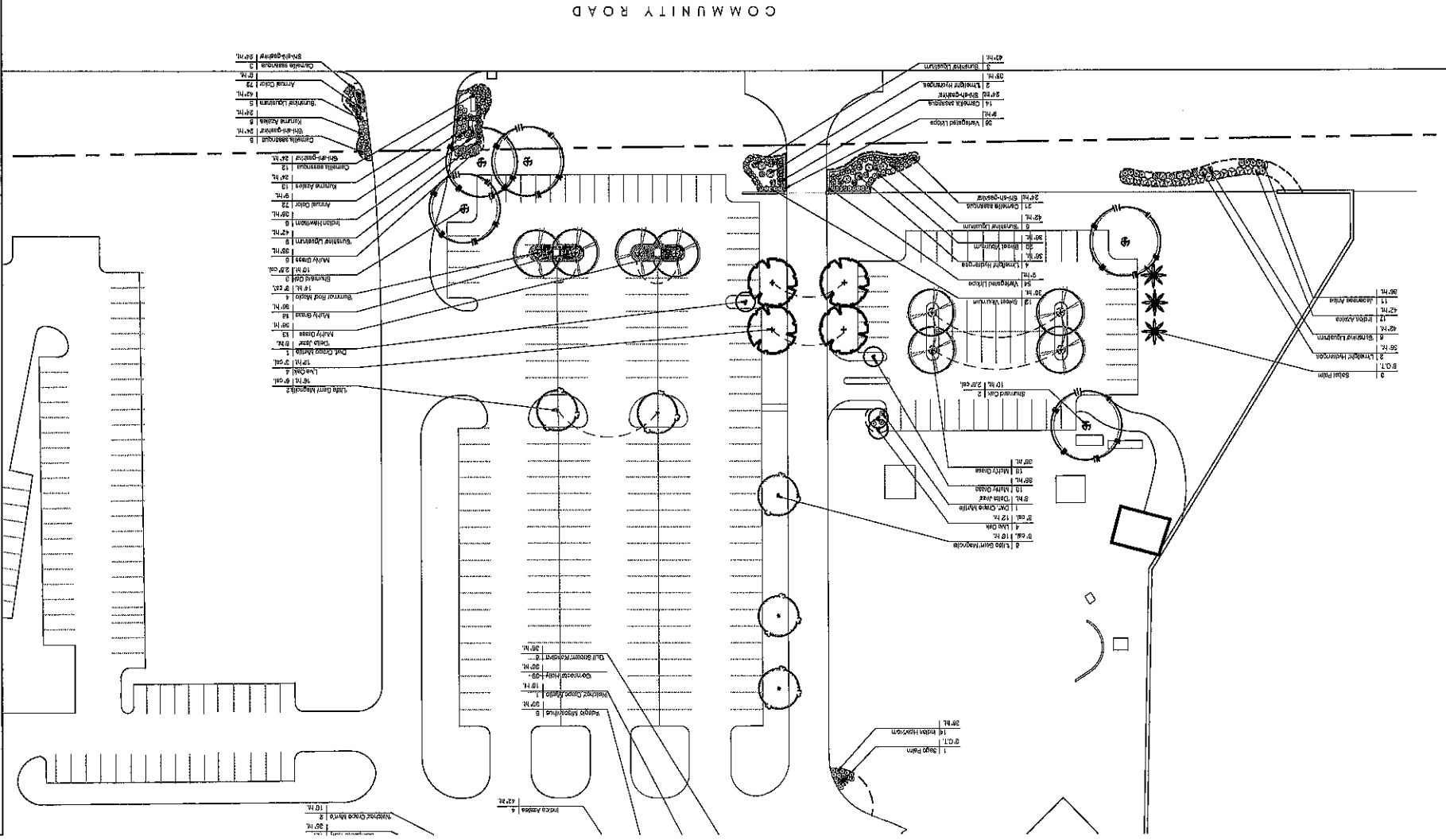


PLANTING AS-BUILT DRAWING
FOR
SINGING RIVER HEALTH SYSTEM
GULFPORT, MISSISSIPPI

GULFPORT, MS

CORPORATE
MANAGEMENT

Jordan Road
Apt. 36526
Ft. Lauderdale, FL 33309-0218



Coast Architects Inc.

ARCHITECTURE

PLANNING

PROJECT MANAGEMENT

6425 Jordan Road

Daphne, AL 36526

TEL: 850-390-1717 FAX: 850-390-1718

15200 COMMUNITY ROAD

GULFPORT, MS

SINGING RIVER HEALTH SYSTEM

FOR

GULFPORT, MISSISSIPPI

DATE: 21 DEC 22

DRAWN: CHL

CHECKED: CHL

TITLE: LANDSCAPE AS-BUILT

NO. DATE:

REVISION:

AREA 3

AS-BUILT

AREA 3

AS-BUILT

LANDSCAPE

AS-BUILT

AREA 3

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AREA 3

AS-BUILT

LANDSCAPE

AS-BUILT

- 1. 10' H. 10' W. 10' D. 10' S. 10' T. 10' U. 10' V. 10' W. 10' X. 10' Y. 10' Z. 10' AA. 10' AB. 10' AC. 10' AD. 10' AE. 10' AF. 10' AG. 10' AH. 10' AI. 10' AJ. 10' AK. 10' AL. 10' AM. 10' AN. 10' AO. 10' AP. 10' AQ. 10' AR. 10' AS. 10' AT. 10' AU. 10' AV. 10' AW. 10' AX. 10' AY. 10' AZ. 10' BA. 10' BB. 10' BC. 10' BD. 10' BE. 10' BF. 10' BG. 10' BH. 10' BI. 10' BJ. 10' BK. 10' BL. 10' BM. 10' BN. 10' BO. 10' BP. 10' BQ. 10' BR. 10' BS. 10' BT. 10' BU. 10' BV. 10' BW. 10' BX. 10' BY. 10' BZ. 10' CA. 10' CB. 10' CC. 10' CD. 10' CE. 10' CF. 10' CG. 10' CH. 10' CI. 10' CJ. 10' CK. 10' CL. 10' CM. 10' CN. 10' CO. 10' CP. 10' CQ. 10' CR. 10' CS. 10' CT. 10' CU. 10' CV. 10' CW. 10' CX. 10' CY. 10' CZ. 10' DA. 10' DB. 10' DC. 10' DD. 10' DE. 10' DF. 10' DG. 10' DH. 10' DI. 10' DJ. 10' DK. 10' DL. 10' DM. 10' DN. 10' DO. 10' DP. 10' DQ. 10' DR. 10' DS. 10' DT. 10' DU. 10' DV. 10' DW. 10' DX. 10' DY. 10' DZ. 10' EA. 10' EB. 10' EC. 10' ED. 10' EE. 10' EF. 10' EG. 10' EH. 10' EI. 10' EJ. 10' EK. 10' EL. 10' EM. 10' EN. 10' EO. 10' EP. 10' EQ. 10' ER. 10' ES. 10' ET. 10' EU. 10' EV. 10' EW. 10' EX. 10' EY. 10' EZ. 10' FA. 10' FB. 10' FC. 10' FD. 10' FE. 10' FF. 10' FG. 10' FH. 10' FI. 10' FJ. 10' FK. 10' FL. 10' FM. 10' FN. 10' FO. 10' FP. 10' FQ. 10' FR. 10' FS. 10' FT. 10' FU. 10' FV. 10' FW. 10' FX. 10' FY. 10' FZ. 10' GA. 10' GB. 10' GC. 10' GD. 10' GE. 10' GF. 10' GG. 10' GH. 10' GI. 10' GJ. 10' GK. 10' GL. 10' GM. 10' GN. 10' GO. 10' GP. 10' GQ. 10' GR. 10' GS. 10' GT. 10' GU. 10' GV. 10' GW. 10' GX. 10' GY. 10' GZ. 10' HA. 10' HB. 10' HC. 10' HD. 10' HE. 10' HF. 10' HG. 10' HH. 10' HI. 10' HJ. 10' HK. 10' HL. 10' HM. 10' HN. 10' HO. 10' HP. 10' HQ. 10' HR. 10' HS. 10' HT. 10' HU. 10' HV. 10' HW. 10' HX. 10' HY. 10' HZ. 10' IA. 10' IB. 10' IC. 10' ID. 10' IE. 10' IF. 10' IG. 10' IH. 10' II. 10' IJ. 10' IK. 10' IL. 10' IM. 10' IN. 10' IO. 10' IP. 10' IQ. 10' IR. 10' IS. 10' IT. 10' IU. 10' IV. 10' IW. 10' IX. 10' IY. 10' IZ. 10' JA. 10' JB. 10' JC. 10' JD. 10' JE. 10' JF. 10' JG. 10' JH. 10' JI. 10' JJ. 10' JK. 10' JL. 10' JM. 10' JN. 10' JO. 10' JP. 10' JQ. 10' JR. 10' JS. 10' JT. 10' JU. 10' JV. 10' JW. 10' JX. 10' JY. 10' JZ. 10' KA. 10' KB. 10' KC. 10' KD. 10' KE. 10' KF. 10' KG. 10' KH. 10' KI. 10' KJ. 10' KK. 10' KL. 10' KM. 10' KN. 10' KO. 10' KP. 10' KQ. 10' KR. 10' KS. 10' KT. 10' KU. 10' KV. 10' KW. 10' KX. 10' KY. 10' KZ. 10' LA. 10' LB. 10' LC. 10' LD. 10' LE. 10' LF. 10' LG. 10' LH. 10' LI. 10' LJ. 10' LK. 10' LL. 10' LM. 10' LN. 10' LO. 10' LP. 10' LQ. 10' LR. 10' LS. 10' LT. 10' LU. 10' LV. 10' LW. 10' LX. 10' LY. 10' LZ. 10' MA. 10' MB. 10' MC. 10' MD. 10' ME. 10' MF. 10' MG. 10' MH. 10' MI. 10' MJ. 10' MK. 10' ML. 10' MM. 10' MN. 10' MO. 10' MP. 10' MQ. 10' MR. 10' MS. 10' MT. 10' MU. 10' MV. 10' MW. 10' MX. 10' MY. 10' MZ. 10' NA. 10' NB. 10' NC. 10' ND. 10' NE. 10' NF. 10' NG. 10' NH. 10' NI. 10' NJ. 10' NK. 10' NL. 10' NM. 10' NN. 10' NO. 10' NP. 10' NQ. 10' NR. 10' NS. 10' NT. 10' NU. 10' NV. 10' NW. 10' NX. 10' NY. 10' NZ. 10' OA. 10' OB. 10' OC. 10' OD. 10' OE. 10' OF. 10' OG. 10' OH. 10' OI. 10' OJ. 10' OK. 10' OL. 10' OM. 10' ON. 10' OO. 10' OP. 10' OQ. 10' OR. 10' OS. 10' OT. 10' OU. 10' OV. 10' OW. 10' OX. 10' OY. 10' OZ. 10' PA. 10' PB. 10' PC. 10' PD. 10' PE. 10' PF. 10' PG. 10' PH. 10' PI. 10' PJ. 10' PK. 10' PL. 10' PM. 10' PN. 10' PO. 10' PP. 10' PQ. 10' PR. 10' PS. 10' PT. 10' PU. 10' PV. 10' PW. 10' PX. 10' PY. 10' PZ. 10' QA. 10' QB. 10' QC. 10' QD. 10' QE. 10' QF. 10' QG. 10' QH. 10' QI. 10' QJ. 10' QK. 10' QL. 10' QM. 10' QN. 10' QO. 10' QP. 10' QQ. 10' QR. 10' QS. 10' QT. 10' QU. 10' QV. 10' QW. 10' QX. 10' QY. 10' QZ. 10' RA. 10' RB. 10' RC. 10' RD. 10' RE. 10' RF. 10' RG. 10' RH. 10' RI. 10' RJ. 10' RK. 10' RL. 10' RM. 10' RN. 10' RO. 10' RP. 10' RQ. 10' RR. 10' RS. 10' RT. 10' RU. 10' RV. 10' RW. 10' RX. 10' RY. 10' RZ. 10' SA. 10' SB. 10' SC. 10' SD. 10' SE. 10' SF. 10' SG. 10' SH. 10' SI. 10' SJ. 10' SK. 10' SL. 10' SM. 10' SN. 10' SO. 10' SP. 10' SQ. 10' SR. 10' SS. 10' ST. 10' SU. 10' SV. 10' SW. 10' SX. 10' SY. 10' SZ. 10' TA. 10' TB. 10' TC. 10' TD. 10' TE. 10' TF. 10' TG. 10' TH. 10' TI. 10' TJ. 10' TK. 10' TL. 10' TM. 10' TN. 10' TO. 10' TP. 10' TQ. 10' TR. 10' TS. 10' TU. 10' TV. 10' TW. 10' TX. 10' TY. 10' TZ. 10' UA. 10' UB. 10' UC. 10' UD. 10' UE. 10' UF. 10' UG. 10' UH. 10' UI. 10' UJ. 10' UK. 10' UL. 10' UM. 10' UN. 10' UO. 10' UP. 10' UQ. 10' UR. 10' US. 10' UT. 10' UV. 10' UW. 10' UX. 10' UY. 10' UZ. 10' VA. 10' VB. 10' VC. 10' VD. 10' VE. 10' VF. 10' VG. 10' VH. 10' VI. 10' VJ. 10' VK. 10' VL. 10' VM. 10' VN. 10' VO. 10' VP. 10' VQ. 10' VR. 10' VS. 10' VT. 10' VU. 10' VV. 10' VW. 10' VX. 10' VY. 10' VZ. 10' WA. 10' WB. 10' WC. 10' WD. 10' WE. 10' WF. 10' WG. 10' WH. 10' WI. 10' WJ. 10' WK. 10' WL. 10' WM. 10' WN. 10' WO. 10' WP. 10' WQ. 10' WR. 10' WS. 10' WT. 10' WU. 10' WV. 10' WW. 10' WX. 10' WY. 10' WZ. 10' XA. 10' XB. 10' XC. 10' XD. 10' XE. 10' XF. 10' XG. 10' XH. 10' XI. 10' XJ. 10' XK. 10' XL. 10' XM. 10' XN. 10' XO. 10' XP. 10' XQ. 10' XR. 10' XS. 10' XT. 10' XU. 10' XV. 10' XW. 10' XX. 10' XY. 10' XZ. 10' YA. 10' YB. 10' YC. 10' YD. 10' YE. 10' YF. 10' YG. 10' YH. 10' YI. 10' YJ. 10' YK. 10' YL. 10' YM. 10' YN. 10' YO. 10' YP. 10' YQ. 10' YR. 10' YS. 10' YT. 10' YU. 10' YV. 10' YW. 10' YX. 10' YZ. 10' ZA. 10' ZB. 10' ZC. 10' ZD. 10' ZE. 10' ZF. 10' ZG. 10' ZH. 10' ZI. 10' ZJ. 10' ZK. 10' ZL. 10' ZM. 10' ZN. 10' ZO. 10' ZP. 10' ZQ. 10' ZR. 10' ZS. 10' ZT. 10' ZU. 10' ZV. 10' ZW. 10' ZX. 10' ZY. 10' ZZ.

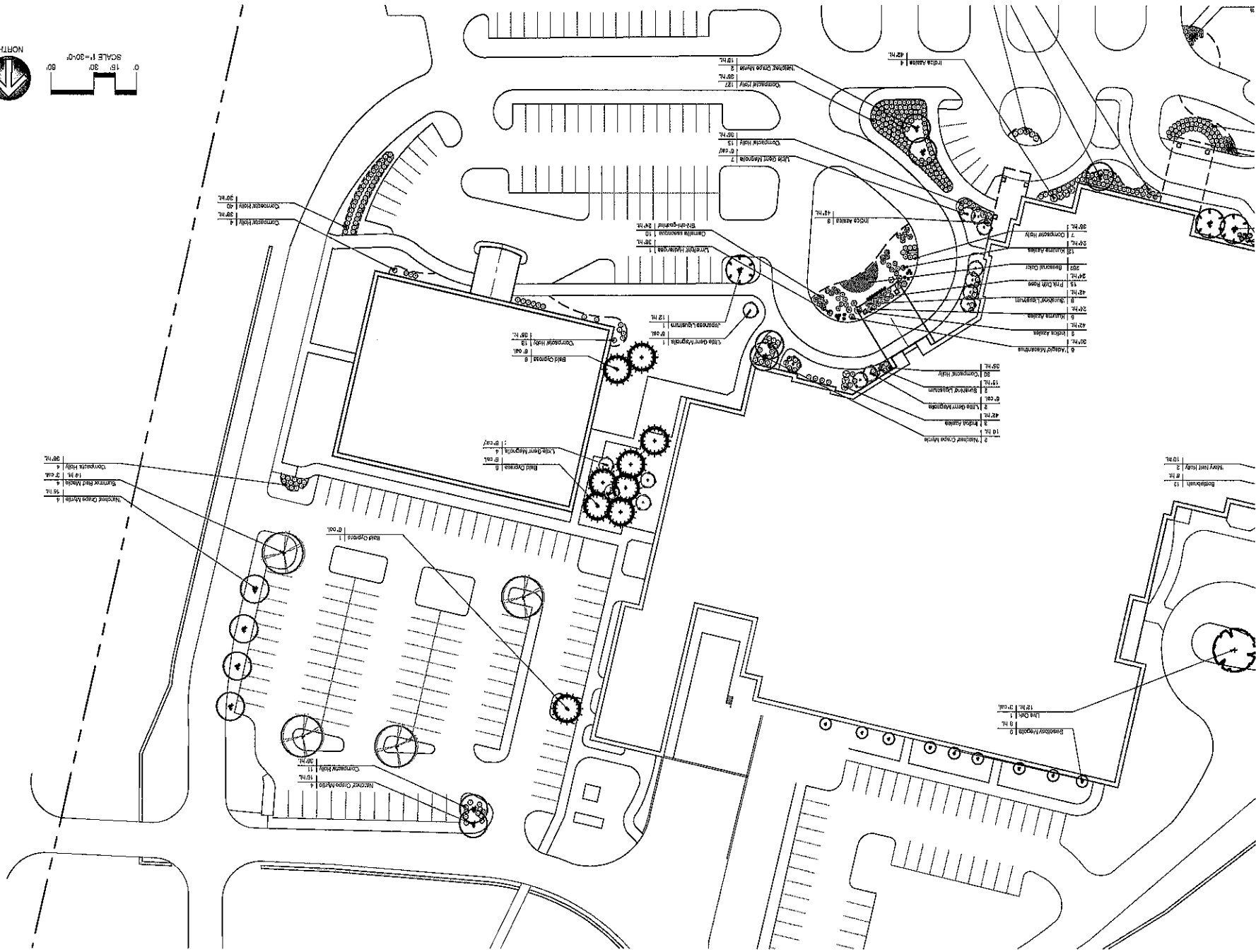


Figure 6 shows the relative intensity of the 100% peak versus the ratio of the number of monomers per molecule (n). The intensity peaks sharply at $n=2$ and then decreases.

97

12345678910111213141516171819202122232425262728293031323334353637383940414243444546474849505152535455565758596061626364656667686970717273747576777879808182838485868788899091929394959697989910010110210310410510610710810911011111211311411511611711811912012112212312412512612712812913013113213313413513613713813914014114214314414514614714814915015115215315415515615715815916016116216316416516616716816917017117217317417517617717817918018118218318418518618718818919019119219319419519619719819920020120220320420520620720820921021121221321421521621721821922022122222322422522622722822923023123223323423523623723823924024124224324424524624724824925025125225325425525625725825926026126226326426526626726826927027127227327427527627727827928028128228328428528628728828929029129229329429529629729829930030130230330430530630730830931031131231331431531631731831932032132232332432532632732832933033133233333433533633733833934034134234334434534634734834935035135235335435535635735835936036136236336436536636736836937037137237337437537637737837938038138238338438538638738838939039139239339439539639739839940040140240340440540640740840941041141241341441541641741841942042142242342442542642742842943043143243343443543643743843944044144244344444544644744844945045145245345445545645745845946046146246346446546646746846947047147247347447547647747847948048148248348448548648748848949049149249349449549649749849950050150250350450550650750850951051151251351451551651751851952052152252352452552652752852953053153253353453553653753853954054154254354454554654754854955055155255355455555655755855956056156256356456556656756856957057157257357457557657757857958058158258358458558658758858959059159259359459559659759859960060160260360460560660760860961061161261361461561661761861962062162262362462562662762862963063163263363463563663763863964064164264364464564664764864965065165265365465565665765865966066166266366466566666766866967067167267367467567667767867968068168268368468568668768868969069169269369469569669769869970070170270370470570670770870971071171271371471571671771871972072172272372472572672772872973073173273373473573673773873974074174274374474574674774874975075175275375475575675775875976076176276376476576676776876977077177277377477577677777877978078178278378478578678778878979079179279379479579679779879980080180280380480580680780880981081181281381481581681781881982082182282382482582682782882983083183283383483583683783883984084184284384484584684784884985085185285385485585685785885986086186286386486586686786886987087187287387487587687787887988088188288388488588688788888989089189289389489589689789889990090190290390490590690790890991091191291391491591691791891992092192292392492592692792892993093193293393493593693793893994094194294394494594694794894995095195295395495595695795895996096196296396496596696796896997097197297397497597697797897998098198298398498598698798898999099199299399499599699799899910001001100210031004100510061007100810091010101110121013101410151016101710181019102010211022102310241025102610271028102910301031103210331034103510361037103810391040104110421043104410451046104710481049105010511052105310541055105610571058105910601061106210631064106510661067106810691070107110721073107410751076107710781079108010811082108310841085108610871088108910901091109210931094109510961097109810991100110111021103110411051106110711081109111011111112111311141115111611171118111911201121112211231124112511261127112811291130113111321133113411351136113711381139114011411142114311441145114611471148114911501151115211531154115511561157115811591160116111621163116411651166116711681169117011711172117311741175117611771178117911801181118211831184118511861187118811891190119111921193119411951196119711981199120012011202120312041205120612071208120912101211121212131214121512161217121812191220122112221223122412251226122712281229123012311232123312341235123612371238123912401241124212431244124512461247124812491250125112521253125412551256125712581259126012611262126312641265126612671268126912701271127212731274127512761277127812791280128112821283128412851286128712881289129012911292129312941295129612971298129913001

NO. DATE

AREA 5
REVISION:

AS-BUILT

சாப்

CHERKEN, G.

DATE:



PLANTING AS-BUILT DRAWING
FOR
SINGING RIVER HEALTH SYSTEM
GULFPORT, MISSISSIPPI

15200 COMMUNITY ROAD

GULFPORT, MS

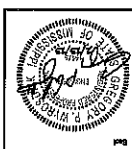
ARCHITECTURE
PLANNING
PROJECT MANAGEMENT
6423 Jordan Road
Daphne, AL 36526
Ph 251-493-0217 Fx 251-493-0218

WELCON
ELECTRICAL CONSULTANTS
14111 GULFPORT MISSISSIPPI 39503
225.922.0000

Project Name and Address
**SINGING RIVER HEALTH SYSTEMS
COMMUNITY ROAD, GULFPORT, MISSISSIPPI**

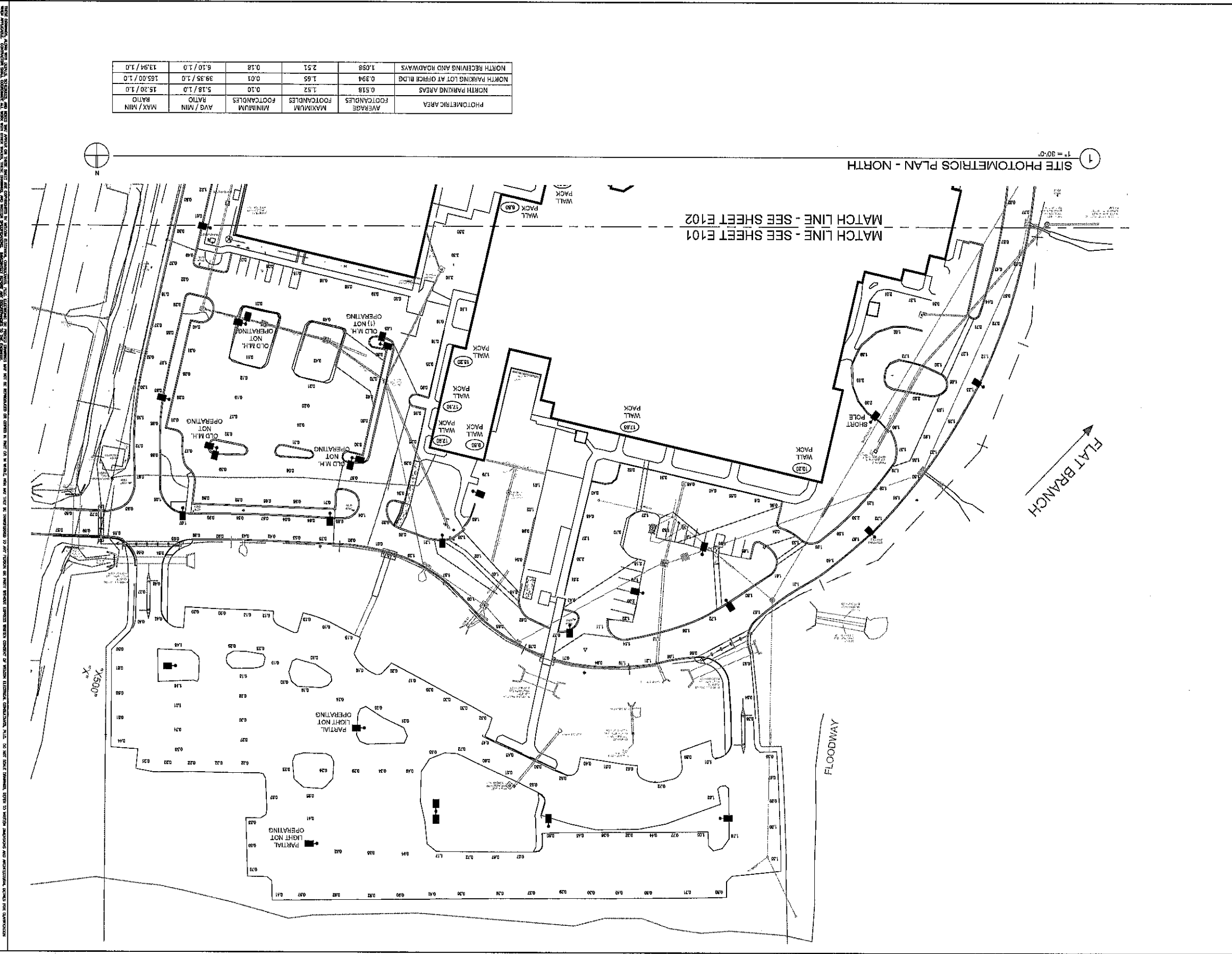
Sheet Title
**SITE PHOTOMETRICS PLAN
(NORTH)**

No.	Date	Revision

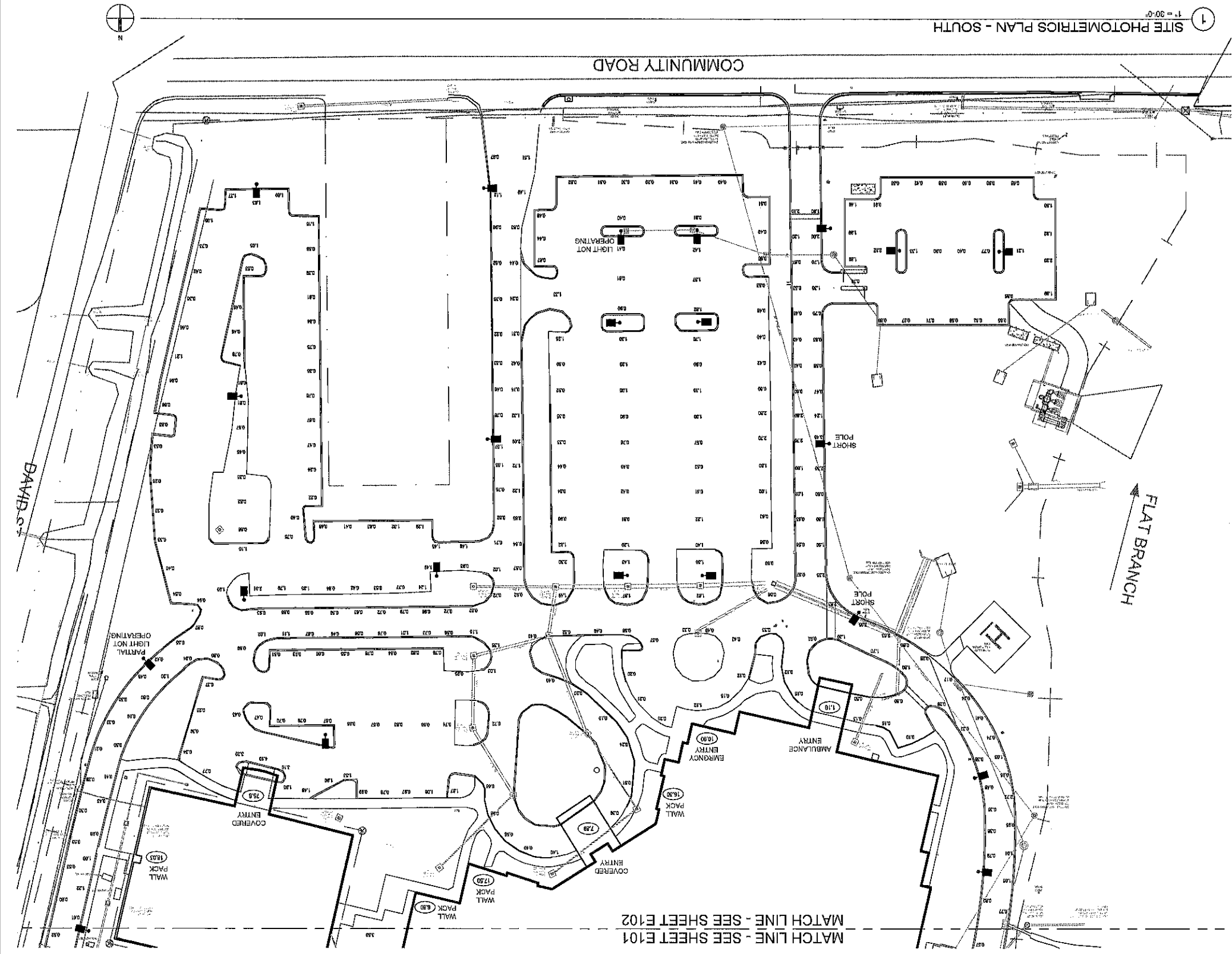


Project No.	23-004-04
Date	7/27/2023
Drawn By	QW
Checked By	QW
Scale	AS SHOWN

Sheet No.
E101
1 of 2 Sheets



PHOTOMETRIC AREA	AVERAGE FOOTCANDLES	MAXIMUM	MINIMUM	AVG / MIN	MAX / MIN
NORTH PARKING AREAS	0.518	1.52	0.10	5.18 / 1.0	15.20 / 1.0
NORTH PARKING LOT AT OFFICE BLDG	1.65	39.35	0.01	39.35 / 1.0	165.00 / 1.0
NORTH RECEIVING AND ROADWAYS	1.058	2.51	0.18	6.10 / 1.0	13.94 / 1.0



MATCH LINE - SEE SHEET E101
MATCH LINE - SEE SHEET E102

PHOTOMETRIC AREA	AVERAGE	FOOTCANDLES	0.815
	MAXIMUM	FOOTCANDLES	3.45
	MINIMUM	FOOTCANDLES	0.20
	AVG / MIN	RATIO	4.09 / 1.0
	MAX / MIN	RATIO	14.00 / 1.0
SOUTH PARKING AREAS			8.15 / 1.0
SOUTH ROADWAYS			34.50 / 1.0

1 SITE PHOTOMETRICS PLAN - SOUTH
1" = 90'-0"

Project No. 22-004-01

Drawn By JWB

Checked By JWB

Date 2/29/2023

1 of 2 Sheets

E102

Project Name and Address

SINGING RIVER HEALTH SYSTEMS
COMMUNITY ROAD, GULFPORT, MISSISSIPPI

Sheet Title

SITE PHOTOMETRICS PLAN
(SOUTH)

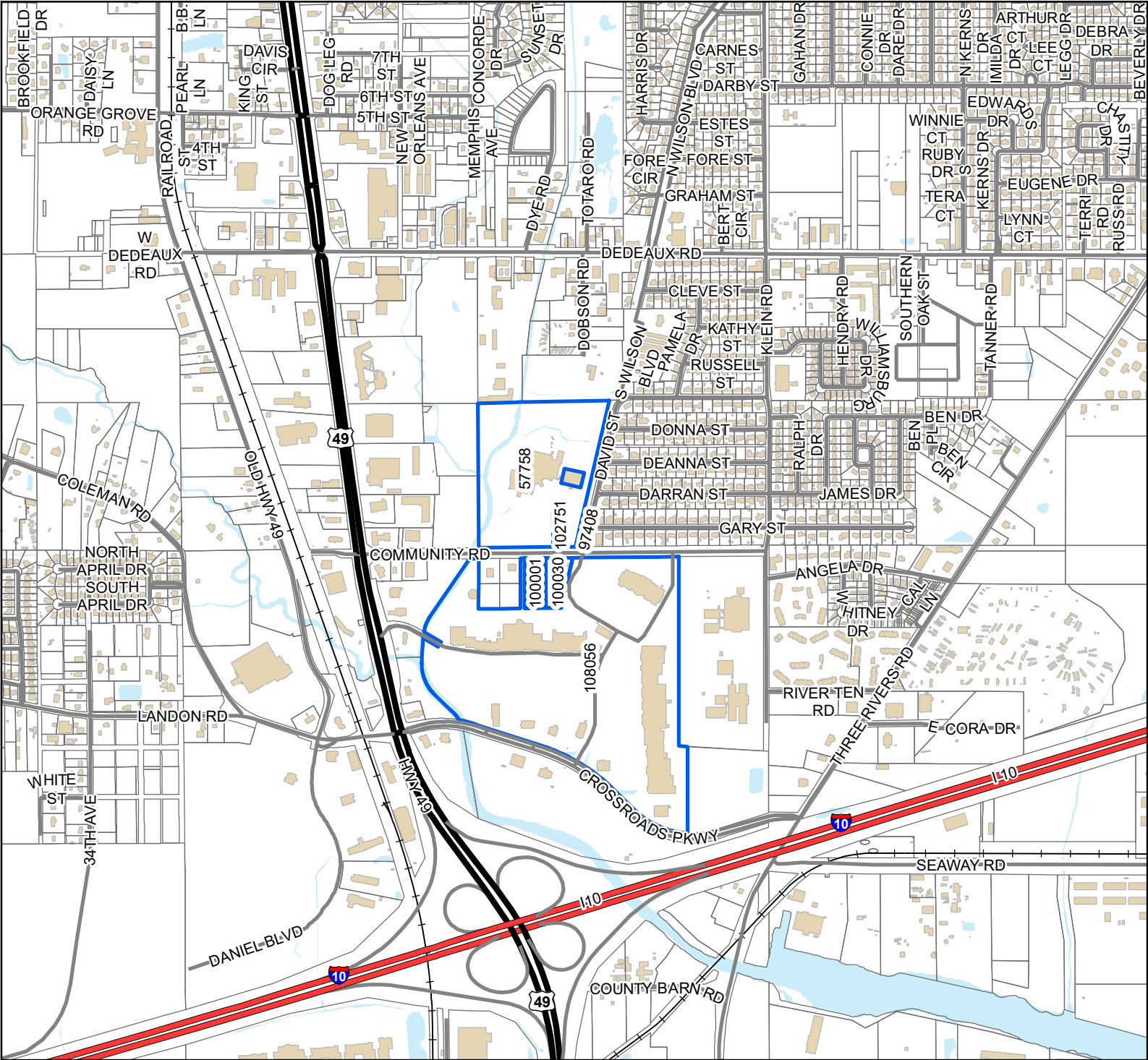
Electrical Consultants
14115 COUNTRY LANE, SUITE 111
GULFPORT, MISSISSIPPI 39503
228.922.6000

WELCON

Professional Seal

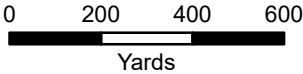
Professional Engineer
State of Mississippi
No. 12345
Exp. 12/31/2025

No.	Date	Revision



Legend

- Site
- Adjacent Properties
- Interstate Highway
- US or State Highway
- Street
- Railroad
- Buildings
- Water Features



1 inch = 1,258 feet



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Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			SINGING RIVER HEALTH SYSTEM (OWNERS)	15200 COMMUNITY ROAD	GULFPORT	MS	39503
			MARTY HARDY (AGENT)	15260 BIG JOHN ROAD	GULFPORT	MS	39532
			Adjacent Property Owners(2303ARC002)				
N	102751	0808N-04-028.004	SINGING RIVER HEALTH SYSTEM	C/O JACKSON COUNTY CHANCERY CLE	PASCAGOULA	MS	39567
	97408	0808N-04-028.003	SAFEGUARD FAMILY PARTNERSHIP LTD	4363-C LEISURE TIME DR	DIAMONDHEAD	MS	39525
	100030	0809C-01-002.005	HARRISON CO SCHOOL DISTRICT	P O BOX 3176	GULFPORT	MS	39505
	100001	0809C-01-002.003	HARRISON CO SCHOOL BOARD	11072 HWY 49	GULFPORT	MS	39503
	108056	0809C-01-002.006	DDR CROSSROADS CENTER LLC-LESSEE-	HARRISON CO SCHOOL BOARD	BEACHWOOD	OH	44122
N	57758	0808N-04-028.001	SINGING RIVER HEALTH SYSTEM	C/O JACKSON COUNTY CHANCERY CLE	PASCAGOULA	MS	39567

RE: Architectural Review 2303ARC002, by agent Marty Hardy, Request waiver from design review standards at Tax Parcel 0808N-04-028.004, regarding landscaping islands, and pedestrian sidewalks and walkways, Zoned B-2 (General Business), Ward 7

To Applicants and Adjacent Property Owners:

The City of Gulfport Architectural Review Committee will hold a public hearing to consider the above application at 3:00 P.M. on **Thursday, April 13, 2023**, in the Council Chambers at the Gulfport City Hall located at 2309 15th Street.

For more information, visit <https://www.gulfport-ms.gov/agendas/> then click the City of Gulfport Architectural Review Committee for **Thursday, April 13, 2023**. A map showing the location of the property involved is located at this website. If you have any questions or comments, please contact this office at the phone number 228-868-5710 or email planners@gulfport-ms.gov. The application is available for viewing in the Planning Division office at 1410 24th Avenue.

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review 2304ARC004:

Architectural Review 2304ARC004, by owner Gus Gamboa, requests approval at Tax Parcel 0909G-01-001.007 for metal panels on a new building, located on Seaway Road, Zoned B-2 (General Business), Ward 7

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2304ARC004

Hearing Date: April 13, 2023

Current Zoning/Use: I-2 / Commercial Structure

Legal: Architectural Review 2304ARC004, by owner Gus Gamboa, requests approval for metal panels on a new building at Tax Parcel 0909G-01-001.007, located on 0 Logan Cline Road, Zoned I-2 (Heavy Industrial District), Ward 5

TECHNICAL DETAILS

The applicant requests a waiver not to meet the required design standard for Appendix A, Sec. IV Supplementary Regulations (2.7) (i-v)

2.7. Materials and finishes.

- i. There should be a visual distinction between the base (ground-floor façades), middle (upper-level floors) and top of buildings. This can be accomplished by using different materials and/or colors for storefronts and upper stories.
- ii. Predominant exterior building material surfaces should be high quality materials, including, but not limited to, architectural block, brick, concrete with an architectural finish, stucco, glass, wood, sandstone, or other native stone and tinted/textured concrete masonry units. Exterior building materials should not include unfinished or unpainted concrete panels, metal panels or smooth face concrete block.
- iii. Storefront primary cladding materials should be brick, stone, or carved wood panels. Wood, when used, should be painted or stained. Doors should match storefront window frames, and should be made of crafted wood, stainless steel, bronze, or other ornamental metals.
- iv. Façade colors should be neutral or muted colors. The use of bright "primary" colors should be prohibited. Accent colors may be brighter and more intense but should harmonize with the dominant building color.
- v. For additions or renovations of existing buildings, siding and detail materials used should generally match or be consistent with the original building materials.

EXECUTIVE SUMMARY

A site visit by staff of the surrounding area found that there are commercial buildings directly across from the site with finished metal siding. The proposed building design and location is in harmony with the industrial and commercial nature of the surrounding area. Therefore, the staff recommendation is to approve the applicant's request.

2.14

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

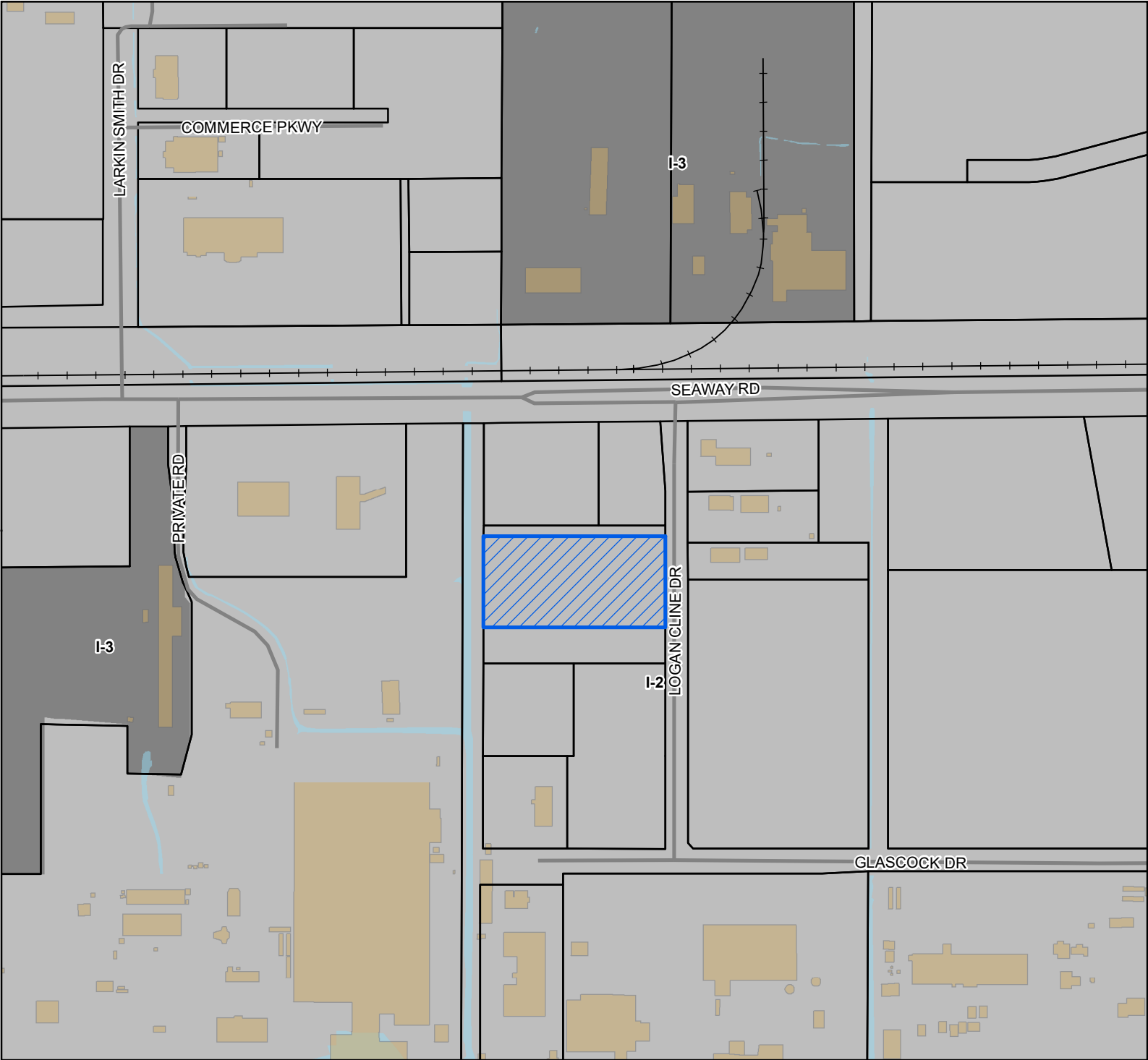
Any approval should consider these conditions:

1. Must comply with all planning and zoning rules regulations. More specifically, the exterior building materials should not include unfinished or unpainted concrete panels, metal panels or smooth face concrete block.

DIRECTOR APPROVAL

This report has been reviewed and approved by:

Ryan Merrill
Director of Urban Development Department



Site

Site

Street

Railroad

Parcels

Buildings

Water Features

Zoning

I-2 - Heavy Industry District

I-3 - Planned Industrial District

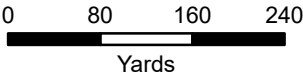
Site Information

0909G-01-001.019

Zoning: I-2 (Heavy Industry District)

Size: 5 acres

Flood: AE



1 inch = 500 feet



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CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

Case Number
2304ARC004

Architectural Review Committee Application

REQUESTED ACTION BY THE Architectural Review Committee

(A separate submission form is required for each request):

☒	Architectural Design Review
☐	Signs

Tax Parcel Numbers

0	9	0	9	6	-	0	1	-	0	0	1	.	0	0	7					-										
					-							.								-										
					-							.								-										

Property Address: Do not have one yet.

Property Address: _____

Lot(s) 7-8, Block(s) Bonnie Mayes, Subdivision No 2

General Description of Request: Approving Metal Panels on a New Building

OWNERSHIP AND CERTIFICATION

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request. We can only accept applications with **original signatures**

Carter Jones Property OWNER

AGENT

Gus Gramba

Printed Name of Owner

615 Pass Rd

Mailing Address

GULFPORT MS 39501

City

State

Zip code

228 383 2043 228/383 1945

Home Phone

Work/Cell Phone

ggamba@FCConstruction.com

Email

Gus Gramba

Signature of Owner

Printed Name of Agent

Mailing Address

City

State

Zip code

Home Phone

Work/Cell Phone

Email

Signature of Agent

This page must be completed if the property or properties involved have more than one owner. All persons listed as owners to the property or properties listed on page one must complete and sign this part of the application. We can only accept applications with *original signatures*.

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or authorized to act as the owner's agent for herein described request.

NAME OF OWNER (PRINT)

Erus Gamba

ADDRESS (STREET, CITY, STATE, ZIP CODE)

615 Pass rd Gulfport, MS 39501

PHONE # (H)

228 383 2043

(WK/CELL)

228 383 1945

TAX PARCEL NUMBER(S) OWNED

09096-01-001-007

SIGNATURE:

Erus Gamba

NAME OF OWNER (PRINT)

ADDRESS (STREET, CITY, STATE, ZIP CODE)

PHONE # (H)

(WK/CELL)

TAX PARCEL NUMBER(S) OWNED

SIGN:

NAME OF OWNER (PRINT)

ADDRESS (STREET, CITY, STATE, ZIP CODE)

PHONE # (H)

(WK/CELL)

To the Architectural review Committee. My name is Gus Gunkel I am asking
for a design approval of metal panels on my new office located on Seawigged.
We are not meeting the architectural standards due to the metal panels but our vision
on construction and our style are more on a modern ~~look~~ ~~look~~ ~~the~~ ~~the~~
style. IF we deviate from our
look of construction we will not be competitive and therefore we will not grow
as a company.

Gus Gunkel
3/10/23



Designation of Agent

I, Gus Chambers, being property owner of 09056-01-001-007
PRINT NAME PRIMARY ADDRESS OR PARCEL
which is the subject of this application hereby authorize Gus Chambers to act as my
PRINT NAME
representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this petition. This designation authorizes my agent to make verbal or written representations and/or declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in approval or denial of said petition.

Gus Chambers
Signature

3/10/23
Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 10th day of March, 2023

Matilda Welch
Notary Public



Commission Expiration

NEW FACILITY FOR FLOORCo

ROBERT J. KNESAL, P.E.

28 56TH STREET
GULFPORT, MS
39507
228 - 860 - 5318

REVISIONS	DATE

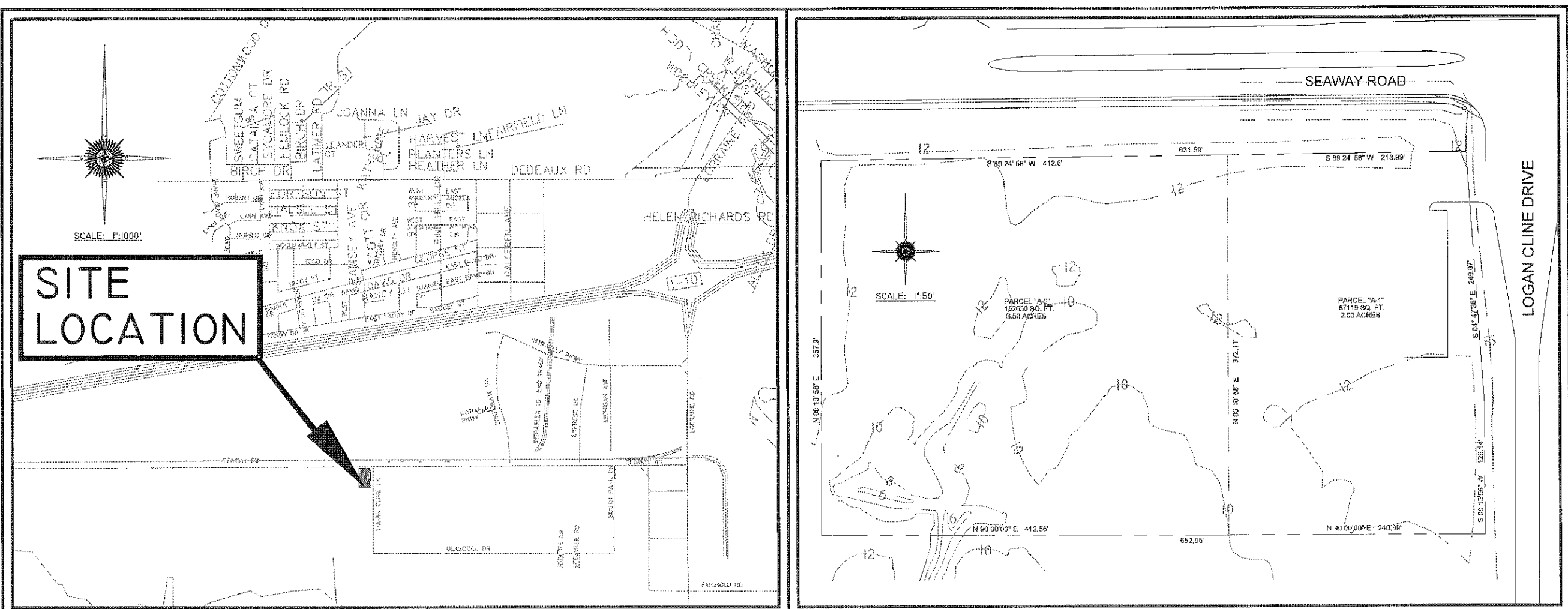


OWNER & ADDRESS	PROJECT TITLE	SHEET TITLE
FLOORCo 10220 LOGAN CLINE DR GULFPORT, MS 39503	NEW FACILITY	TITLE SHEET

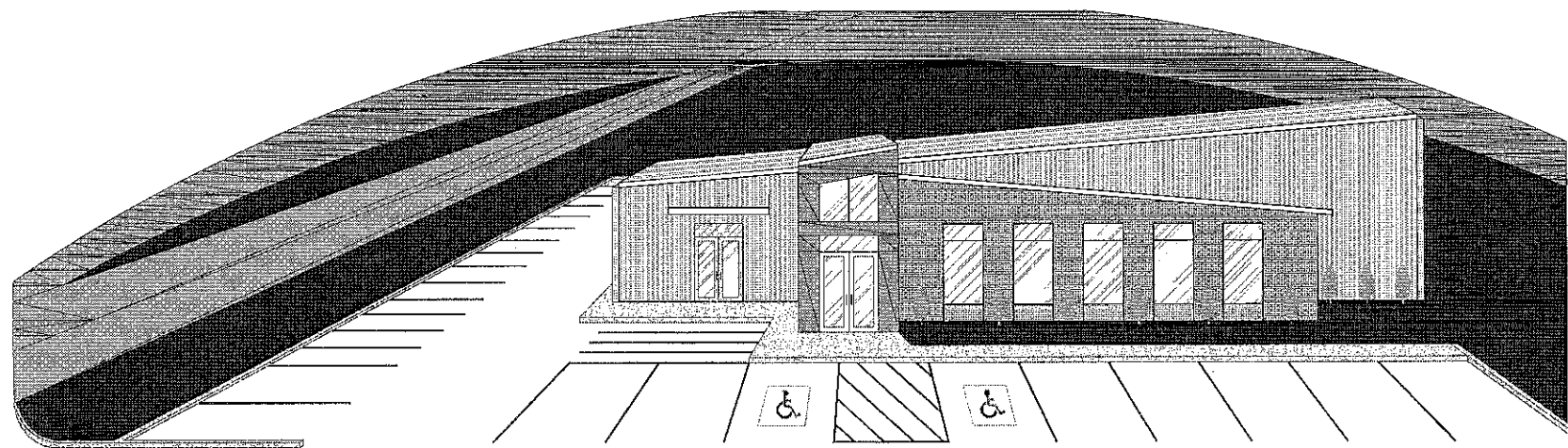
DESIGNED BY: R. J. KNESAL
DRAWN BY: C. JARROD KNESAL
CHECKED BY: R. J. KNESAL
DATE: FEBRUARY 28, 2023
SCALE: AS NOTED
JOB #: 58 C
SHEET: 1 OF 8 PAGES

THE INFORMATION CONTAINED IN THIS DOCUMENT IS PROPRIETARY TO KNESAL DESIGNS, INC. THE DOCUMENT MAY NOT BE DISCLOSED, DUPLICATED, OR USED FOR ANY PURPOSE IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF KNESAL DESIGNS, INC.

DESIGNED BY:	C. JARROD KNESAL
REVIEWED BY:	ROBERT J. KNESAL
DATE:	FEBRUARY 28, 2023
SCALE:	AS NOTED
JOB #:	58 C
SHEET:	TITLE SHEET



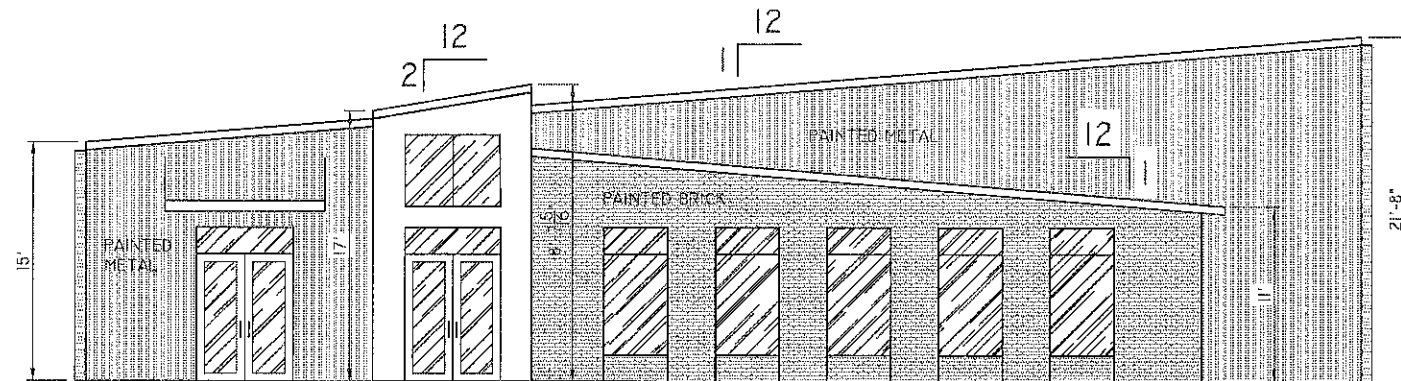
NOTES:
1ST FRONT ENTRANCE - DARK GRAY COMPOSITE SIDING & WINDOWS.
FRONT BUILDING - BRICK PAINT WHITE W/ (5) 4'x8' WINDOWS.
2ND FRONT ENTRANCE - LIGHT GRAY METAL PANEL SIDING.
LANDSCAPE - SMALL SHRUBS ALONG THE FRONT & SIDES OF THE BUILDING.
CONCRETE SIDEWALK & CURBING.
OPENINGS - 8 WINDOWS INCLUDING UPPER FOYER WINDOWS, 2 PAIR OF DOUBLE DOORS.
PARKING - PAVEMENT FINISH. (29, SHOWING) 9' PARKING SPACES W/ (2) ACCESSIBLE HANDICAP. 5'x18' HATCHED IN NO PARKING LINES 4" T & ACCESS TO ADA RAMP.



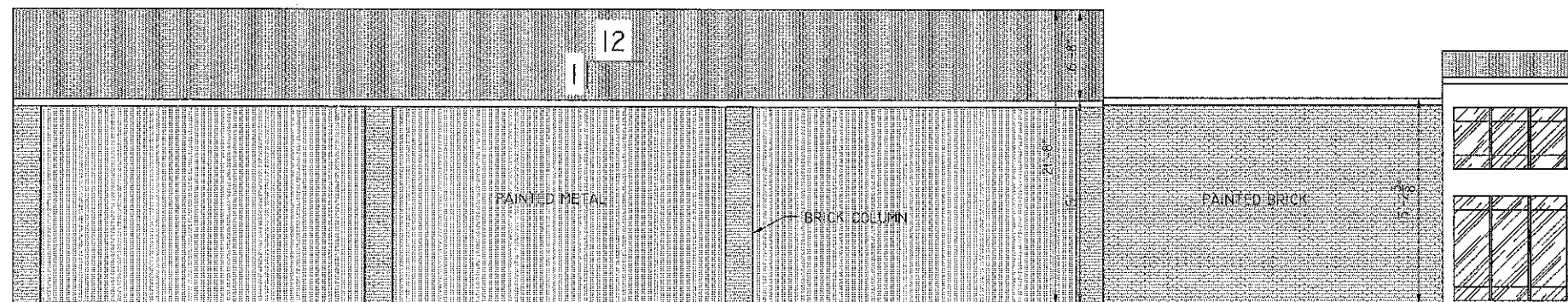
BUILDING FRONT VIEW

SCALE: N.T.S.

INDEX	
SHEET	DESCRIPTION
1	TITLE SHEET
2	SITE PLAN & ADA DETAILS
3	DRAINAGE PLAN & ADA NOTES
3A	STORMWATER PLAN & NOTES
4	FOUNDATION PLAN
5	FLOOR PLAN W/ DW SCHED & WALL DETAIL
6	ELEVATION VIEWS
7	PLUMBING PLANS
8	HVAC PLAN & OTHER NOTES



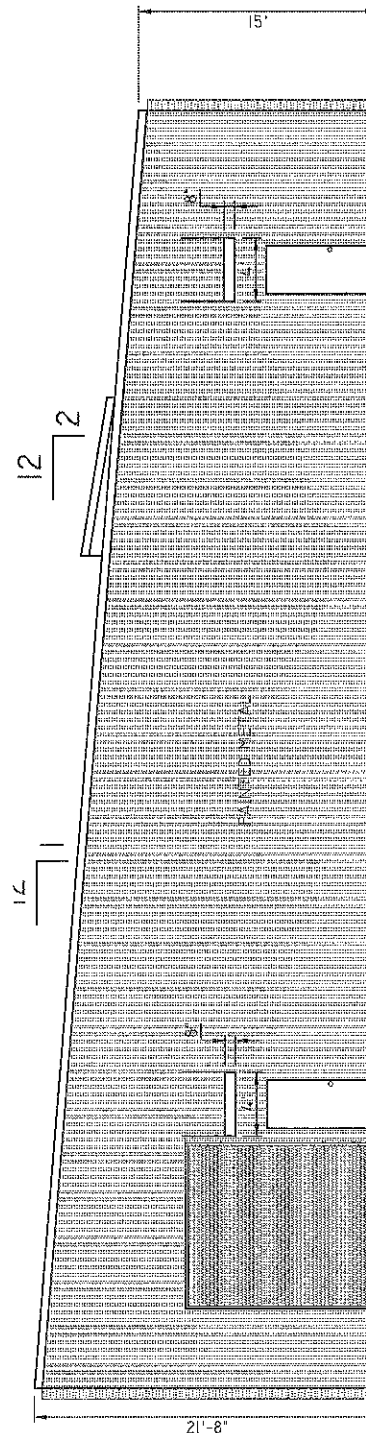
NORTH ELEVATION
(FRONT SIDE)



EAST ELEVATION
(LEFT SIDE)



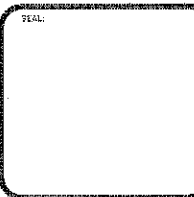
WEST ELEVATION
(RIGHT SIDE)



SOUTH ELEVATION
(REAR SIDE)

ROBERT J. KNESAL, P.E.
28 56TH STREET
GULFPORT, MS
39507
228 - 860 - 5318

REVISIONS	DATE



KNESAL DESIGNS	
FLOORCO 10220 LOGAN CLINE DR GULFPORT, MS 39503	
PROJECT TITLE	NEW FACILITY
SHEET TITLE	ELEVATION VIEWS
ENGINEERING & DRAFTING SERVICES	

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DRAWN BY:	C. JARROD KNESAL
REVIEWED BY:	ROBERT J. KNESAL
DATE:	FEBRUARY 28, 2023
SCALE:	3/16" = 1'-0"
JOB #:	59 C
SHEET:	ELEVATION VIEWS
6	OF 8 PAGES



SCANNED



J. Simpson 1st Judicial District
Instrument 2021 2361 D -J1
Filed/Recorded 2/19/2021 02:48 P
Total Fees \$ 27.00
6 Pages Recorded

Return To:
James C. Simpson, Jr.
Wise Carter Child & Caraway, P.A.
2510 14th Street, Suite 1125
Gulfport, MS 39501
(228) 867-7141

Prepared By:
James C. Simpson, Jr.
Wise Carter Child & Caraway, P.A.
2510 14th Street, Suite 1125
Gulfport, MS 39501
(228) 867-7141

STATE OF MISSISSIPPI,
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

SPECIAL WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash in hand paid,
and other good, legal, and valuable considerations, the receipt and sufficiency of which are
hereby acknowledged, we

HARRISON COUNTY DEVELOPMENT COMMISSION
12281 Intraplex Parkway
Gulfport, MS 39503
228-896-5020

and

HARRISON COUNTY BOARD OF SUPERVISORS
Harrison County Courthouse
Gulfport, MS 39501
228-865-4001

and jointly acting for and on behalf of

HARRISON COUNTY, MISSISSIPPI
Harrison County Courthouse
Gulfport, MS 39501
228-865-4001

2

do hereby sell, convey, and specially warrant unto:

CARTER JAMES PROPERTIES, LLC
615 Pass Road Suite D
Gulfport, MS 39501
(228) 669-4428

the following described real property situated and located in the First Judicial District of Harrison County, Mississippi, more particularly and certainly described as follows:

(See Exhibit A attached)

INDEXING INSTRUCTIONS:

Bernard Bayou Industrial District
First Judicial District of Harrison County, Mississippi

The above described property is no part the Grantors' homestead.

The above described real property shall be used for the purpose of operating a retail flooring store and warehouse. Should Grantee fail to use the land for said purpose within one year from the date of the sale Seller have the option, but not the obligation, to repurchase such land at the purchase price as stated above.

This conveyance is subject to any and all recorded rights-of-way, easements and prior reservations of any oil, gas, minerals and other rights.

WITNESS THE SIGNATURES of the Grantor, this the 25 day of Aug, 2020.

HARRISON COUNTY DEVELOPMENT COMMISSION

BY: Frank Castiglia, Jr.
Frank Castiglia, Jr., President

ATTEST:

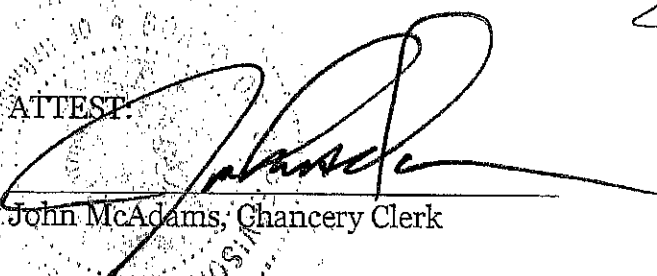
Frank W. Bordeaux
Frank Bordeaux, Secretary

HARRISON COUNTY BOARD OF SUPERVISORS

BY:



ATTEST:


John McAdams, Chancery Clerk

STATE OF MISSISSIPPI

COUNTY OF HARRISON

PERSONALLY came and appeared before me on this the 25 day of August, 2020 the undersigned authority in and for the County and State aforesaid, the within named Frank Castiglia, Jr., President and Frank Bordeaux, Secretary of the Harrison County Development Commission, a public entity of the State of Mississippi, and who acknowledged that they signed and delivered the above and foregoing instrument on the day and year therein set out as the act and deed of the Harrison County Development Commission, they having full authority to do so.

WITNESS my hand and official seal of office on this the 25 day of Aug, 2020.




NOTARY PUBLIC

STATE OF MISSISSIPPI

COUNTY OF HARRISON

PERSONALLY came and appeared before me on this the 8th day of September, 2020, the undersigned authority in and for the County and State aforesaid, the within named John McAdams, Chancery Clerk of Harrison County, Mississippi and Beverly Martin, Vice President of the Harrison County Board of Supervisors, a public entity of the State of Mississippi, and who acknowledged that they signed and delivered the above and foregoing instrument on the day and year therein set out as the act and deed of the Harrison County Board of Supervisors, they having full authority to do so.

WITNESS my hand and official seal of office on this the 8th day of September, 2020.

Angela Thrash
NOTARY PUBLIC

My Commission Expires:

6.24.2021



EXHIBIT "A"

To Special Warranty Deed by the Harrison County Development Commission, and
 Harrison County Board of Supervisors Acting
 For and On Behalf of Harrison County, Mississippi, to
 Carter James Properties, LLC.

LEGAL DESCRIPTION

LEGAL DESCRIPTION
 PARCEL "A-1"
 PROPOSED

COMMENCEMENT
 POINT

A parcel of land located in and being a part of Lots 7 and 8, Subdivision No. 2, Bernard Bayou Industrial District, City of Gulfport, First Judicial District of Harrison County, Mississippi, better described as follows, to-wit:

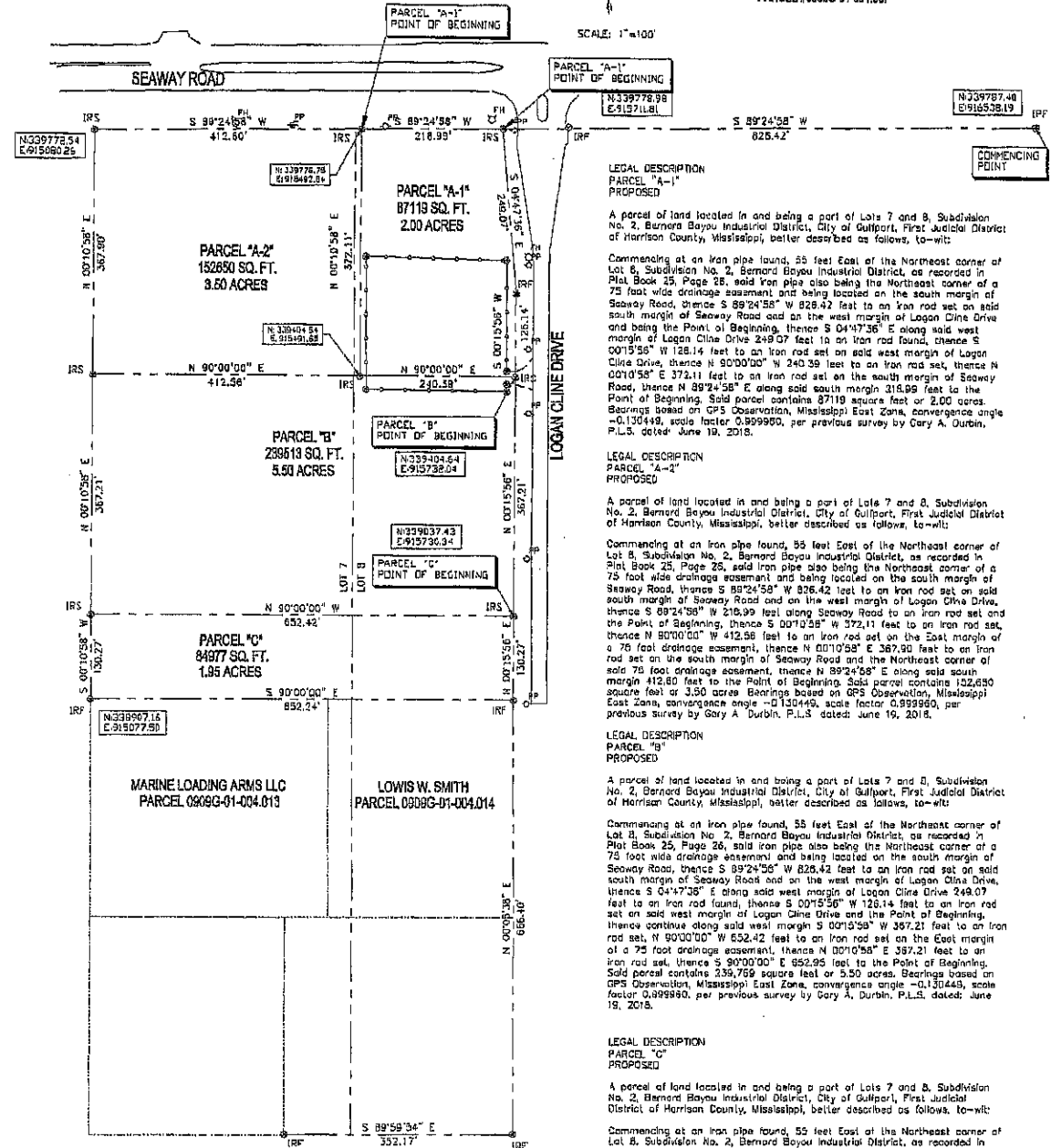
Commencing at an iron pipe found, 55 feet East of the Northeast corner of Lot 8, Subdivision No. 2, Bernard Bayou Industrial District, as recorded in Plat Book 25, Page 26, said iron pipe also being the Northeast corner of a 75 foot wide drainage easement and being located on the south margin of Seaway Road, thence S 89°24'58" W 826.42 feet to an iron rod set on said south margin of Seaway Road and on the west margin of Logan Cline Drive and being the Point of Beginning, thence S 04°47'36" E along said west margin of Logan Cline Drive 249.07 feet to an iron rod found, thence S 00°15'56" W 126.14 feet to an iron rod set on said west margin of Logan Cline Drive, thence N 90°00'00" W 240.39 feet to an iron rod set, thence N 00°10'58" E 372.11 feet to an iron rod set on the south margin of Seaway Road, thence N 89°24'58" E along said south margin 218.99 feet to the Point of Beginning. Said parcel contains 87119 square feet or 2.00 acres. Bearings based on GPS Observation, Mississippi East Zone, convergence angle -0.130449, scale factor 0.999960, per previous survey by Gary A. Durbin, P.L.S. dated: June 19, 2018.

IRP 1/2" IRON ROD FOUND
IRP 5/4" IRON PIPE FOUND
IRS 1/2" IRON ROD SET
P=PLAY OF RECORD
M=MEASURED
D=DEED

REFERENCE:
SURVEY BY J. MARK
OTTO, P.L.S.
2007-7127-0-01

LOGAN CLINE DRIVE
PART OF LOT 7, SUBDIVISION NO. 2, BERNARD BAYOU
GULFPORT, MISSISSIPPI
PARCEL #0909G-01-001.007

SCALE: 1"=100'



LEGAL DESCRIPTION
PARCEL "A-1"
PROPOSED

A parcel of land located in and being a part of Lots 7 and 8, Subdivision No. 2, Bernard Bayou Industrial District, City of Gulfport, First Judicial District of Harrison County, Mississippi, better described as follows, to-wit:

Commencing at an iron pipe found, 55 feet East of the Northeast corner of Lot 8, Subdivision No. 2, Bernard Bayou Industrial District, as recorded in Plat Book 25, Page 28, said iron pipe also being the Northeast corner of a 75 foot wide drainage easement and being located on the south margin of Seaway Road, thence S 89°24'58" W 828.42 feet to an iron rod set on said south margin of Seaway Road and on the west margin of Logan Cline Drive and being the Point of Beginning, thence S 04°47'36" E along said west margin of Logan Cline Drive 249.07 feet to an iron rod found, thence S 00°15'56" W 126.14 feet to an iron rod set on said west margin of Logan Cline Drive, thence N 90°00'00" W 240.39 feet to an iron rod set, thence N 00°10'38" E 372.11 feet to an iron rod set on the south margin of Seaway Road, thence N 89°24'58" E along said south margin 318.99 feet to the Point of Beginning. Said parcel contains 87,119 square feet or 2.00 acres. Bearings based on GPS Observation, Mississippi East Zone, convergence angle -0.130449, scale factor 0.999980, per previous survey by Gary A. Durbin, P.L.S. dated: June 19, 2018.

LEGAL DESCRIPTION
PARCEL "A-2"
PROPOSED

A parcel of land located in and being a part of Lots 7 and 8, Subdivision No. 2, Bernard Bayou Industrial District, City of Gulfport, First Judicial District of Harrison County, Mississippi, better described as follows, to-wit:

Commencing at an iron pipe found, 55 feet East of the Northeast corner of Lot 8, Subdivision No. 2, Bernard Bayou Industrial District, as recorded in Plat Book 25, Page 28, said iron pipe also being the Northeast corner of a 75 foot wide drainage easement and being located on the south margin of Seaway Road, thence S 89°24'58" W 828.42 feet to an iron rod set on said south margin of Seaway Road and on the west margin of Logan Cline Drive, thence S 89°24'58" W 216.99 feet along Seaway Road to an iron rod set and the Point of Beginning, thence S 00°10'38" E 387.90 feet to an iron rod set, thence N 89°24'58" W 412.56 feet to an iron rod set on the East margin of a 75 foot drainage easement, thence N 00°10'38" E 387.90 feet to an iron rod set on the south margin of Seaway Road and the Northeast corner of said 75 foot drainage easement, thence N 89°24'58" E along said south margin 412.80 feet to the Point of Beginning. Said parcel contains 152,850 square feet or 3.50 acres. Bearings based on GPS Observation, Mississippi East Zone, convergence angle -0.130449, scale factor 0.999980, per previous survey by Gary A. Durbin, P.L.S. dated: June 19, 2018.

LEGAL DESCRIPTION
PARCEL "B"
PROPOSED

A parcel of land located in and being a part of Lots 7 and 8, Subdivision No. 2, Bernard Bayou Industrial District, City of Gulfport, First Judicial District of Harrison County, Mississippi, better described as follows, to-wit:

Commencing at an iron pipe found, 55 feet East of the Northeast corner of Lot 8, Subdivision No. 2, Bernard Bayou Industrial District, as recorded in Plat Book 25, Page 28, said iron pipe also being the Northeast corner of a 75 foot wide drainage easement and being located on the south margin of Seaway Road, thence S 89°24'58" W 828.42 feet to an iron rod set on said south margin of Seaway Road and on the west margin of Logan Cline Drive, thence S 04°47'36" E along said west margin of Logan Cline Drive 249.07 feet to an iron rod found, thence S 00°15'56" W 126.14 feet to an iron rod set on said west margin of Logan Cline Drive and the Point of Beginning, thence continue along said west margin S 00°15'56" W 367.21 feet to an iron rod set, N 90°00'00" W 552.42 feet to an iron rod set on the East margin of a 75 foot drainage easement, thence N 00°10'38" E 387.21 feet to an iron rod set, thence S 90°00'00" E 652.95 feet to the Point of Beginning. Said parcel contains 238,613 square feet or 5.50 acres. Bearings based on GPS Observation, Mississippi East Zone, convergence angle -0.130449, scale factor 0.999980, per previous survey by Gary A. Durbin, P.L.S. dated: June 19, 2018.

LEGAL DESCRIPTION
PARCEL "C"
PROPOSED

A parcel of land located in and being a part of Lots 7 and 8, Subdivision No. 2, Bernard Bayou Industrial District, City of Gulfport, First Judicial District of Harrison County, Mississippi, better described as follows, to-wit:

Commencing at an iron pipe found, 55 feet East of the Northeast corner of Lot 8, Subdivision No. 2, Bernard Bayou Industrial District, as recorded in Plat Book 25, Page 28, said iron pipe also being the Northeast corner of a 75 foot wide drainage easement and being located on the south margin of Seaway Road, thence S 89°24'58" W 828.42 feet to an iron rod set on said south margin of Seaway Road and on the west margin of Logan Cline Drive, thence S 04°47'36" E along said west margin of Logan Cline Drive 249.07 feet to an iron rod found, thence S 00°15'56" W 126.14 feet to an iron rod set on said west margin of Logan Cline Drive, thence continue along said west margin S 00°15'56" W 367.21 feet to an iron rod set and the Point of Beginning, thence continue along said west margin S 00°15'56" W 130.27 feet to an iron rod found, thence N 90°00'00" W 852.24 feet to an iron rod set on the East margin of a 75 foot drainage easement, thence N 00°10'38" E 130.27 feet to an iron rod set, thence S 90°00'00" E 652.42 feet to the Point of Beginning. Said parcel contains 84,977 square feet or 1.95 acres. Bearings based on GPS Observation, Mississippi East Zone, convergence angle -0.130449, scale factor 0.999980, per previous survey by Gary A. Durbin, P.L.S. dated: June 19, 2018.

This survey does not reflect a title search by Gary A. Durbin, P.L.S., nor should it be considered as such.

This is a Class "B" survey per "The Minimum Standards for the State of Mississippi"

Bearings based on GPS Observation of the east margin of Rich Avenue, NAD 83, MS East Zone, convergence angle -0.130449, scale factor 0.999980.

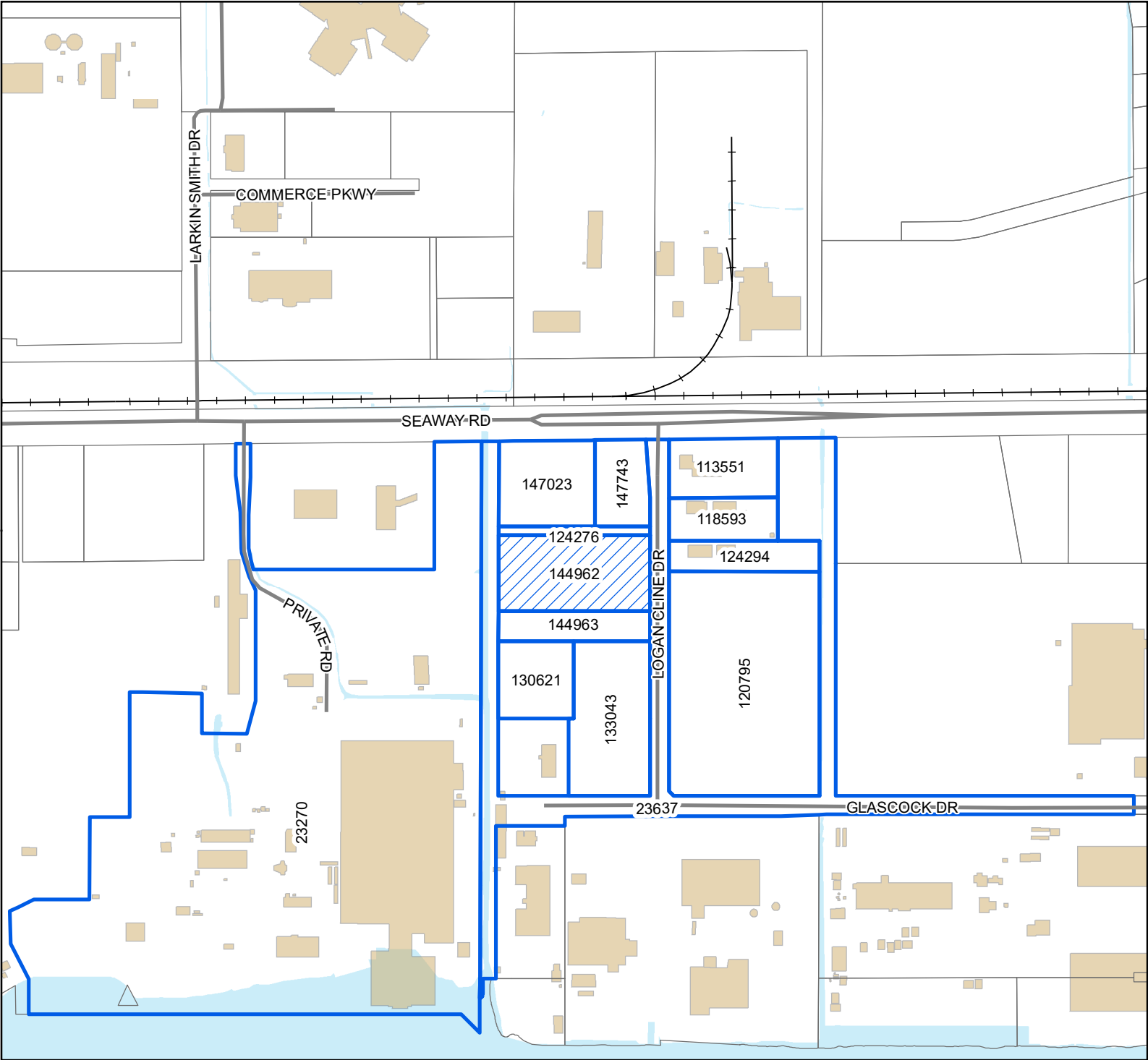
This property is situated in Zone "NE-15" per FEMA Flood Insurance Rate Map, City of Gulfport, Harrison County, Mississippi, Community Panel Number 28047C-0285-G, Revised 5/18/09

This is to certify that this plot of map and the survey on which it is based were made in accordance with the Standards of Practice for Land Surveying in the State of Mississippi.

Gary A. Durbin, P.L.S.
June 19, 2018
Revised: August 7, 2020

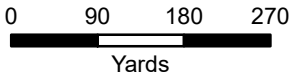


GARY A. DURBIN, P.L.S.
PROFESSIONAL LAND SURVEYOR
2031 IRONWOOD DRIVE, SUITE 305
GULFPORT, MS 39502
PH (228) 246-3515



Legend

- Site
- Adjacent Properties
- Street
- Railroad
- Buildings
- Water Features



1 inch = 600 feet



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Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			GUS GAMBOA	615 PASS RD	GULFPORT	MS	39501
			Adjacent Property Owners(2304ARC004)				
	113551	0909G-01-001.003	DLM PROPERTIES LLC	366 MARINA BLVD	MANDEVILLE	LA	70471
	118593	0909G-01-001.004	GEOPAVE LLC	10200 LOGAN CLINE DR	GULFPORT	MS	39505
	120795	0909G-01-001.005	SEEMANN WILLIAM H III	25258 NOTRE DAME AVE	PASS CHRISTIAN	MS	39571
	124294	0909G-01-001.008	HUEY P STOCKSTILL LLC	130 HUEY STOCKSTILL RD	PICAYUNE	MS	39466
	23270	0909F-01-001.002	GULF COAST SHIPYARD REALTY LLC	13085 SEAWAY RD	GULFPORT	MS	39503
	144962	0909G-01-001.019	HARRISON CO DEV COMM	P O BOX 1870	GULFPORT	MS	39502
	130621	0909G-01-001.013	MARINE LOADING ARMS LLC	17095 CARLTON CUEVAS RD	GULFPORT	MS	39503
	144963	0909G-01-001.020	IG DEVELOPMENT LLC	9591 SOUTH BAYOU BEND DR	GULFPORT	MS	39503
	147743	0909G-01-001.024	CARTER JAMES PROPERTIES LLC	615 PASS RD STE D	GULFPORT	MS	39501
	133043	0909G-01-001.014	FIFTY TWO-SIXTY INVESTMENTS LLC	8641 UNITED PLAZA BLVD	BATON ROUGE	LA	70809
	147023	0909G-01-001.023	CARTER JAMES PROPERTIES LLC -LESSEE	PO BOX 7377	GULFPORT	MS	39506

RE: Architectural Review Committee 2304ARC004, by owner Gus Gamboa, tax parcel 0909G-01-001.007, Request approval for metal panels on new building, located on Seaway Road, Zoned B-2 (General Business), Ward 7

To Applicants and Adjacent Property Owners:

The City of Gulfport Architectural Review Committee will hold a public hearing to consider the above application at 3:00 P.M. on **Thursday, April 13, 2023**, in the Council Chambers at the Gulfport City Hall located at 2309 15th Street.

For more information, visit <http://www.gulfport-ms.gov/agendas/> then click the City of Gulfport Architectural Review Committee for **Thursday, April 13, 2023**. A map showing the location of the property involved is located at this website. If you have any questions or comments, please contact this office at the phone number 228-868-5710 or email planners@gulfport-ms.gov. The application is available for viewing in the Planning Division office at 1410 24th Avenue.

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review 2304ARC005:

Architectural Review 2304ARC005, by agent Jon D. Storonsky, requests design approval at Tax Parcel 0910M-02-001.000, for a double-sided pole sign and sign ID cabinet, located at 607 Pass Road, Zoned B-2 (General Business), Ward 3

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2304ARC005

Hearing Date: April 13, 2023

Current Zoning/Use: B-2 / Commercial Sign

Legal: Architectural Review 2304ARC005, by agent Jon D. Storonsky, requests design approval at Tax Parcel 0910M-02-001.000, for a double-sided pole sign and sign ID cabinet, located at 607 Pass Road, Zoned B-2 (General Business), Ward 3

TECHNICAL DETAILS

According to Appendix A, Article IV. Sec 9-103

All freestanding permanent signs, structures or poles shall be self-supporting structures erected on or permanently attached to concrete foundations or meet wind load requirements as specified in the building code, or any amendment thereto, adopted by the city.

- (1) Sign structure support pole(s) shall be wrapped with a masonry, stucco, stone and/or a similar synthetic material, from the ground level to a height not to exceed ten (10) feet above said ground level.
- (2) A decorative buttress shall be constructed at the ground/base level of the façade.
- (3) A decorative cap or crown shall be constructed at the top of the façade.
- (4) Any portion of the sign structure's support pole(s) between the façade and the display of the sign that is greater than ten (10) feet above ground level shall be finished with a stucco wrap or a textured paint.

EXECUTIVE SUMMARY

The Model Train Museum sign does meet the required design standards; to include setbacks, correct height, proper support poles, made of stucco wrap or textured paint. Staff recommendation is to approve the request for a double-sided pole sign and sign ID cabinet sign at the stated location.

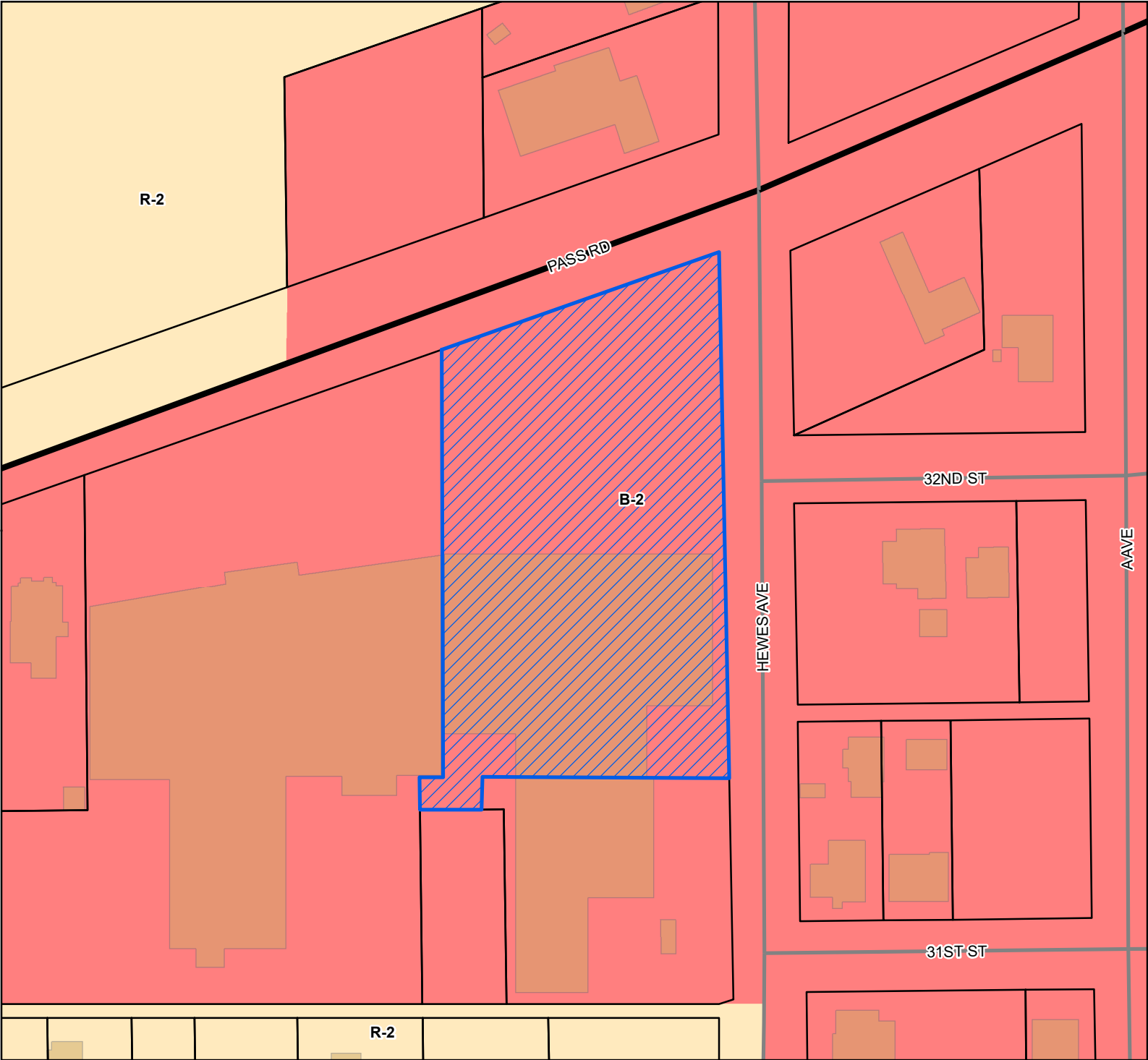
Technical Report
ARCHITECTURAL REVIEW COMMITTEE

DEPARTMENTAL CONDITIONS

DIRECTOR APPROVAL

This report has been reviewed and approved by:

Ryan Merrill
Director of Urban Development Department



Site

US or State Highway

Street

Parcels

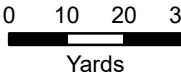
Buildings

Zoning

B-2 - General Business District

R-2 - Single Family Residence District (Medium Density)

Site Information
0910M-02-001.000
Zoning: B-2 (General Business)
Size: 1.62 acres
Flood: X



1 inch = 100 feet



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CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

Case Number
2304 ARC 005

Architectural Review Committee Application

REQUESTED ACTION BY THE Architectural Review Committee

(A separate submission form is required for each request):

☒	Architectural Design Review
☐	Signs

Tax Parcel Numbers

0910M	-	02	-	001	.	000											

Property Address: 607 Pass Rd. Gulfport ms

Property Address: 607 Pass Rd. Gulfport ms

Lot(s) _____, Block(s) _____, Subdivision _____

General Description of Request: Install 1 double sided pole sign.

Includes double sided 8' x 84" ID cabinet / 35.5" x 84" Rd Fmc Bndl.

OWNERSHIP AND CERTIFICATION

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request. We can only accept applications with **original signatures**

OWNER

AGENT

Richard Mueller

Printed Name of Owner

720 Parkwood Dr.

Mailing Address

Long Beach ms 39560

City

State

Zip code

231-675-3189

Home Phone

Work/Cell Phone

home1@rpmpr.com

Email

Richard P. Mueller

Signature of Owner

Jon D. Starns

Printed Name of Agent

15132 Dedaux Rd.

Mailing Address

Gulfport ms 39503

City

State

Zip code

228-832-4634 228-342-0968

Home Phone

Work/Cell Phone

Sales@signsplusinc.us

Email

[Signature]

Signature of Agent



Designation of Agent

I, Richard Mueller, being property owner of 607 Pass Rd. Gulfport ms
PRINT NAME PRIMARY ADDRESS OR PARCEL
which is the subject of this application hereby authorize Jon D. Stinson to act as my
PRINT NAME
representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this petition. This designation authorizes my agent to make verbal or written representations and/or declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in approval or denial of said petition.

Richard P. Mueller

Signature

3-30-23

Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 30 day of March, 20 23

Chasity Smith

Notary Public

2/28/27

Commission Expiration





Covenant Affidavit

I, Don D. Storansky, being owner or agent of the property 607 Pass Rd Gulfport ms
PRINT NAME PRIMARY ADDRESS OR PARCEL

which is the subject of this application, hereby state that this variance request is not in violation of any restrictive or protective covenants.

[Signature]
Signature

3/30/23
Date

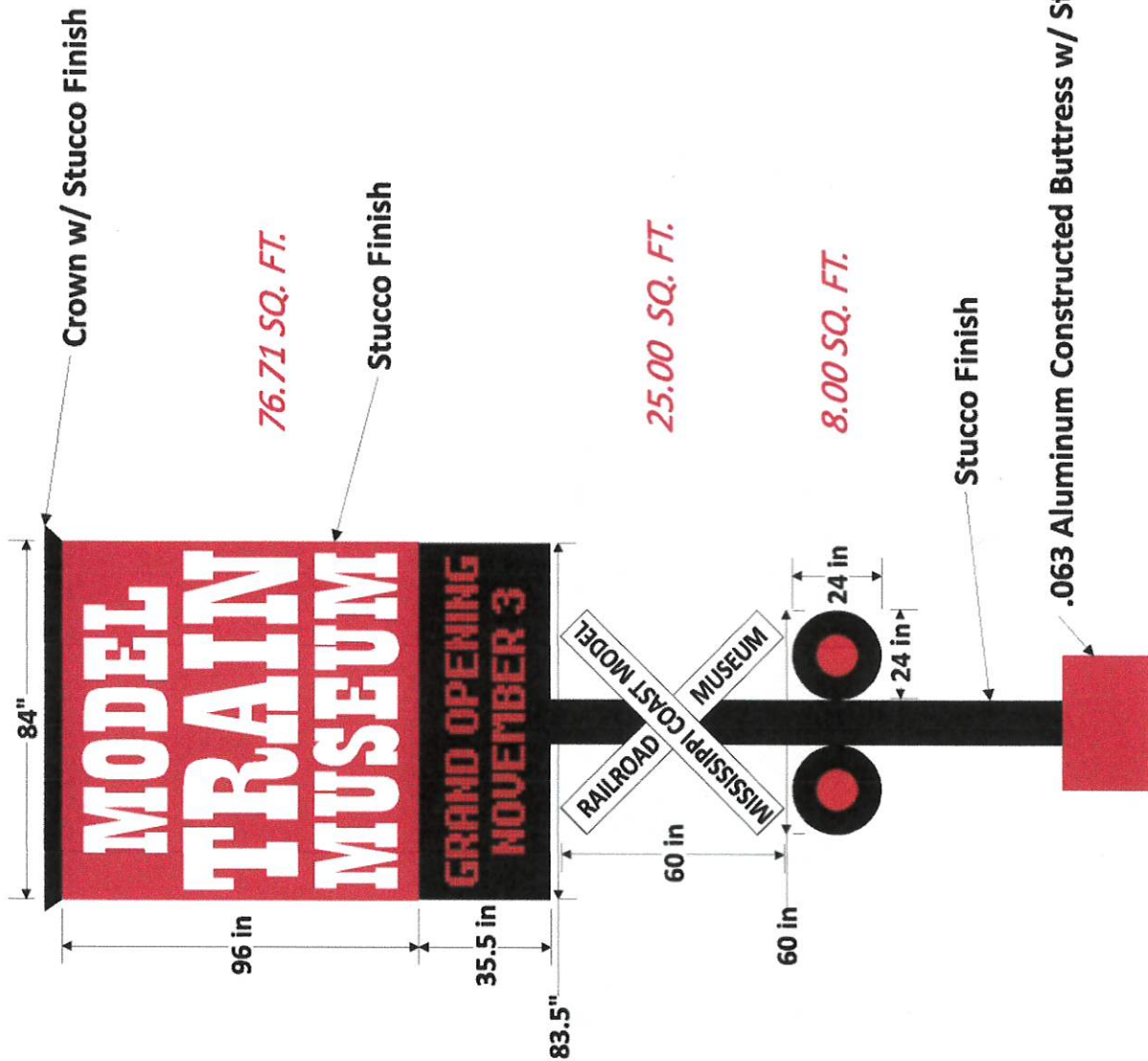
STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 30 day of March, 20 23

[Signature]
Notary Public



2/28/27
Commission Expiration



CLIENT ADDRESS <i>MODEL TRAIN MUSEUM PASS RD.</i>	STORE #	DATE <i>4/14/17</i>	JOB TYPE: <i>SINGLE POLE PYLON</i>	DRAWING SPECS: SIZE: 131.5"x72" SQUARE FOOT: 109.71' CABINET DEPTH: 24" OAH: 24' FACE COLOR: WHITE CABINET COLOR: RED LED COLOR: WHITE VOLTAGE: 120V MOUNTING: SINGLE POLE RACEWAY COLOR: N/A VINYL COLOR: 3M 3730-33	☐ DRAWING APPROVED ☐ REVISE AS NOTED & RESUBMIT APPROVAL SIGNATURE: PRINT NAME: APPROVAL DATE:
	GRAPHIC DESIGNER				
	<i>JESSICA WESTALL</i>				



J1 - GULFPORT DISTRICT
INSTRUMENT 2022-0006468-D-J1
FILED/RECORDED 3/22/2022 8:21:01 AM
TOTAL FEES \$28.00
5 PAGES RECORDED

Our File: B220112

Prepared by & return to:
Schwartz, Orgler & Jordan, PLLC
P O Box 4682
Biloxi, MS. 39535
228-388-7441

INDEX: Lots 1-7, Blk 1, Manhattan Addition &
E1/2 of the SW1/4 of Sec. 35-7-11

STATE OF MISSISSIPPI
COUNTY OF HARRISON

SPECIAL WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged, the undersigned,

THE PEOPLES BANK, BILOXI, MISSISSIPPI,

P. O. Box 529, Biloxi, MS 39533, (228) 435-8213,

does hereby sell, convey and specially warrant unto

RICHARD P. MUELLER,

720 Parkwood Drive, Long, MS 39560, (228)863-8110,

the following described land and property being located in the First Judicial District of Harrison County, Mississippi, being more particularly described as follows, to-wit:

That certain lot of land situated and being in the NE 1/4 of SW 1/4 of Section 35, Township 7 South, Range 11 West, in the City of Gulfport, in Harrison County, Mississippi, described as follows:

Beginning at the point of intersection of the South margin of Pass Christian-Biloxi Back Road with the West margin of Hewes Avenue (which point is on the East line of the NE 1/4 of SW 1/4 of said Section 35), and from said point of beginning running thence South along the said East line of the NE 1/4 of SW 1/4 of said Section 35 (being along the West margin of Hewes Avenue a distance of 382.9 feet to the Northeast corner of the Property of Henn, being at a point which is 21.7 feet North of the Northeast corner of the SE 1/4 of SW 1/4 of said Section 35; running thence West along the North fence line of property of Henn a distance of 187.5 feet to the Northeast fence corner of property of Henn, being at a point which is 22.8 feet North of the South line of said NE 1/4 of SW 1/4; running thence South a distance of 22.8 feet to the South line of said NE 1/4 of SW 1/4 of Section 35; running thence West along the South line of said NE 1/4 of SW 1/4 a distance of 26 feet; running thence North 0 degrees 30 min. West a distance of 332.6 feet to a point in the South margin of the Pass Christian-Biloxi Back Road; running thence North 70 deg. 30 min. East along the South margin of said road, a distance of 229 feet to the point of beginning.

Being bounded on the East by the East line of said NE 1/4 of SW 1/4 of said Section 35, on the South by lands of Henn and by the South line of said NE 1/4 of SW 1/4, on the West by lands of Mayer and on the North by the Pass Christian-Biloxi Back Road.

Being the same land conveyed by H.R. Barber, Robert Barber, Jr., Edwin F. Barber and Wilbur Marvin to Gulfport, Mississippi Commercial Properties Development Corporation by deed dated February 5, 1959, recorded in Deed Book 445 pages 373-5 of Harrison County, Mississippi, and dated February 5, 1959.

AND, that certain parcel of land beginning at the Northwest corner of Lot 7, Block 1, Manhattan Addition to the City of Gulfport, which point is on the South line of the NE 1/4 of SW 1/4 of Section 35, Township 7 South, Range 11 West, and from said point of beginning running thence North 23 feet, thence East 50 feet; thence South 23 feet, to the Northeast corner of Lot 6, Block 1, Manhattan Addition, which is also on the South line of the said NE 1/4 of SW 1/4 which is also the North line of said Lots 6 and 7, Block 1, Manhattan Addition; thence westerly along the North line of said Lots 6 and 7 to the point of beginning.

Being located in and a part of the NE 1/4 of SW 1/4 of Section 35, Township 7 South, Range 11 West, Harrison County, Mississippi.

Being the same land conveyed by Charles D. Mason et al to H.R. Barber et al by deed dated April 15, 1963, recorded in Deed Book 513, page 91 of First Judicial District, Harrison County, Mississippi.

AND, Lots 6 and 7, Block 1 of Manhattan Addition to the City of Gulfport, Harrison County, Mississippi, as per the official map or plat thereof on file and of record in the office of the Chancery Clerk of Harrison County, Mississippi.

AND, a parcel of land situated and being located in the NE 1/4 of the SW 1/4 and the SE 1/4 of the SW 1/4 of Section 35, Township 7 South, Range 11 West and being comprised of all of Lots 1, 2, 3, 4, and 5, Block 1 of Manhattan Addition, a strip lying North and adjacent to said Lots, and a strip lying East and adjacent to said Lots and being more particularly described as:

Commencing at the NE corner of Lot 1, Block 1, Manhattan Addition; thence run North 00 deg. 23' East 20.7 feet to the Point of Beginning; thence run from said Point of Beginning, South 89 deg. 41' East 10.6 feet along an old fence to the apparent westerly margin of Hewes Avenue; thence run South 00 deg. 47' West 159.4 feet along the apparent westerly margin of Hewes Avenue; thence run South 82 deg. 16' West 9.6 feet along an old fence line to the SE corner of said Lot 1; thence run West 150.0 feet along the South line of said Lots 1, 2, 3, 4 and 5 to the SW corner of said Lot 5; thence run North 00 deg. 23' East 140.0 feet to the NW corner of said Lot 5; thence run West 15.5 feet; thence run North 00 deg. 23' East 21.6 feet; thence run South 89 deg. 41' East 165.5 Feet along an old fence line to the Point of Beginning.

Being the same land conveyed by Flora Bubbles Henn Talbot to Wilbur Marvin et al by deed dated September 22, 1988, recorded in Deed Book 1113 at pages 160-161 of First Judicial District, Harrison County, Mississippi.

LESS AND EXCEPT a perpetual easement conveyed to the City of Gulfport, Mississippi in the Northeast corner of subject property as shown in instrument dated April 5, 1982 and recorded in Deed Book 927 at Page 579 of the Land Deed Records in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi.

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, lease agreements and memorandums, rights-of-way and easements applicable to subject property, and subject to any and all prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners.

SELLER MAKES NO REPRESENTATION OR WARRANTY, EXPRESS OR IMPLIED OR ARISING BY OPERATION OF LAW WITH RESPECT TO ANY MATTER CONCERNING THE PROPERTY, INCLUDING, WITHOUT LIMITATION, THE FOLLOWING: (i) TITLE (OTHER THAN THE SPECIAL WARRANTY OF TITLE TO THE REAL PROPERTY), (ii)

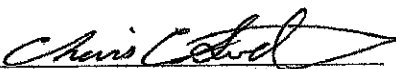
HABITABILITY, MERCHANTABILITY OR SUITABILITY OR FITNESS OF THE PROPERTY FOR A PARTICULAR PURPOSE OR USE, (iii) THE NATURE AND CONDITION OF THE PROPERTY, INCLUDING, WITHOUT LIMITATION, WATER, DRAINAGE AND GRADING, SOIL AND GEOLOGY, ZONING, LOCATION OF CEMETERIES, UTILITY AVAILABILITY OR HOOK-UP, EASEMENT RIGHTS, FLOOD PLAINS (OR PORTIONS OF THE PROPERTY IN A FLOOD PLAIN) AND THE COSTS AND REQUIREMENTS OF SAME, ACCESS TO STREETS, COSTS OF UTILITIES, LOCATION OF CURB CUTS AND MEDIAN BREAKS IN STREETS, SEWAGE FACILITIES (INCLUDING, WITHOUT LIMITATION, AVAILABILITY OR NONAVAILABILITY OF APPROPRIATE WATER AND SEWER CAPACITY) OR OTHER GOVERNMENTAL RIGHTS OR OBLIGATIONS, (iv) COMPLETENESS, ACCURACY OR APPROVAL OF PERMITS, SURVEYS, PLATS, PRELIMINARY PLATS, POLLUTION ABATEMENT PLANS, SUBDIVISION PLANS OR REPORTS CONCERNING THE PROPERTY, (v) TAX CONSEQUENCES, (vi) COMPLIANCE OF ALL OR ANY PART OF THE PROPERTY WITH APPLICABLE ENVIRONMENTAL LAWS, RULES OR REGULATIONS WITH RESPECT TO HEALTH, THE ENVIRONMENT, ENDANGERED SPECIES AND WETLANDS (COLLECTIVELY, "ENVIRONMENTAL LAWS") INCLUDING, WITHOUT LIMITATION, THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT OF 1980, AS AMENDED, THE RESOURCE CONSERVATION AND RECOVERY ACT OF 1976, AS AMENDED, THE ENDANGERED SPECIES ACT (16 U.S.C. §1531, ET SEQ.), AS AMENDED, ANY STATE WATER, NATURAL RESOURCE OR SOLID WASTE DISPOSAL CODE OR ACT, AS AMENDED, (vii) THE EXISTENCE OF ASBESTOS, OIL, ARSENIC, PETROLEUM OR CHEMICAL LIQUIDS OR SOLIDS, LIQUID OR GASEOUS PRODUCTS OR HAZARDOUS SUBSTANCES AS THOSE TERMS AND SIMILAR TERMS ARE DEFINED OR USED IN APPLICABLE ENVIRONMENTAL LAWS, (viii) NATURE AND EXTENT OF ACCESS TO RIGHTS-OF-WAY OR UTILITIES, AVAILABILITY OF PERMITS TO ACCESS RIGHTS-OF-WAY OR UTILITIES ON THE PROPERTY, OR LAND OWNED BY THIRD PARTIES; RIGHTS-OF-WAY, LEASES, ENCUMBRANCES, LICENSES, RESERVATIONS, CONDITIONS OR OTHER SIMILAR MATTERS, (ix) COMPLIANCE WITH ANY LAW, ORDINANCE OR

REGULATION OF ANY GOVERNMENTAL ENTITY OR BODY, OR (x) PROPERTY OWNER CLAIMS OR CLAIMS, DEMANDS, OR OTHER MATTERS BY, AGAINST OR WITH RESPECT TO ANY PROPERTY OWNERS ASSOCIATION OR RELATING TO ANY RESTRICTIVE COVENANTS ENCUMBERING THE PROPERTY. SALE OF THE PROPERTY IS MADE ON AN "AS IS, WHERE IS" AND "WITH ALL FAULTS" BASIS, AND ANY AND ALL WARRANTIES AND COVENANTS ARISING UNDER STATE LAW DO NOT APPLY TO THIS CONVEYANCE. PURCHASER ACKNOWLEDGES THAT PURCHASER HAS HAD THE FULL, COMPLETE AND UNFETTERED RIGHT TO INSPECT THE PROPERTY TO PURCHASER'S SATISFACTION AND THAT THE PURCHASE PRICE PAID FOR THE PROPERTY WAS IN PART BASED UPON THE FACT THAT THIS CONVEYANCE WAS MADE BY SELLER WITHOUT WARRANTY OR REPRESENTATION (EXCEPT THE LIMITED WARRANTY OF TITLE TO REAL PROPERTY). PURCHASER ACKNOWLEDGES THAT PURCHASER HAS RELIED ONLY UPON PURCHASER'S OWN INSPECTIONS AS TO THE CONDITION OF THE PROPERTY, OR ITS OWN DECISION NOT TO INSPECT ANY MATTER

TAXES for the current year have been pro-rated as of this date and are hereby assumed by the Grantee herein.

IN WITNESS WHEREOF, The Peoples Bank, Biloxi, Mississippi has caused this conveyance to be executed by its duly authorized officer, after having first been duly authorized to do so, on this the 18th day of March, 2022.

The Peoples Bank, Biloxi, Mississippi

BY: 
Chevis Sweetman, President / CEO

STATE OF MISSISSIPPI

COUNTY OF HARRISON

THIS DAY PERSONALLY CAME AND APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, Chevis Swetman, who acknowledged that he is the President of The Peoples Bank, Biloxi, Mississippi, and as its act and deed, he signed, sealed and delivered, the above and foregoing instrument of writing on the day and in the year therein mentioned, for and on behalf of said entity after having been first duly authorized to do so.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 18th day of March, 2022.


NOTARY PUBLIC

My Commission Expires:



CIVIL SITE PLAN - NORTH
SCALE 1" = 20'

PARKING INFORMATION

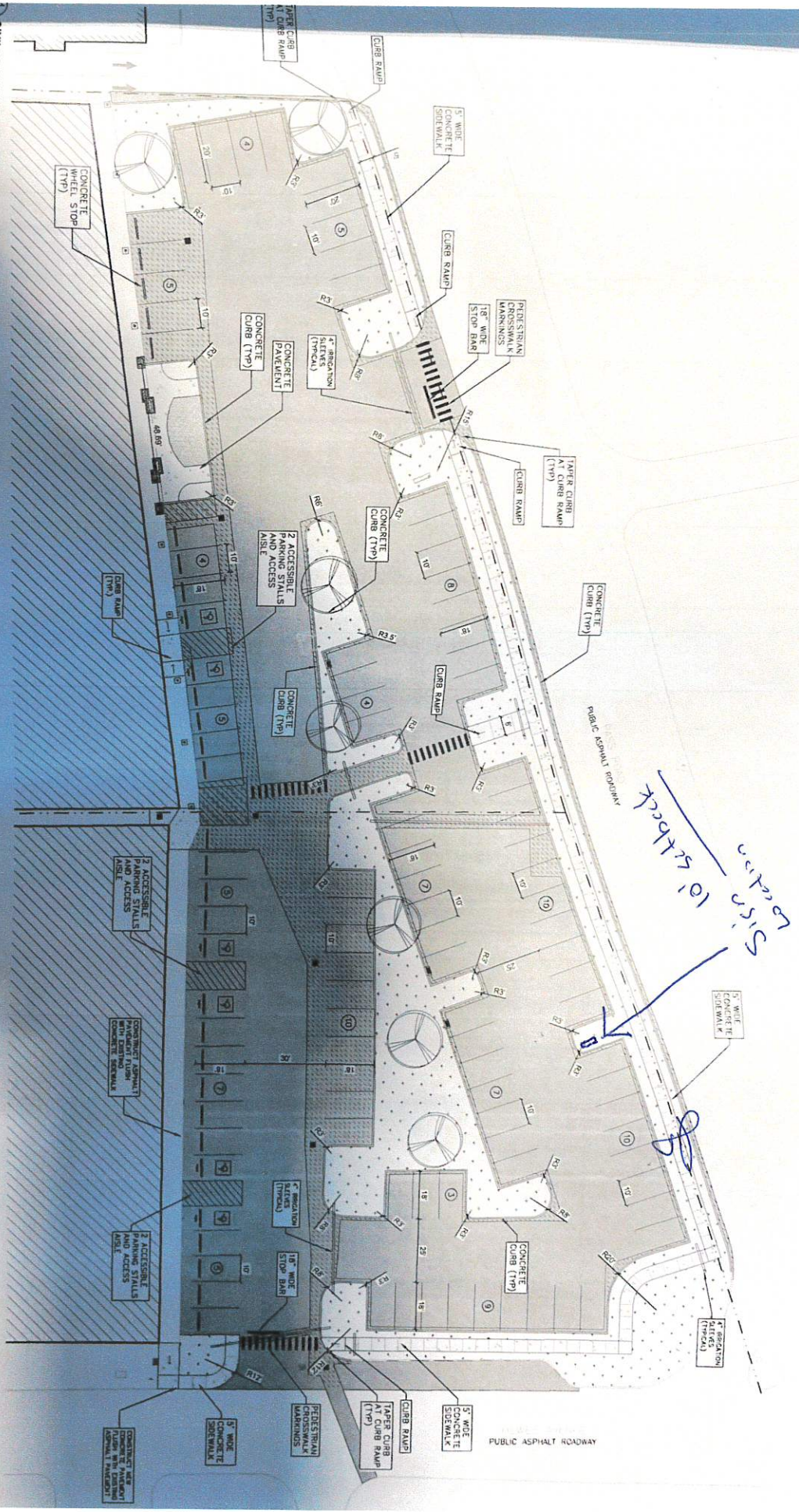
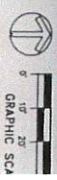
NORTH PARKING LOTS	
CUSTOMER STALLS (10x18) =	91
VAN STALLS (10x20) =	9
HANDICAP STALLS (10x18) =	6
TOTALS	= 106
SOUTH PARKING LOTS	
EMPLOYEE STALLS (8x18) =	32
TOTALS	= 32

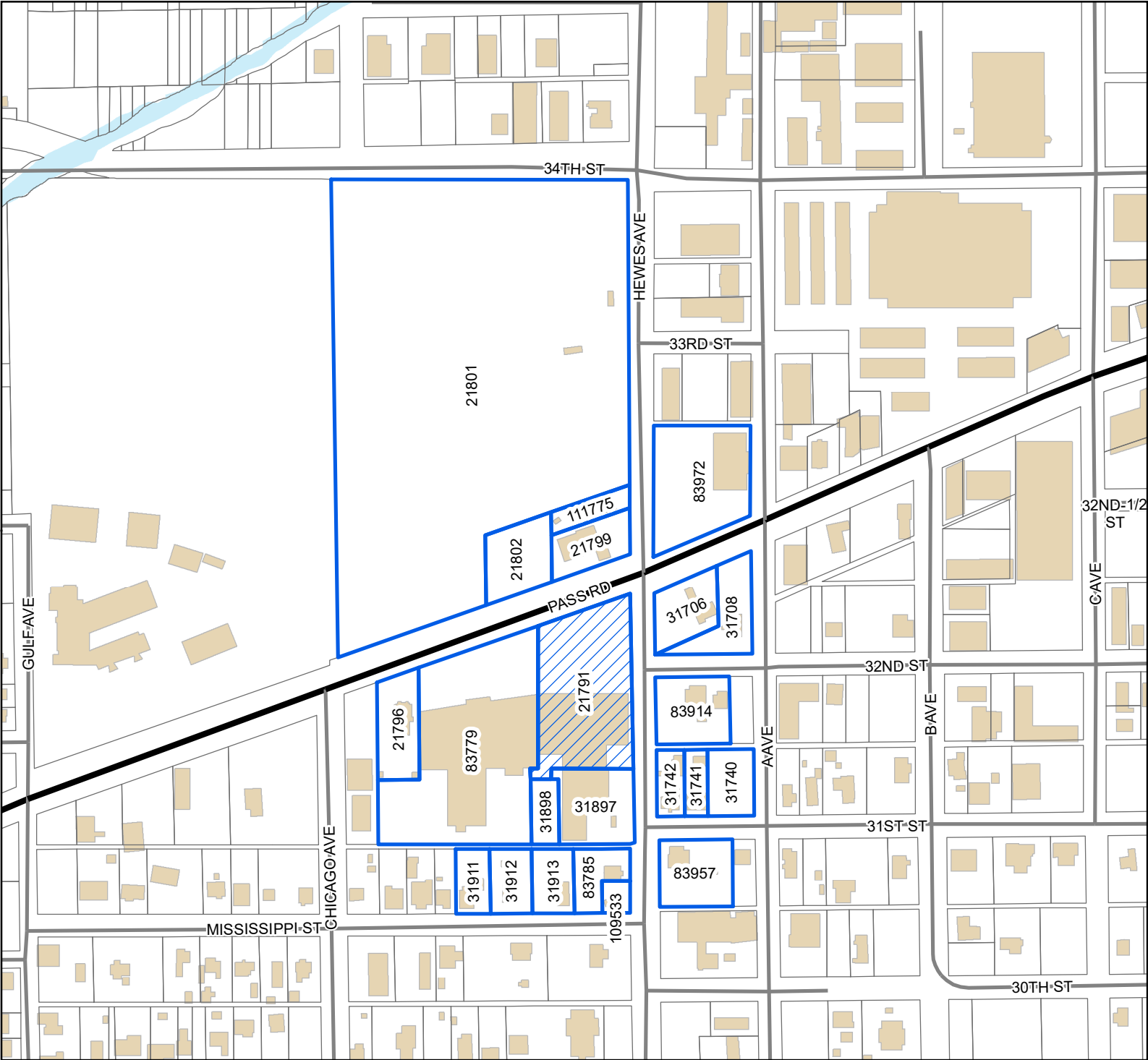
SITE NOTES

1. CONSTRUCTION SHALL BE AROUND ALL EXISTING STRUCTURES AND UTILITIES. THE EXISTING UTILITIES SHALL BE MAINTAINED AND NOT REMOVED. A FIRM SURVEY SHALL BE OBTAINED AND SHOWN WITH NO ADJUST OR BOUNDARY CHANGES IN CHANCE.
2. CONSTRUCTION SHALL BE AROUND ALL EXISTING STALLS, STOPS, AND CURB RAMPS FOR ALL ACCESS REQUIREMENTS.
3. CONSTRUCTION SHALL BE AROUND ALL EXISTING PARKING SPACES. ALL OTHER SPACES SHALL BE NEW. ALL NEW SPACES SHALL BE 10' WIDE AND 18' DEEP. NO ACCESS SHALL BE IN ANY DIRECTION. CONSTRUCTION SHALL BE DONE PRIOR TO CONSTRUCTION OF CONSTRUCTION. CONSTRUCTION SHALL BE DONE PRIOR TO CONSTRUCTION OF CONSTRUCTION. CONSTRUCTION SHALL BE DONE PRIOR TO CONSTRUCTION OF CONSTRUCTION.
4. NO ACCESS SHALL BE IN ANY DIRECTION. CONSTRUCTION SHALL BE DONE PRIOR TO CONSTRUCTION OF CONSTRUCTION. CONSTRUCTION SHALL BE DONE PRIOR TO CONSTRUCTION OF CONSTRUCTION.
5. NO SPACES SHALL BE IN ANY DIRECTION. CONSTRUCTION SHALL BE DONE PRIOR TO CONSTRUCTION OF CONSTRUCTION. CONSTRUCTION SHALL BE DONE PRIOR TO CONSTRUCTION OF CONSTRUCTION.
6. PARKING STALLS SHALL BE AS FOLLOWS:
CUSTOMER STALLS 10x18
VAN STALLS 10x20
HANDICAP STALLS 10x18
EMPLOYEE STALLS 8x18
7. CONSTRUCTION SHALL BE AROUND ALL EXISTING STRUCTURES AND UTILITIES. THE EXISTING UTILITIES SHALL BE MAINTAINED AND NOT REMOVED. A FIRM SURVEY SHALL BE OBTAINED AND SHOWN WITH NO ADJUST OR BOUNDARY CHANGES IN CHANCE.

CIVIL SITE LEGEND

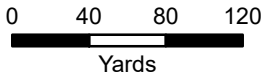
	DENOTES REPAIRS/NEW ASPHALT PAVEMENT
	DENOTES 1" ASPHALT OVERLAY ON TOP EXISTING ASPHALT
	DENOTES 4" CONCRETE SIDEWALK PAVEMENT
	DENOTES GRAVEL/GRASS





Legend

- Site
- Adjacent Properties
- US or State Highway
- Street
- Buildings
- Water Features



1 inch = 300 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			RICHARD MUELLER(OWNER)	720 PARKWOOD DR	LONG BEACH	MS	39560
			JON D. STORONSKY(AGENT)	15132 DEDEUX RD	GULFPORT	MS	39503
			Adjacent Property Owners(2304ARC005)				
83972	0910N-07-015.000		DIBS CHEMICAL & SUPPLY CO INC	542 PASS RD	GULFPORT	MS	39501
31898	0910M-02-009.000		PEOPLES BANK THE	155 LAMEUSE ST	BILOXI	MS	39531
111775	0910M-01-002.001		BRATTON MARY LYNN	1122 28TH ST	GULFPORT	MS	39501
21802	0910M-01-003.000		LEVY DARLEEN JACOBS	823 ST LOUIS STREET	NEW ORLEANS	LA	70112
21801	0910M-01-001.000		CATHOLIC DIOCESE OF BILOXI	1790 POPPS FERRY ROAD	BILOXI	MS	39532
31740	0910N-05-015.000		LIVERMORE JACK W	1107 PENEGRINE CIR E	JACKSONVILLE	FL	32259
31741	0910N-05-014.000		BREWER INGLE C JR & ROBINSON LEE M	7360 RUSHING ROBINSON RD	BILOXI	MS	39532
83785	0910M-02-011.000		HENRY DAVID L -ESTATE-	P.O. BOX 6329	GULFPORT	MS	39506
31913	0910M-02-013.000		SWAIN BILLY L	625 MISSISSIPPI ST	GULFPORT	MS	39501
21799	0910M-01-002.000		D&S LLC	600 PASS RD	GULFPORT	MS	39501
21796	0910M-02-003.000		JLNM LLC	617 PASS RD	GULFPORT	MS	39501
31706	0910N-06-028.000		QUIN EDWARD E JR ETAL	15701 PARKWOOD DR SOUTH	GULFPORT	MS	39503
31742	0910N-05-013.000		BENTZ SHELLEY CORRINNE	526 31ST STREET	GULFPORT	MS	39507
83914	0910N-05-012.000		QUIN EDWARD E JR	529 32ND ST	GULFPORT	MS	39507
83957	0910N-05-035.000		THOMPSON GENEVIEVE	P O BOX 6154	GULFPORT	MS	39506
109533	0910M-02-011.001		HENRY SAMUEL R	128-B WAY BRIDGE CIR	R P B	FL	33411
31708	0910N-06-027.000		QUIN SHERYL V	24178 LEEWARD DR	GULFPORT	MS	39503
83779	0910M-02-002.000		MUELLER RICHARD P JR	15384 5TH ST	GULFPORT	MS	39503
31912	0910M-02-014.000		BESNIER JEANINE	4651 E BEVERLY LN	PHOENIX	AZ	85032

RE: Architectural Review 2304ARC005, by agent Jon D. Storonsky, requests design approval at Tax Parcel 0910M-02-001.000, for a double-sided pole sign and sign ID cabinet, located at 607 Pass Road, Zoned B-2 (General Business), Ward 3

To Applicants and Adjacent Property Owners:

The City of Gulfport Architectural Review Committee will hold a public hearing to consider the above application at 3:00 P.M. on **Thursday, April 13, 2023**, in the Council Chambers at the Gulfport City Hall located at 2309 15th Street.

For more information, visit <http://www.gulfport-ms.gov/agendas/> then click the City of Gulfport Architectural Review Committee for **Thursday, April 13, 2023**. A map showing the location of the property involved is located at this website. If you have any questions or comments, please contact this office at the phone number 228-868-5710 or email planners@gulfport-ms.gov. The application is available for viewing in the Planning Division office at 1410 24th Avenue.

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review 2304ARC006:

Architectural Review 2304ARC006, request by agent Jon D. Storonsky, approval to install a double-sided EMC electric message board at Tax Parcel 0910M-02-002.000, on an existing sign located at 615 Pass Rd, Zoned B-2 (General Business), Ward 3

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2304ARC006

Hearing Date: April 13, 2023

Current Zoning/Use: B-2 / Commercial Sign

Legal: Architectural Review 2304ARC006, request by agent Jon D. Storonsky, approval to install a double-sided EMC electric message board at Tax Parcel 0910M-02-002.000, on an existing sign located at 615 Pass Rd, Zoned B-2 (General Business), Ward 3

TECHNICAL DETAILS

Regarding animated signs, intensely lighted signs, and digital display, Appendix A, Article IV. Sec 9-93, (a)(b) (1-5) states the following conditions:

- (a) No sign shall be permitted which is animated by means of flashing, scintillating, blinking or traveling lights
- (b) Digital display sign faces shall be allowed, subject to the following provisions:
 - (1) There shall be no effects of movement, animation, scrolling, flashing, scintillation or similar effects and shall display only static images.
 - (2) The static display time for each message shall be a minimum of eight (8) seconds.
 - (3) The time to completely change from one message to the next is a maximum of two (2) seconds and shall not use fading, rolling, window shading, dissolving, or similar effects as part of the change.
 - (4) All such signs shall have installed light monitors, and shall at all times allow such monitors to automatically adjust the brightness level of the sign based on ambient light conditions. In addition, maximum brightness levels for said sign shall not exceed five thousand five hundred (5,500) nits from dawn to dusk, during daylight hours, and one thousand (1,000) nits from dusk to dawn, nighttime hours.
 - (5) Any digital display sign face or similar such sign that malfunctions, fails, or ceases to operate in its usual or normal programmed manner, causing motion, movement, flashing or any similar effects, shall have a default mechanism freezing said sign if any such malfunction occurs.

Any portion of the sign structure's support pole(s) between the façade and the display of the sign that is greater than ten (10) feet above ground level shall be finished with a stucco wrap or a textured paint.

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

EXECUTIVE SUMMARY

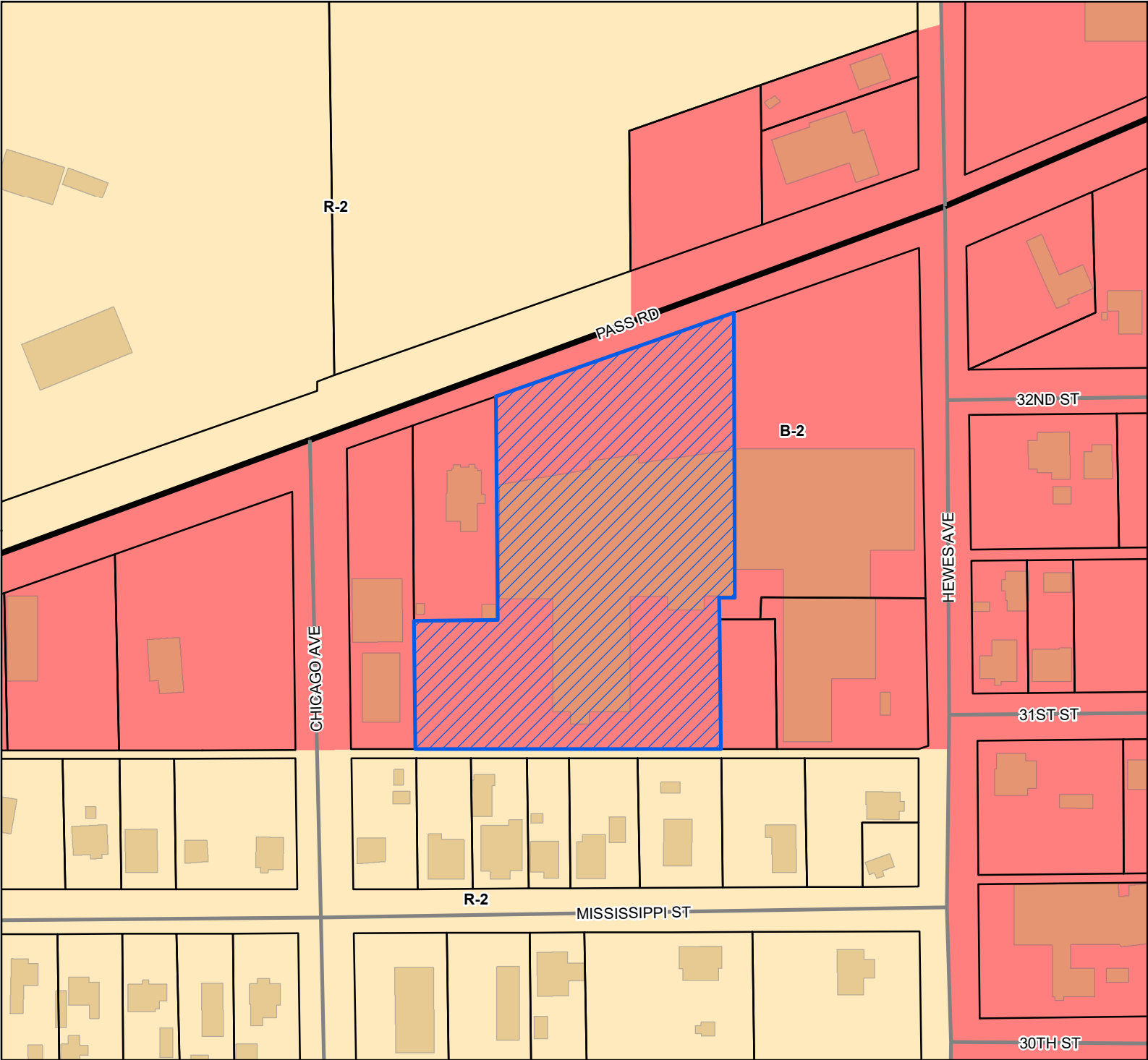
The sign presented in the site plan meets the required design standards above. Upon visiting the location of the Model Train Museum, the request to install a double-sided Electric Message (EMC) board to the existing sign, will be in harmony with other signs in the area and it will match the newly renovated location for the museum. Therefore, the staff recommends approval of the request.

DEPARTMENTAL CONDITIONS

DIRECTOR APPROVAL

This report has been reviewed and approved by:

Ryan Merrill
Director of Urban Development Department



Site

US or State Highway

Street

Parcels

Buildings

Zoning

B-2 - General Business District

R-2 - Single Family Residence District (Medium Density)

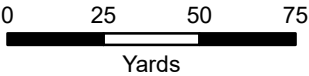
Site Information

0910M-02-002.000

Zoning: B-2 (General Business)

Size: 2.7 acres

Flood: X



1 inch = 150 feet



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CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

Case Number
2304 ARC 006

Architectural Review Committee Application

REQUESTED ACTION BY THE Architectural Review Committee

(A separate submission form is required for each request):

	Architectural Design Review
	Signs

Tax Parcel Numbers

0910M	-02	-002	.000																

Property Address: 615 Pass Rd. Gulfport ms

Property Address: _____

Lot(s) _____, Block(s) _____, Subdivision _____

General Description of Request: Installing a double sided 38" x 82"
EMC electronic message center boards, to existing sign

OWNERSHIP AND CERTIFICATION

I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request. We can only accept applications with **original signatures**

OWNER

AGENT

Richard Mueller

Printed Name of Owner

522 Pass Rd.

Mailing Address

Gulfport ms 39503

City

State

Zip code

231-675-3189

Home Phone

Work/Cell Phone

home@erpmpizza.com

Email

x Richard P. Mueller, Jr.

Signature of Owner

Jon D. Storonsky

Printed Name of Agent

15132 Dedoux Rd.

Mailing Address

Gulfport ms 39503

City

State

Zip code

228-832-4634 228 342-0968

Home Phone

Work/Cell Phone

Sales@signsplusinc.us

Email

[Signature]

Signature of Agent



Designation of Agent

I, Richard Mueller, being property owner of 615 Pass Rd. Gulfport MS
PRINT NAME PRIMARY ADDRESS OR PARCEL
which is the subject of this application hereby authorize Jon D. Storsley to act as my
PRINT NAME
representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning
Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this
petition. This designation authorizes my agent to make verbal or written representations and/or
declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or
declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in
approval or denial of said petition.

Richard P. Mueller Jr.
Signature

3-30-23
Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 30 day of March, 20 23

Chasity Smith
Notary Public

2/28/27
Commission Expiration





Covenant Affidavit

I, Jon D Storonsky, being owner or agent of the property 615 Pess Rd. Gulfport ms
PRINT NAME PRIMARY ADDRESS OR PARCEL

which is the subject of this application, hereby state that this variance request is not in violation of any restrictive or protective covenants.

[Signature]
Signature

3/30/23
Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 30 day of March, 2023

[Signature]
Notary Public



2/28/27
Commission Expiration

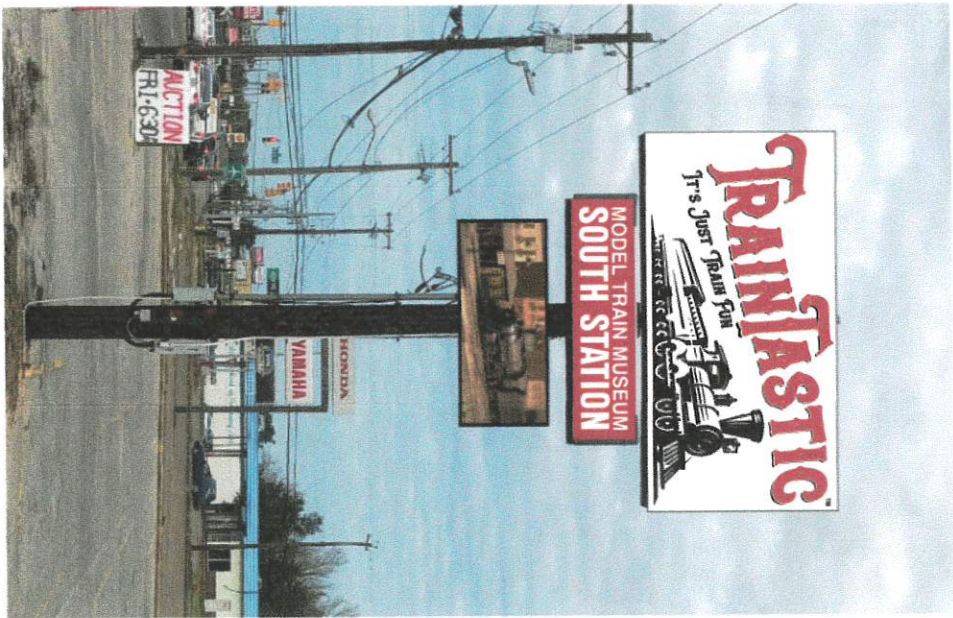
CLIENT	DATE
MCMRM	3/29/23
	STORE #
	x

signs plus

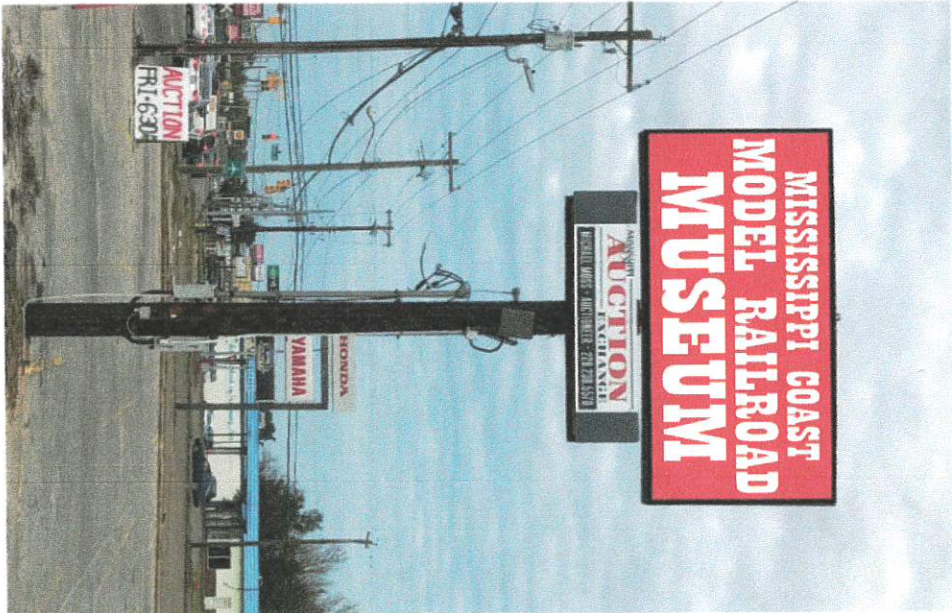
graphics • manufacturing • installation • service

☐ DRAWING APPROVED
☐ REVISE AS NOTED & RESUBMIT
 APPROVAL SIGNATURE: _____
 PRINT NAME: _____

APPROVAL DATE: _____



Existing Sign



144" x 73"

93.3" x 21.75"

87" x 38"

SPECS:

SIZE : 144 x 73
 SIZE : 93.3 x 21.75
 SQ. FT.: X
 OAH: X
 FONT: X
 LETTER DEPTH: X

FACE COLOR: X

JEWLITE COLOR: X

RETURN COLOR: X

LED COLOR: X

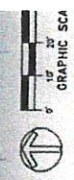
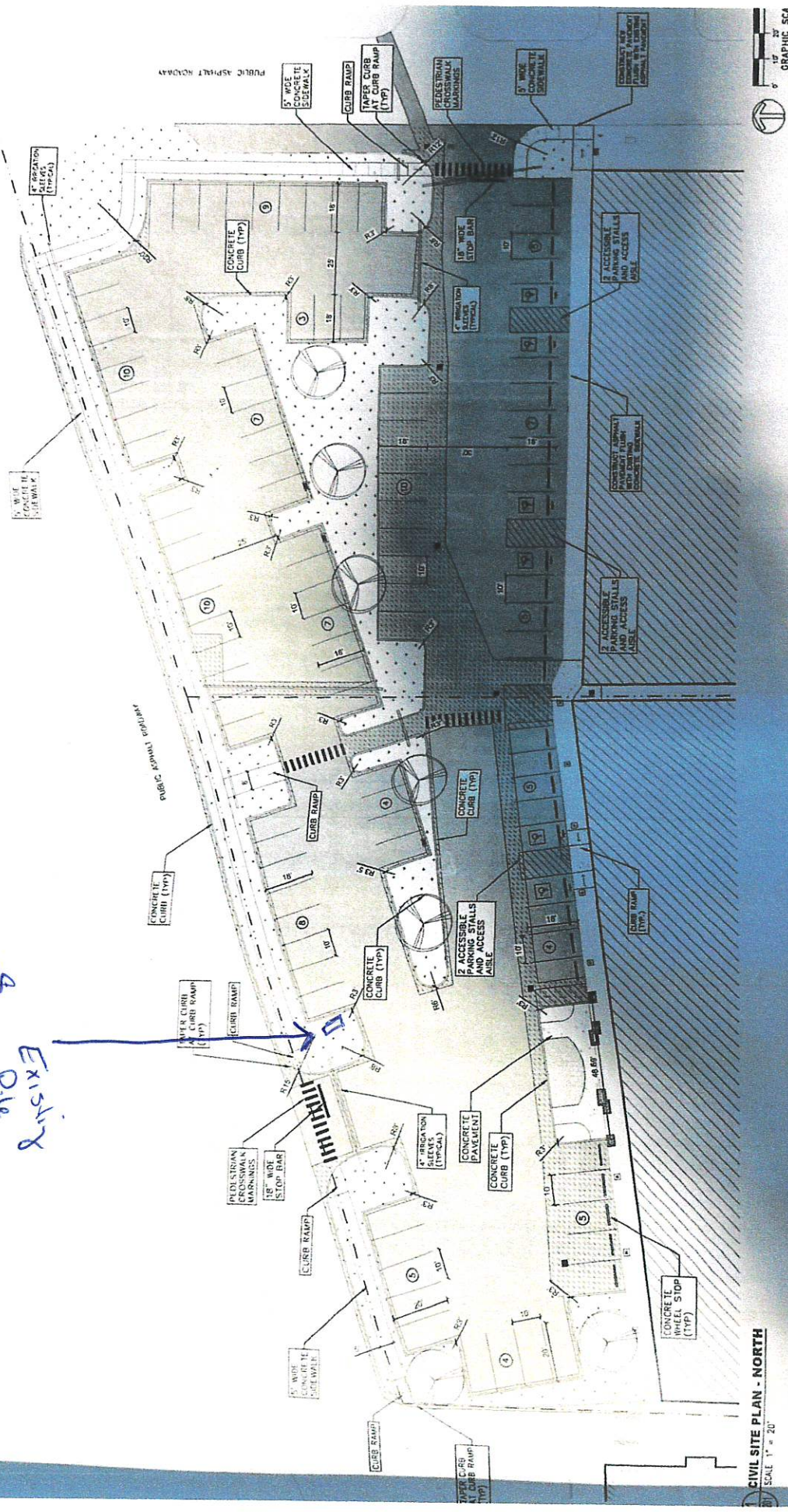
VOLTAGE: X

MOUNTING: X

NOTES:

Pylon Proof

EXISTING
Pile
SIS



CIVIL SITE PLAN - NORTH
SCALE 1" = 20'

PARKING INFORMATION

NORTH PARKING LOTS	
CUSTOMER STALLS (10'x18')	91
VAN STALLS (10'x20')	9
HANDICAP STALLS (10'x18')	6
TOTALS	106
SOUTH PARKING LOTS	
EMPLOYEE STALLS (9'x18')	32
TOTALS	32

SITE NOTES

- CONTRACTOR SHALL MAINTAIN ALL DRAINAGE STRUCTURES AND ADJACENT DRIVEWAYS TO REMAIN AND THE NEW ASPHALT DRIVEWAY SHALL BE CONSTRUCTED TO MATCH EXISTING DRIVEWAY AND ADJACENT DRIVEWAYS TO REMAIN.
- CONTRACTOR SHALL INSTALL HANDICAP PARKING SPACES, SWELLS AND CURB RAMP PER ADA REQUIREMENTS.
- CONTRACTOR SHALL STRENGTHEN ALL HANDICAP PARKING SPACES BASE ALL.
- NO ACCESSIBLE PARKING SPACES OR ADJACENT DRIVEWAYS SHALL BE CONSTRUCTED TO CONSTRUCTION OF CONSTRUCTION AND NOT BE IN PLACE.
- NO EXISTING DRIVEWAY SHALL BE RELOCATED OR CONSTRUCTION SHALL BE CONSTRUCTED TO MATCH EXISTING DRIVEWAY AND ADJACENT DRIVEWAYS TO REMAIN.
- PARKING STALLS SHALL BE AS FOLLOWS:
CUSTOMER STALLS 10'x18'
VAN STALLS 10'x20'
EMPLOYEE PARKING STALLS 9'x18'
VAN PARKING STALLS 9'x20'
- CONTRACTOR SHALL MAINTAIN ALL DRAINAGE STRUCTURES AND ADJACENT DRIVEWAYS TO REMAIN AND THE NEW ASPHALT DRIVEWAY SHALL BE CONSTRUCTED TO MATCH EXISTING DRIVEWAY AND ADJACENT DRIVEWAYS TO REMAIN.

CIVIL SITE LEGEND

[Pattern]	EXISTING ASPHALT DRIVEWAY
[Pattern]	EXISTING ASPHALT DRIVEWAY
[Pattern]	EXISTING ASPHALT DRIVEWAY
[Pattern]	EXISTING ASPHALT DRIVEWAY
[Pattern]	EXISTING ASPHALT DRIVEWAY

SCANNED



1st Judicial District
Instrument 2019 1243 D - J1
Filed/Recorded 3/ 1/2019 02:00 P
Total Fees \$ 12.00
3 Pages Recorded

Prepared by:
Gerald M. Warren, Attorney
Attorney at Law
P. O. Box 1506
Gulfport, MS 39502
(228) 897-9975
MS Bar No. 06963

Return to:
Gerald M. Warren, Attorney
Attorney at Law
P. O. Box 1506
Gulfport, MS 39502
(228) 897-9975

Indexing: NE 1/4 of SW 1/4, Sec. 35, T7S, R11W, First Judicial District, Harrison Co., MS

REVIEWED

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged, we the undersigned,

Kevin C. Ruttley and wife,
Candice L. Ruttley
5291 Pitre St.
Marrero, Louisiana 70072
(504) 491-5123

do hereby sell, convey and warrant unto

Richard P. Mueller, Jr.
15384 5th St.
Gulfport, Mississippi 39503
(228) 206-7920

the following land and property, lying and being situated in the First Judicial District of Harrison County of Harrison, State of Mississippi, and more particularly described as follows, to-wit:

See Attached Exhibit "A"

THIS CONVEYANCE is subject to any and all recorded easements, rights-of-way, minerals reservations and restrictive covenants applicable to subject property.

AD VALOREM TAXES for the current year are hereby prorated and assumed as of this date by the Grantee(s) herein.

WITNESS the signature(s) of the Grantor(s) on this the 1st day of March, 2019.


Kevin C. Ruttley


Candice L. Ruttley

STATE OF MISSISSIPPI
COUNTY OF Harrison

PERSONALLY appeared before me, the undersigned authority in and for said county and state, on this 1st day of March, 2019, within my jurisdiction, the within named Kevin C. Ruttley and wife, Candice L. Ruttley, who acknowledged that they signed, executed and delivered the above and foregoing Warranty Deed on the day and year therein mentioned.


NOTARY PUBLIC
My Commission Expires



EXHIBIT "A"

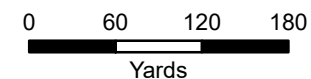
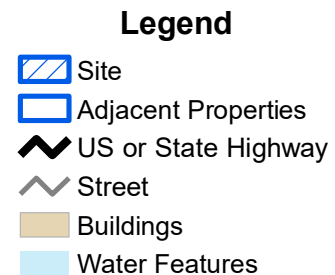
A parcel of land situated and being located in the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 35, Township 7 South, Range 11 West, City of Gulfport, First Judicial District of Harrison County, Mississippi and also containing all of Lots 8 through 17, inclusive, and a part of Lot 18, Block 1, Manhattan Addition and being more particularly described by a metes and bounds perimeter description as follows, to-wit:

COMMENCING at the Southeast corner of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 35, Township 7 South, Range 11 West; thence run South 89 degrees 42 minutes 41 seconds West 224.30 feet and along the north line of Block 1, Manhattan Addition (Plat Book 3, Page 64) to the POINT OF BEGINNING; thence run from said POINT OF BEGINNING North 00 degrees 30 minutes 00 seconds West 327.76 feet to the southerly margin of Pass Road; thence run South 70 degrees 34 minutes 52 seconds West 270.83 feet along the southerly margin of Pass Road; thence run South 00 degrees 30 minutes 00 seconds East 239.00 feet to the north line of Block 1, Manhattan Addition; thence run South 89 degrees 42 minutes 41 seconds West 90.00 feet along the north line of Block 1, Manhattan Addition; thence run South 00 degrees 30 minutes 00 seconds East 140.00 feet to the south line of said Lot 18, Block 1, Manhattan Addition; thence run North 89 degrees 42 minutes 41 seconds East 327.34 feet along the south line of Lots 18, 17, 16, 15, 14, 13, 12, 11, 10, 9, and 8, Block 1, Manhattan Addition to the Southeast corner of said Lot 8; thence run North 00 degrees 32 minutes 13 seconds West 140.00 feet along the east line of said Lot 8 to the Northeast corner of said Lot 8; thence run North 89 degrees 42 minutes 41 seconds East 18.95 feet along the north line of said Block 1 to the POINT OF BEGINNING.

LESS AND EXCEPT:

A parcel of land situated and being located in the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 35, Township 7 South, Range 11 West, City of Gulfport, First Judicial District of Harrison County, Mississippi and being more particularly described as follows, to-wit:

Commencing at a half inch iron rod found at the intersection of the easterly margin of Chicago Avenue and the southerly margin of Pass Road; thence run North 70 degrees 34 minutes 52 seconds East along the southerly margin of Pass Road a distance of 461.11 feet to a magnetic nail found on the southerly margin of Pass Road; thence run South 00 degrees 30 minutes 00 seconds East a distance of 304.76 feet to the POINT OF BEGINNING; thence continue from said POINT OF BEGINNING South 00 degrees 30 minutes 00 seconds East a distance of 23.00 feet to a point on the north line of Lot 7, Block 1, MANHATTAN ADDITION (Plat Book 3, Page 64); thence run South 89 degrees 42 minutes 41 seconds West along the north line of said Lot 7 a distance of 18.95 feet to a point at the northwest corner of said Lot 7; thence run North 00 degrees 30 minutes 00 seconds West a distance of 23.00 feet to a point; thence run North 89 degrees 42 minutes 41 seconds East a distance of 18.95 feet to the POINT OF BEGINNING.
Said parcel contains 436 square feet, more or less.



1 inch = 400 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			RICHARD MUELLER (OWNER)	522 PASS RD	GULFPORT	MS	39503
			JON STORONSKYJ (AGENT)	15132 DEDEAUX RD	GULFPORT	MS	39503
			Adjacent Property Owners (2304ARC006)				
N	31898	0910M-02-009.000	PEOPLES BANK THE	155 LAMEUSE ST	BILOXI	MS	39531
	31897	0910M-02-010.000	PEOPLES BANK THE	155 LAMEUSE ST	BILOXI	MS	39531
	119379	0910M-02-002.001	BISSELL JOHN J & MARY S	3514 LOULU PLACE	DIAMONDHEAD	MS	39525
	21802	0910M-01-003.000	LEVY DARLEEN JACOBS	823 ST LOUIS STREET	NEW ORLEANS	LA	70112
	21801	0910M-01-001.000	CATHOLIC DIOCESE OF BILOXI	1790 POPPS FERRY ROAD	BILOXI	MS	39532
	83785	0910M-02-011.000	HENRY DAVID L -ESTATE-	P.O. BOX 6329	GULFPORT	MS	39506
	31913	0910M-02-013.000	SWAIN BILLY L	625 MISSISSIPPI ST	GULFPORT	MS	39501
	31907	0910M-02-018.000	DUNNIGAN MARY	632 MISSISSIPPI ST	GULFPORT	MS	39501
	83786	0910M-02-017.000	HOLLOWAY LISH L & MARCIA E	630 MISSISSIPPI ST	GULFPORT	MS	39501
	33159	0910M-02-020.000	XUONG VO VAN	700 MISSISSIPPI ST	GULFPORT	MS	39507
	83784	0910M-02-005.001	AUSSIE HOLDINGS LLC	14063 MADDIE CIRCLE	DIBERVILLE	MS	39540
	21799	0910M-01-002.000	D&S LLC	600 PASS RD	GULFPORT	MS	39501
	21796	0910M-02-003.000	JLNM LLC	617 PASS RD	GULFPORT	MS	39501
	21791	0910M-02-001.000	PEOPLES BANK THE	155 LAMEUSE ST	BILOXI	MS	39530
	31911	0910M-02-015.000	SWAIN BILLY L	625 MISSISSIPPI ST	GULFPORT	MS	39501
	31906	0910M-02-019.000	CHESTER BARRY A & ARITA J	634 MISSISSIPPI ST	GULFPORT	MS	39501
	83779	0910M-02-002.000	MUELLER RICHARD P JR	15384 5TH ST	GULFPORT	MS	39503
	31912	0910M-02-014.000	BESNIER JEANINE	4651 E BEVERLY LN	PHOENIX	AZ	85032
	31910	0910M-02-016.000	SWAIN BILLY L	625 MISSISSIPPI ST	GULFPORT	MS	39501

RE: Architectural Review 2304ARC006, request by agent Jon D. Storonsky, approval to install a double-sided EMC electric message board at Tax Parcel 0910M-02-002.000, on an existing sign located at 615 Pass Rd, Zoned B-2 (General Business), Ward 3

To Applicants and Adjacent Property Owners:

The City of Gulfport Architectural Review Committee will hold a public hearing to consider the above application at 3:00 P.M. on **Thursday, April 13, 2023**, in the Council Chambers at the Gulfport City Hall located at 2309 15th Street.

For more information, visit <http://www.gulfport-ms.gov/agendas/> then click the City of Gulfport Architectural Review Committee for **Thursday, April 13, 2023**. A map showing the location of the property involved is located at this website. If you have any questions or comments, please contact this office at the phone number 228-868-5710 or email planners@gulfport-ms.gov. The application is available for viewing in the Planning Division office at 1410 24th Avenue.

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review 2304ARC007:

Architectural Review 2304ARC007, by owner Carricka Thomas, request approval for stand alone, post and panel sign at Tax Parcel 0908O-04-101.002, located at 12451 Dedeaux Road, Zoned B-1, Ward 6

Technical Report

ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2304ARC007

Hearing Date: April 13, 2023

Current Zoning/Use: B-1 / Commercial Sign

Legal: Architectural Review 2304ARC007, by owner Carricka Thomas, request approval for stand alone, post and panel sign at Tax Parcel 0908O-04-101.002, located at 12451 Dedeaux Road, Zoned B-1, Ward 6

TECHNICAL DETAILS

According to Appendix A, Article IV. Sec 9, 103, b, 1-4

- (a) All freestanding permanent signs, structures or poles shall be self-supporting structures erected on or permanently attached to concrete foundations or meet wind load requirements as specified in the building code, or any amendment thereto, adopted by the city.
- (b) All new freestanding on-premises and off-premises signs constructed, relocated or converted on, or adjacent to Interstate 10, Dedeaux Road, U.S. Highway 49, Pass Road and/or Airport Road pursuant to section 9-122 shall be constructed, as follows, when the base of a sign pole, defined as the point in which the emerging sign pole is viewed at its intersection with ground level from a distance of seventy-five (75) linear feet along the street (chord distance) in which the sign face(s) shall be viewed from. Such distance is to be measured from the center of the sign structure on a line parallel to the street or highway on which the sign is facing.
 - (1) All freestanding permanent signs, structures or poles shall be self-supporting structures erected on or permanently attached to concrete foundations or meet wind load requirements as specified in the building code, or any amendment thereto, adopted by the city.
 - (2) Sign structure support pole(s) shall be wrapped with a masonry, stucco, stone and/or a similar synthetic material, from the ground level to a height not to exceed ten (10) feet above said ground level.
 - (3) A decorative buttress shall be constructed at the ground/base level of the façade.
 - (4) A decorative cap or crown shall be constructed at the top of the façade.
- (c) All freestanding on-premises and off-premises sign façades shall be harmonious in material, style and color with the surrounding landscape of the developed site in which it is located. All sign permit applications for freestanding on-premises and off-premises signs to be constructed shall contain architectural façade plans to be reviewed and approved or denied by the architectural review committee in accordance with section 9-85 upon receipt of a permit application and renderings of the architectural façade plans.

D.L.V.

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

EXECUTIVE SUMMARY

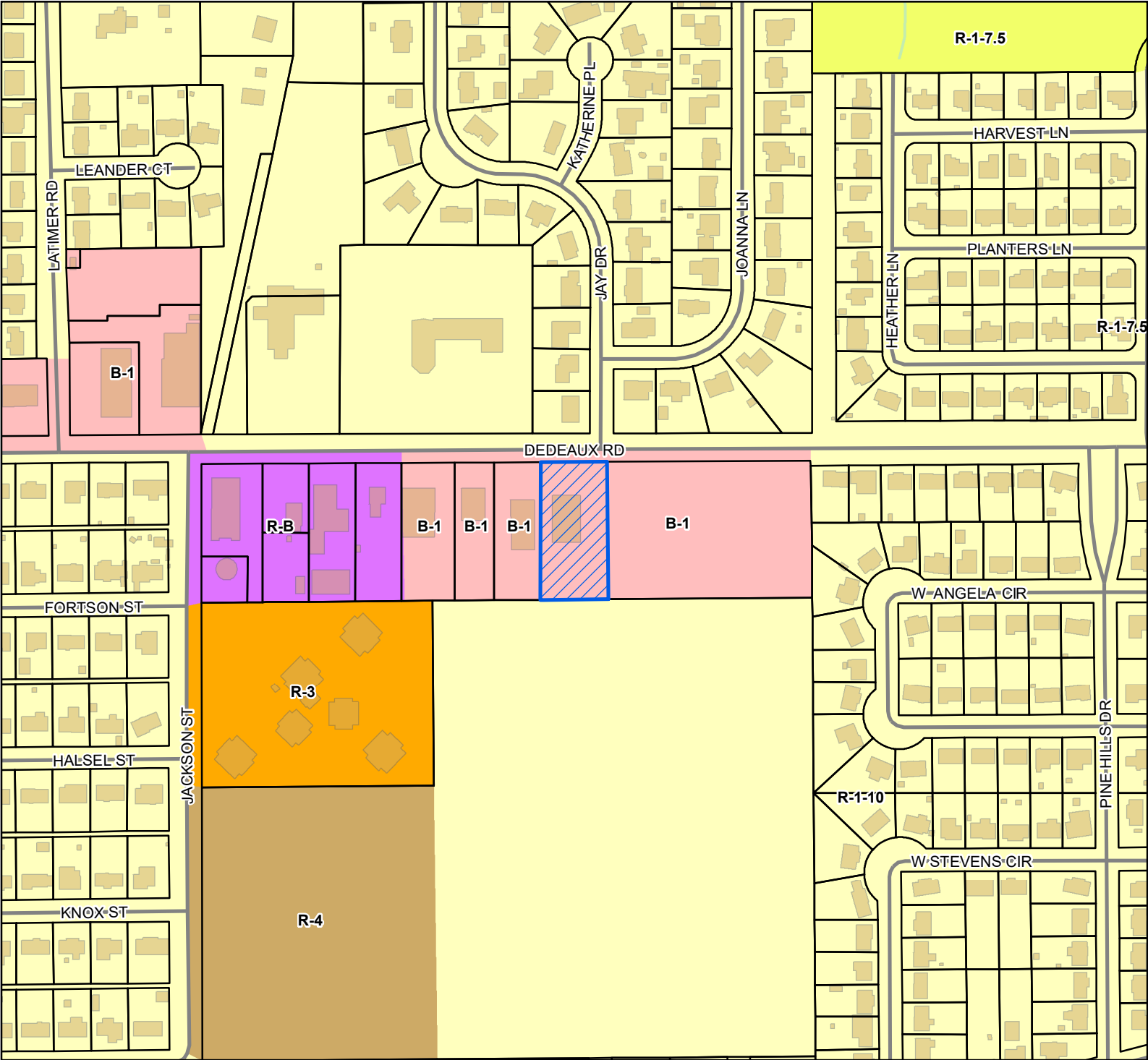
The commercial sign presented in the site plan does meet the required design standard; to include setbacks, correct height, proper support poles made of stucco wrap or textured paint. Staff recommends approval of the request, as the applicant meets the requirements for a free-standing sign in their neighborhood business district.

DEPARTMENTAL CONDITIONS

DIRECTOR APPROVAL

This report has been reviewed and approved by:

Ryan Merrill
Director of Urban Development Department



Site

Street

Parcels

Buildings

Water Features

Zoning

- B-1 - Neighborhood Business District
- R-1-10 - Single Family Residence (Low Density)
- R-1-7.5 - Single Family Residence District (Low Density)
- R-3 - General Residence (High Density)
- R-4 - General Residence (High Density)
- R-B - Residence-Business District

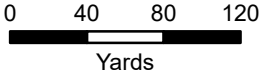
Site Information

0908O-04-101.002

Zoning: B-1 (Neighborhood Business)

Size: 43,069 SqFt.

Flood: X



1 inch = 300 feet



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CITY OF GULFPORT
Urban Development - Planning Division
1410 24th Avenue
Gulfport, MS 39501
(228) 868-5710

Case Number
2304 ARC 007

Architectural Review Committee Application

REQUESTED ACTION BY THE Architectural Review Committee

(A separate submission form is required for each request):

	Architectural Design Review
	Signs

Tax Parcel Numbers

0	9	0	8	0	-	0	4	-	1	0	1	.	0	0	2															
					-			-				.																		
					-			-				.																		

Property Address: 12451 Dedeaux Rd Gulfport

Property Address: _____

Lot(s) _____, Block(s) _____, Subdivision _____

General Description of Request: Stand alone Post + Panel Sign

OWNERSHIP AND CERTIFICATION

*I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or have authorization to act as the owner's agent for the herein described request. We can only accept applications with **original signatures***

OWNER

AGENT

Carricka Thomas

Printed Name of Owner

12451 Dedeaux Rd

Mailing Address

Gulfport MS 39503

City

State

Zip code

228-326-9951

Home Phone

Work/Cell Phone

920rehealthcarecollege@gmail.com

Email

C Thomas

Signature of Owner

Printed Name of Agent

Mailing Address

City

State

Zip code

Home Phone

Work/Cell Phone

Email

Signature of Agent

**CITY OF GULFPORT
SIGN PERMIT APPLICATION**

VER. 11/1/11
PLEASE PRINT LEGIBLY

APPLICATION DATE: _____

APPLICATION # _____

1410 24th Avenue, Gulfport, Mississippi 39501
(228) 868-5715

Please read and fill in ALL information that is requested. Failure to complete this application may result in a delay in issuing the desired permit.

CALL BEFORE YOU DIG! 1-800-227-6477

SIGN TYPE:

- ☐ STATIC SIGN
☐ DIGITAL SIGN

LOCATION DESIGNATION:

- ☒ ON-PREMISES SIGN
☐ OFF-PREMISES SIGN.

WORK CLASS:

- ☒ NEW SIGN CONSTRUCTION
☐ ALTERATION OF EXISTING SIGN
☐ REPAIR OF EXISTING SIGN
☐ RELOCATION OF EXISTING SIGN
☐ ARCHITECTURAL FACADE REQUIRED
☐ OTHER

ADDITIONAL INFORMATION:

Building Frontage 63'
3' x 10'
30 sqft total

DISPLAY AREA (SQ. FT.):

54

LENGTH:

7

WIDTH:

8

HEIGHT:

ARE ANY STRUCTURES EXISTING ON PROPERTY? (Y/N): _____

* ATTACH CREDIT CERTIFICATE REQUIRED FOR THE CONSTRUCTION OF ANY NEW OFF-PREMISE SIGN UNDER SECTION 9-122 OF THE SIGN ORDINANCE

SIGN OWNER INFORMATION

SIGN OWNER NAME: CARRICKA THOMAS

ADDRESS: 12451 Dedeaux Rd Gulfport, MS
Street City State Zip

CONTRACTOR INFORMATION

CONTRACTOR COMPANY NAME: Dunaway Sign

PHONE NO: 228, 392-5421 GULFPORT LICENSE # _____

CONTRACTOR NAME: Dunaway Jay

ADDRESS: 12224 Parkers Creek Rd Biloxi 39532
Street City State Zip

EL. CONT: _____

PROPERTY INFORMATION

JOB STREET ADDRESS: 12451 Dedeaux Rd

JOB AD VALOREM TAX PARCEL NUMBER: 09080-04-101-002

(REQUIRED FOR ISSUANCE)

* IF METES AND BOUNDS ATTACH PHOTOCOPY OR DEED OR SURVEY WITH LEGAL DESCRIPTION

PROPERTY OWNER NAME: CARRICKA THOMAS

ADDRESS: 12451 Dedeaux Rd Gulfport MS 3903
Street City State Zip

PHONE NO: (228) 320 9951

PERMIT INFORMATION

ENGINEER _____

DESIGNER _____

ARCHITECT _____

STATE OF MS REG#: _____ PHONE NO.: (____) _____

NAME: _____

ADDRESS: _____

I HEREBY CERTIFY THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT; THAT I AGREE TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION; THAT I AM THE OWNER OR AUTHORIZED TO ACT AS THE OWNER'S AGENT FOR THE HEREIN DESCRIBED WORK; AND THAT THE TOTAL CONTRACT OR VALUATION IS: \$ _____

DATE: _____ SIGNATURE: _____

OFFICE USE ONLY

ZONING DISTRICT: _____ AEAZD: _____ WARD: _____ SPECIAL FLOOD HAZARD AREA: _____

FIRE DISTRICT (Y/N): _____ PROPOSED USE: _____ REPORT CODE: _____

ARC REVIEW REQUIRED (Y/N): _____ ARC APPROVAL DATE: _____

APPROVAL DATE: _____ APPROVED BY PLANNING: _____

APPROVAL DATE: _____ APPROVED BY BUILDING: _____

APPROVAL DATE: _____ APPROVED BY CODE ENFORCEMENT: _____

STAFF APPROVAL OF THIS APPLICATION EXPIRES AFTER 45 DAYS IF A PERMIT IS NOT ISSUED

DEDEAUX RD



Area Map

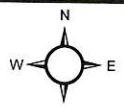
Printed 3/2/2023

12463 DEDEAUX RD

12451 DEDEAUX RD

● Addresspoints	Harrison_HughRes_2020.sid
~ Minor Arterial	RGB
~ Minor/Residential	
WaterFeatures	
Parcels	
	Red: Band_1
	Green: Band_2
	Blue: Band_3

Q. Shanna 3/28/23



1 inch = 42 feet

DATA DISCLAIMER:

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Post Sign is 7'x 8'... 56sq.ft Total
Setback is 32' from the street
and 12' from the property line.





J1 - GULFPORT DISTRICT
Instrument 2021-0032690-D-J1
Filed/Recorded 11/23/2021 3:36:01 PM
Total Fees 26.00
2 Pages Recorded

Prepared by & return to:
Schwartz, Orgler & Jordan, PLLC
12206 Highway 49
Gulfport, MS. 39503
228-832-8550
Our File: 212520

Index as follows:
Part of Section 12, T7S, R11W
Harrison County, 1st JD, MS

STATE OF MISSISSIPPI
COUNTY OF HARRISON
FIRST JUDICIAL DISTRICT

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged, the undersigned,

SCHMITT INVESTMENTS, LLC
A MS Limited Liability Company
969 LAALA WAY
DIAMONDHEAD, MS 39525
(228) 344-0063

does hereby sell, convey and warrant unto

GROVE HEALTHCARE COLLEGE, LLC
A MS Limited Liability Company
12451 DEDEAUX ROAD
GULFPORT, MS 39503
(228) 284-7681

the following described land and property being located in Harrison County, Mississippi, being more particularly described as follows, to-wit:

A parcel of property located in Section 12, Township 7 South, Range 11 West, more particularly described as follows:

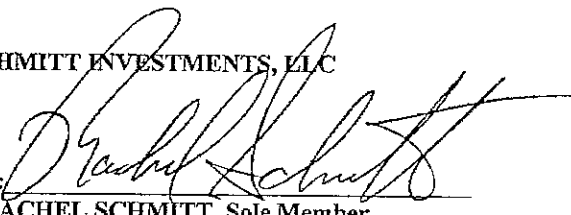
Beginning at a point 732 feet East and 30 feet South the Northwest corner of the Southwest Quarter (SW 1/4) of Section 12, Township 7 South, Range 11 West; thence East a distance of 140 feet; thence South a distance of 300 feet; thence West a distance of 140 feet; thence North a distance of 300 feet to the Point of Beginning.

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, rights-of-way and easements applicable to subject property, and subject to any and all prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners.

TAXES for the current year have been pro-rated as of this date and are hereby assumed by the Grantee herein.

IN WITNESS WHEREOF, **SCHMITT INVESTMENTS, LLC** has caused this conveyance to be executed by its duly authorized officer, having first been duly authorized to do so, on this the 19th day of November, 2021.

SCHMITT INVESTMENTS, LLC

BY: 
RACHEL SCHMITT, Sole Member

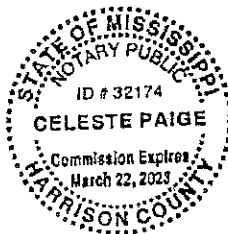
STATE OF MISSISSIPPI

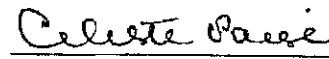
COUNTY OF HARRISON

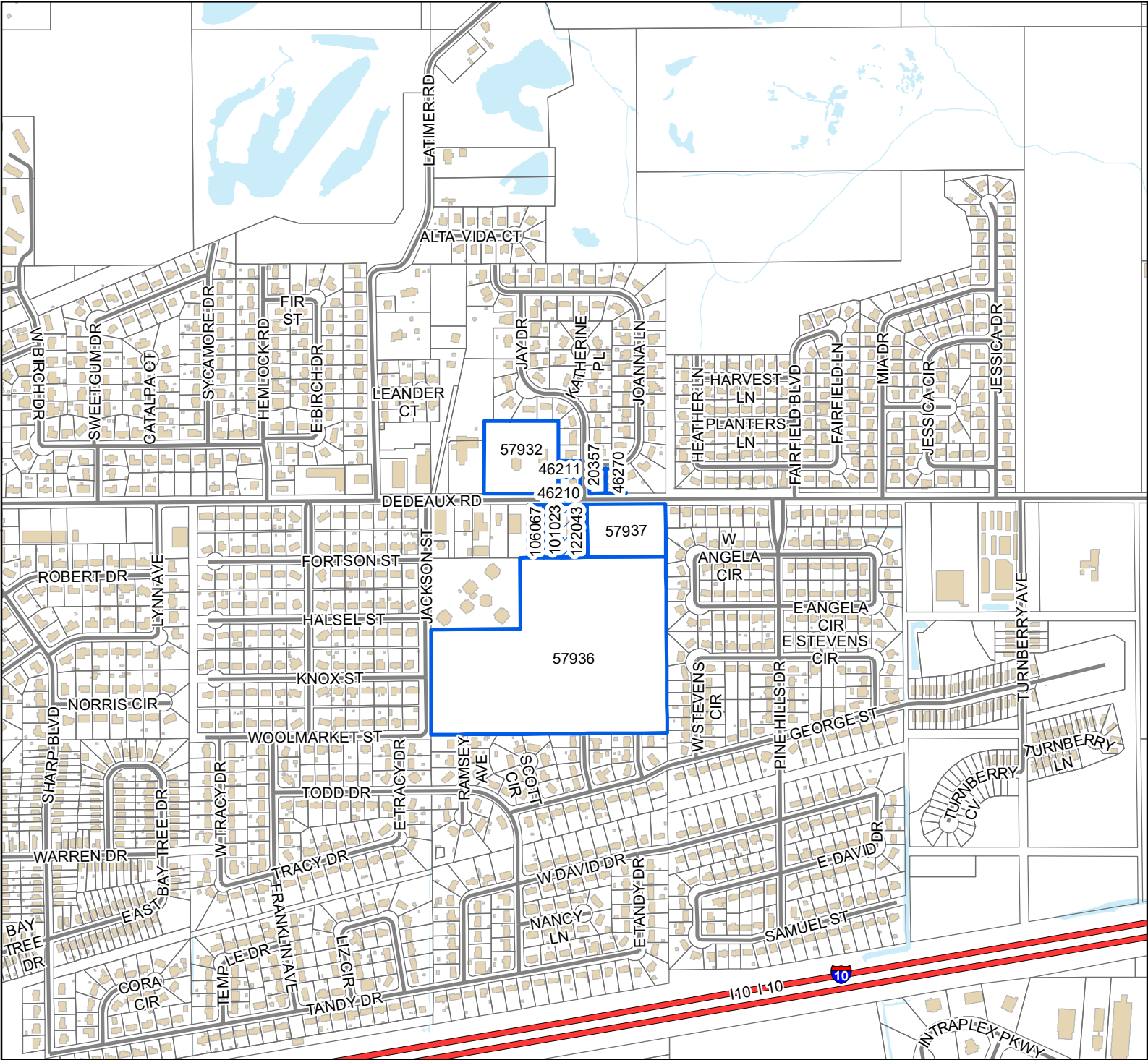
THIS DAY PERSONALLY CAME AND APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, **RACHEL SCHMITT**, who acknowledge that she is the **Sole Member** of **SCHMITT INVESTMENTS, LLC**, A MS Limited Liability Company, and as its act and deed, she signed, sealed and delivered the above and foregoing instrument of writing on the day and in the year therein mentioned after having been first duly authorized to do so.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 19th day of November, 2021.

My Commission Expires:

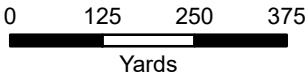



NOTARY PUBLIC



Legend

-  Site
-  Adjacent Properties
-  Interstate Highway
-  Street
-  Buildings
-  Water Features



1 inch = 780 feet



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Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			CARRICK THOMAS (OWNER)	12451 DEDEAUX RD	GULFPORT	MS	39503
			Adjacent Property Owners(2304ARC007)				
	101023	0908O-04-101.001	LEON'S ARMY-NAVY STORE OF GPT LLC	12463 DEDEAUX RD	GULFPORT	MS	39503
	106067	0908O-04-102.001	BECK LEWIS LLC	12473 DEDEAUX ROAD	GULFPORT	MS	39503
	46270	0908J-01-038.007	HAWKINS CHARLES A	4 JOANNA LN	GULFPORT	MS	39503
	46210	0908J-01-015.000	SWAREK THOMAS LAWRENCE II	8 BAYOU PL	GULFPORT	MS	39503
	57932	0908J-01-014.000	RAMSEY MEM UNITED METHODIST CHURCH				0
	20357	0908J-01-038.000	SMITH ABRAHAM	2 JOANNA LANE	GULFPORT	MS	39503
	46211	0908J-01-016.000	TURNER ALPHONSE III & CHEMEKIA	3 JAY DRIVE	GULFPORT	MS	39503
	57937	0908O-04-101.000	MFJ PROPERTIES LLC	17121 ORANGE WOOD DR	LUTZ	FL	33548
	122043	0908O-04-101.002	GROVE HEALTHCARE COLLEGE LLC	12451 DEDEAUX RD	GULFPORT	MS	39503
	57936	0908O-04-100.000	LOE JAMES R	P O BOX 729	PICAYUNE	MS	39466

RE: Architectural Review 2304ARC007, by owner Carricka Thomas, request approval for stand alone, post and panel sign at Tax Parcel 0908O-04-101.002, located at 12451 Dedeaux Road, Zoned B-1, Ward 6

To Applicants and Adjacent Property Owners:

The City of Gulfport Architectural Review Committee will hold a public hearing to consider the above application at 3:00 P.M. on **Thursday, April 13, 2023**, in the Council Chambers at the Gulfport City Hall located at 2309 15th Street.

For more information, visit <http://www.gulfport-ms.gov/agendas/> then click the City of Gulfport Architectural Review Committee for **Thursday, April 13, 2023**. A map showing the location of the property involved is located at this website. If you have any questions or comments, please contact this office at the phone number 228-868-5710 or email planners@gulfport-ms.gov. The application is available for viewing in the Planning Division office at 1410 24th Avenue.

MEMORANDUM

To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review 2304ARC008:

Architectural Review 2304ARC008, by agent Austin Keith, Request waiver from design review standards at Tax Parcel 1008F-01-005.000, regarding orientation of building entry way, located at 11837 Highland Cir, Zoned R-B, Ward 6

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

GENERAL INFORMATION

Case File Number: 2304ARC008

Hearing Date: April 13, 2023

Current Zoning/Use: R-B / Commercial Structure

Legal: Architectural Review 2304ARC008, by agent Austin Keith, Request waiver from design review standards at Tax Parcel 1008F-01-005.000, regarding orientation of building entry way, located at 11837 Highland Cir, Zoned R-B, Ward 6

TECHNICAL DETAILS

The applicant requests a waiver not to meet the required design standard for building orientation entries. According to Appendix A, Sec. IV Supplementary Regulations, Design Standards (3)(a) (1.3) (i)(ii)(iv)(v)

Building orientation and entries.

- i. Buildings should be arranged along the perimeter of large sites with primary façades and entryways oriented to public streets and the intersections of major roads and site access drives.
- ii. Primary building entries should be clearly defined and highly visible.
- iii. n/a
- iv. Detached buildings in a multiple-family residential project or mixed-use buildings with upper story residential should be located so that primary ground floor entries to units open onto landscaped patios, stoops, dooryards, or courtyards.
- v. Separate entries for ground-floor residential units facing streets and sidewalks are encouraged. Rear and side units should have yard depths sufficient to create adequate separation from service and parking areas.

EXECUTIVE SUMMARY

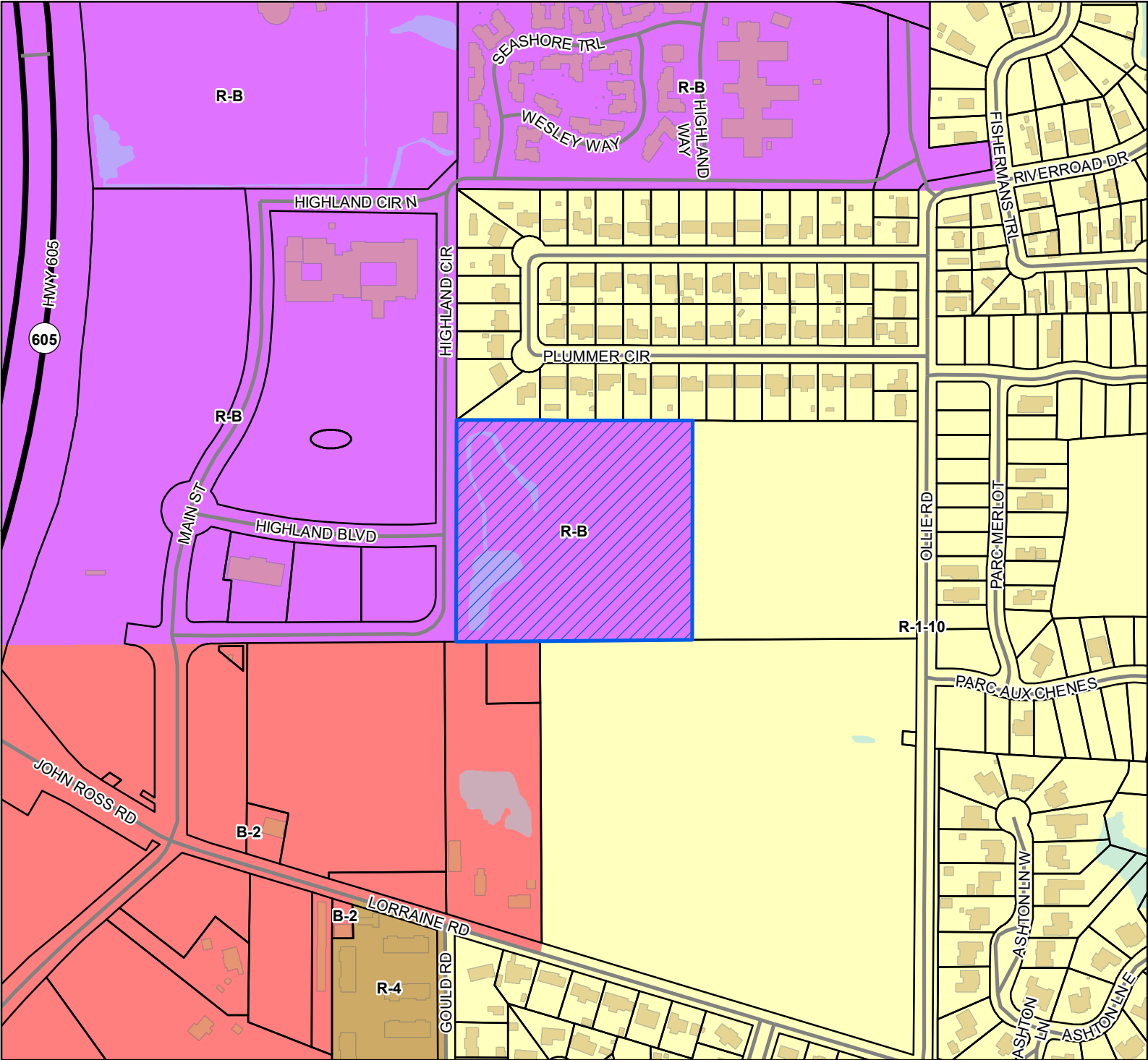
In review of this application and documents submitted by the applicant, the requested waiver for allowing the entryways to face the parking lot is an appropriate request. Upon visiting the site, staff confirmed that a change of location of the entryways will create a direct route into the building and a convenience for the residents living in building A and building B. Therefore, the staff recommendation is to approve the waiver request.

Technical Report
ARCHITECTURAL REVIEW COMMITTEE

DIRECTOR APPROVAL

This report has been reviewed and approved by:

Ryan Merrill
Director of Urban Development Department



Site

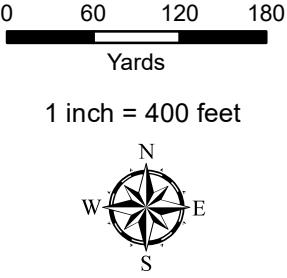
- Site
- US or State Highway
- Street
- Parcels
- Buildings
- Water Features

Zoning

- B-2 - General Business District
- R-1-10 - Single Family Residence (Low Density)
- R-4 - General Residence (High Density)
- R-B - Residence-Business District

Site Information

1008F-01-005.000
Zoning: R-B (Residential Business)
Size: 10.4 acres
Flood: X



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Architectural Review Committee Application

(A separate submission form is required for each request):

X	Architectural Design Review
	Signs

1	0	0	8	F	-	0	1	-	0	0	5	.	0	0	0					-		-			.		
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Page 1 of 3

This page must be completed if the property or properties involved have more than one owner. All persons listed as owners to the property or properties listed on page one must complete and sign this part of the application. We can only accept applications with original signatures.

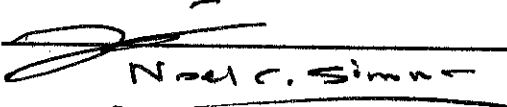
I hereby certify that I have read and understand this application and that all information and attachments are true and correct. I also certify that I agree to comply with all applicable city codes, ordinances and state laws. Finally, I certify that I am the owner of the property involved in this request or authorized to act as the owner's agent for herein described request.

NAME OF OWNER (PRINT) Gulfport Highlands Development, LP

ADDRESS (STREET, CITY, STATE, ZIP CODE) 4680 Hickory Ridge Road, Jackson, Ms, 39211

PHONE # (H) 601-260-6390 (WK/CELL) _____

TAX PARCEL NUMBER(S) OWNED 1008F-01-005.000

SIGNATURE: 
Noel C. Simon

NAME OF OWNER (PRINT) _____

ADDRESS (STREET, CITY, STATE, ZIP CODE) _____

PHONE # (H) _____ (WK/CELL) _____

TAX PARCEL NUMBER(S) OWNED _____

SIGN: _____

NAME OF OWNER (PRINT) _____

ADDRESS (STREET, CITY, STATE, ZIP CODE) _____

PHONE # (H) _____ (WK/CELL) _____



Designation of Agent

I, Noel Simms, being property owner of 1008F-01-005.00
PRINT NAME PRIMARY ADDRESS OR PARCEL
 which is the subject of this application hereby authorize Austin Keith to act as my
PRINT NAME
 representative with the City of Gulfport's Zoning Board of Adjustment and Appeals, and/or Planning Commission, and/or City Council, and/or permitting and licensing, as required by the City.

Such representation shall be for all purposes concerning any manner, right, or obligation relating to this petition. This designation authorizes my agent to make verbal or written representations and/or declarations on my behalf, and I shall be legally bound by said verbal or written representations and/or declarations relating to this petition.

The petitioner understands and acknowledges that the City will rely upon the agent's representations in approval or denial of said petition.

 Signature 2-29-23

Date

STATE OF MISSISSIPPI | COUNTY OF HARRISON

Given under my hand and seal of office this the 29th day of March, 20 23

 Notary Public



June 05, 2026
 Commission Expiration



March 28, 2023

Ms. Su-Lin Featherston
Department of Urban Development
City of Gulfport
1410 24th Avenue
Gulfport, Ms 39501

RE: City of Gulfport
Architecture Review Committee
Gates at Highlands Development

Dear Ms. Featherston:

We would like to submit the referenced project to the Architecture Review Committee. The Architectural Standards from the City state in Sec IV-2a-1.2-iii that "Primary building entries should be located on front facades, designed to be visible from adjacent streets and sidewalks, and offer protected from the elements with a covered porch or stoop."

As shown on our attached site plan, the current buildings are orientated to face the parking lots, rather than the entry drive. We are requesting approval to proceed with the current site layout of the building orientation facing the parking lots.

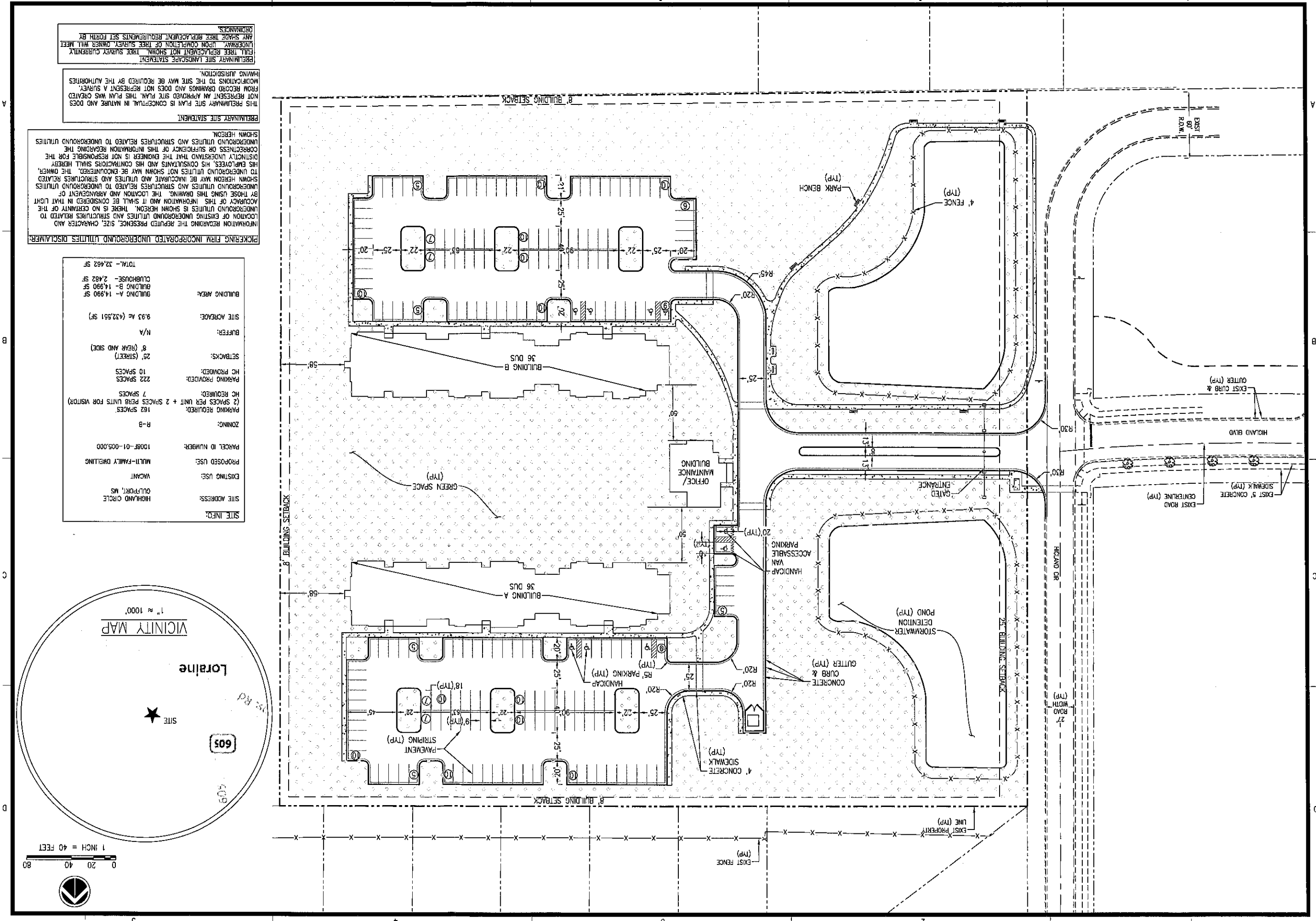
Please advise us if you have any questions or require any additional information to enable your review of the proposed sewer project. We will appreciate your timely attention to our request and look forward to your concurrence for our proposed project.

Sincerely,

PICKERING FIRM, INC.

A handwritten signature in blue ink, appearing to read "Cara Wagner", is written over a light blue horizontal line.

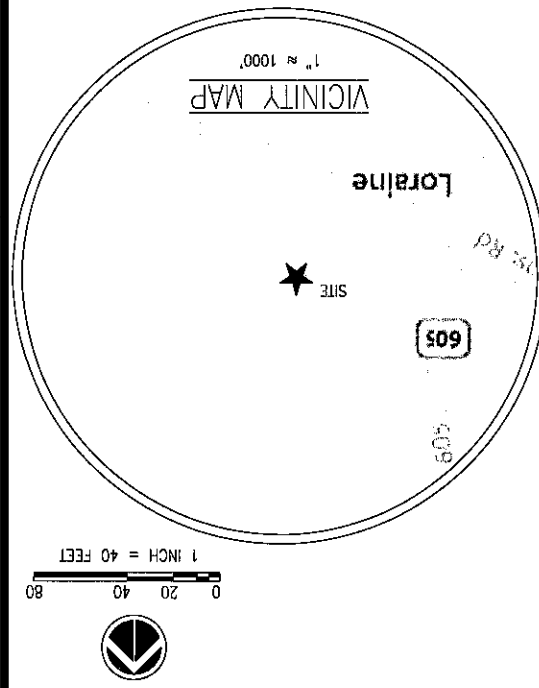
Cara Wagner, PE



PRELIMINARY SITE STATEMENT
THIS PRELIMINARY SITE PLAN IS CONCEPTUAL IN NATURE AND DOES NOT REPRESENT AN APPROVED SITE PLAN. THIS PLAN WAS CREATED FROM RECORD DRAWINGS AND DOES NOT REPRESENT A SURVEY. MODIFICATIONS TO THE SITE MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
PRELIMINARY SITE LANDSCAPE STATEMENT
FULL TREE REPLACEMENT NOT SHOWN. TREE SURVEY CURRENTLY UNDERWAY. UPON COMPLETION OF TREE SURVEY, OWNER WILL MEET ANY SHADE TREE REPLACEMENT REQUIREMENTS SET FORTH BY ORDINANCES.

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:
INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINGUISHLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

SITE INFO:	SITE ADDRESS:	HIGHLAND CIRCLE	GULFPORT, MS
EXISTING USE:	VACANT		
PROPOSED USE:	MULTI-FAMILY DWELLING		
PARCEL ID NUMBER:	1008F-01-005,000		
ZONING:	R-B		
PARKING REQUIRED:	162 SPACES		
HC REQUIRED:	7 SPACES		
PARKING PROVIDED:	222 SPACES		
HC PROVIDED:	10 SPACES		
SETBACKS:	25' (STREET)		
BUFFER:	N/A		
SITE ACREAGE:	9.93 AC (42,551 SF)		
BUILDING AREA:			
BUILDING A- 14,990 SF			
CLUBHOUSE- 2,482 SF			
TOTAL- 32,462 SF			



DESCRIPTION:
SITE PLAN

1 OF 1

SHEET NUMBER:
PRELIMINARY - NOT FOR CONSTRUCTION

SEAL:

GATES AT GULFPORT
HIGHLANDS
TERMINUS OF HIGHLAND BOULEVARD

Pickering

Pickering Firm, Inc.
Transportation • Environmental • Water Resources
Civil • Facilities
135 Pine Maple
Boca Raton, FL 33433
238.432.5525

PROJECT #: 26575.00
DATE: JANUARY 2023
DRAWN BY: AAK
DESIGNER: AAK
CHECKED BY: CBW

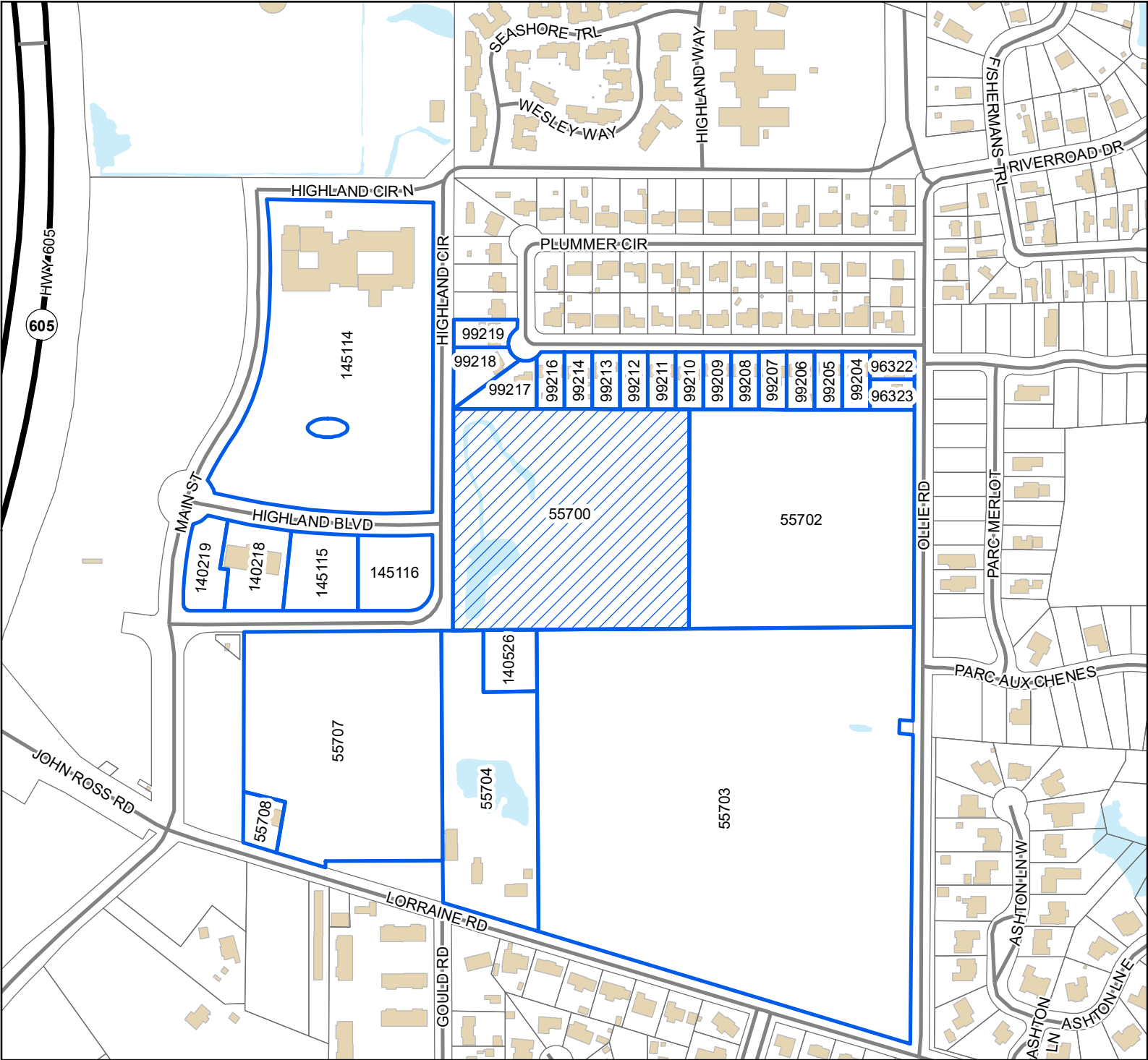
REVISIONS:



② NORTH ELEVATION-PHASE 1- PRELIMINARY
1" = 10'-0"

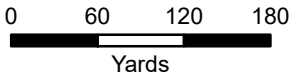


① NORTH ELEVATION-PHASE 1- PRELIMINARY
1/4" = 1'-0"



Legend

-  Site
-  Adjacent Properties
-  US or State Highway
-  Street
-  Buildings
-  Water Features



1 inch = 400 feet



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Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			GULFPORT HIGHLANDS DEVELOPMENT LP(OWNER)	4680 HICKORY RIDGE RD	JACKSON	MS	39211
			AUSTIN KEITH(AGENT)	126 RUE MAGNOLIA	BILOXI	MS	39530
			Adjacent Property Owners				
99218	1008F-01-003.021		WILSON JAMES KEVIN & SUE ELLEN	10717 PLUMMER CIRCLE	GULFPORT	MS	39503
99219	1008F-01-003.022		DEAN RUDOLPH K JR & YOU SUN	10721 PLUMMER CIR	GULFPORT	MS	39503
99204	1008F-01-003.008		RUSS JOSEPH A	10619 PLUMMER CIRCLE	GULFPORT	MS	39503
99207	1008F-01-003.011		BOWEN MICHAEL A & PAMELA M	10647 PLUMMER CIRCLE	GULFPORT	MS	39503
99216	1008F-01-003.019		BOTROS NABIEL & BERTA	10709 PLUMMER CIRCLE	GULFPORT	MS	39503
99214	1008F-01-003.018		NEWELL DEMETRIUS T & BRIANNA BUGGS	10701 PLUMMER CIRCLE	GULFPORT	MS	39503
99206	1008F-01-003.010		DENOUX SHARON LEE	10635 PLUMMER CIRCLE	GULFPORT	MS	39503
99208	1008F-01-003.012		CROTTS RAY E II	25995 SOMERSET CIR	BILOXI	MS	39531
99210	1008F-01-003.014		RUSHING JONATHAN BLAKE	10667 PLUMMER CIRCLE	GULFPORT	MS	39503
99205	1008F-01-003.009		ROMINGER KENNETH M & BARBARA A	10629 PLUMMER CIR	GULFPORT	MS	39503
99213	1008F-01-003.017		HOLLINGSWORTH CLINTON SR	288 AUBURON OAKS RD EAST	JACKSONVILLE	FL	32218
99212	1008F-01-003.016		DUCCINI RONALD R & NICOLE	10685 PLUMMER CIR	GULFPORT	MS	39503
55708	1008K-01-005.000		MAAS MANAGEMENT LLC	500 MAIN ST	BAY ST LOUIS	MS	39520
96323	1008F-01-003.007		CALLEN DAVID P & TERESA K	8467 COBB RD	MANASSAS	VA	20112
55707	1008K-01-004.000		MORRISON INVESTMENTS LLC	110 MONUMENT PL	VICKSBURG	MS	39180
96322	1008F-01-003.006		CHRISTIE LEO R	12097 OLLIE RD	GULFPORT	MS	39503
99209	1008F-01-003.013		JACKSON ANESHA	10661 PLUMMER CIRCLE	GULFPORT	MS	39503
99211	1008F-01-003.015		RATH DONALD E	10677 PLUMMER CIR	GULFPORT	MS	39503
99217	1008F-01-003.020		RE LLC	1636 POPPS FERRY RD, STE 231	BILOXI	MS	39532
55702	1008F-01-004.000		BEN A RICHARDS LAND COMPANY LLC	P O BOX 6073	GULFPORT	MS	39506
55704	1008K-01-002.000		G&M PROPERTIES LLC	10767 E TAYLOR RD	GULFPORT	MS	39503
145114	1008F-01-006.004		CLAIBORNE AT GULFPORT HIGHLANDS LLC	11 PARKWAY BLVD	HATTIESBURG	MS	39401

**RE: Architectural Review 2304ARC008, by agent Austin Keith,
Request waiver from design review standards at Tax Parcel 1008F-
01-005.000, regarding orientation of building entry way, located at
11837 Highland Cir, Zoned R-B, Ward 6**

To Applicants and Adjacent Property Owners:

The City of Gulfport Architectural Review Committee will hold a public hearing to consider the above application at 3:00 P.M. on **Thursday, April 13, 2023**, in the Council Chambers at the Gulfport City Hall located at 2309 15th Street.

For more information, visit <http://www.gulfport-ms.gov/agendas/> then click the City of Gulfport Architectural Review Committee for **Thursday, April 13, 2023**. A map showing the location of the property involved is located at this website. If you have any questions or comments, please contact this office at the phone number 228-868-5710 or email planners@gulfport-ms.gov. The application is available for viewing in the Planning Division office at 1410 24th Avenue.

MEMORANDUM

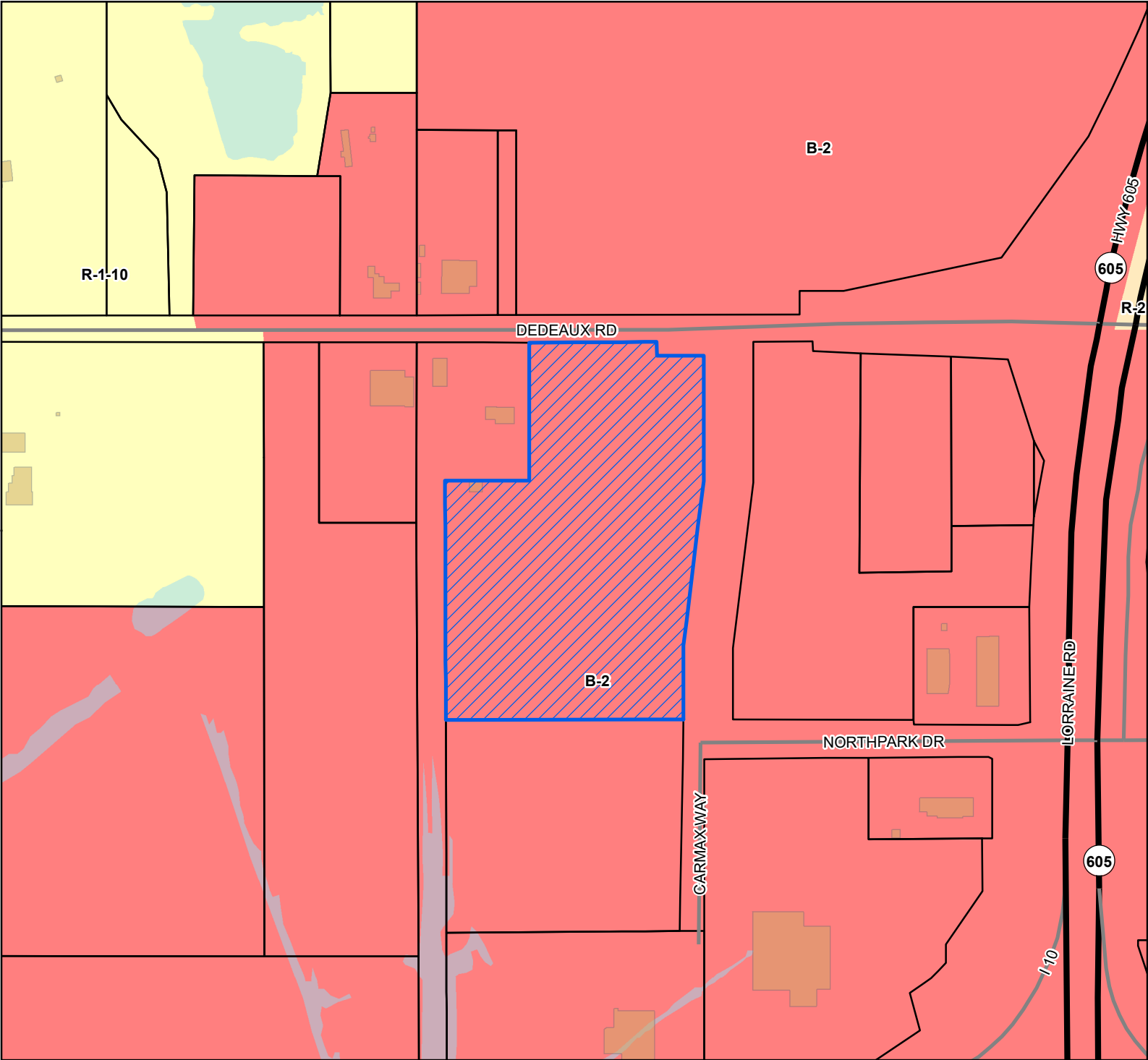
To: City of Gulfport Planning Commission

From: Greg Holmes, Planning Administrator
Urban Development Department

Date of Hearing: April 13, 2023

Re: Architectural Review 2304ARC009:
Withdrawn by applicant

Architectural Review 2304ARC009, by agent Apple Construction, request waiver from design review standards at Tax Parcel 1008M-04-006.000, regarding metal siding located at 12111 Dedeaux Rd, Zoned B-2 (General Business), Ward 6



Site

US or State Highway

Street

Parcels

Buildings

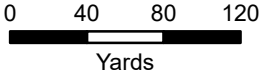
Water Features

Zoning

- B-2 - General Business District
- R-1-10 - Single Family Residence (Low Density)
- R-2 - Single Family Residence District (Medium Density)

Site Information

1008M-04-006.000
Zoning: B-2 (General Business)
Size: 8.79 acres
Flood: X



1 inch = 300 feet



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Case Number
2304ARC009

(A separate submission form is required for each request):

	Architectural Design Review
	Signs

1008m - 04 - 006 . 000			

General Description of Request: Siding Approval

Page 1 of 3

Important Notice

1. Please be advised that failure to submit a complete application, with all supporting documents, could **delay your hearing date**. The Architectural Review Committee will not consider a request until all information is submitted and accurate.
2. Please be advised that the application deadline dates posted are designed to allow the staff time to review the application and receive required comments from coordinating agencies. The application is not considered complete until all required information from the applicant is available for review by the staff and coordinating agencies.
3. All boxes will need to be **initialed by applicant** with required documentation before application can be accepted.

Submission Requirements

☒ **Page one of this application**, completed and signed.

☐ **Site plan**. Please note that approval of your request, in part, is based on your **11" by 17"** site plan.

- The property lines and dimensions have been provided on the drawing.
- All buildings and structures located on the property have been identified.
- All dimensions of buildings and structures have been noted on the site plan.
- All distances from the property lines to all the buildings and structures have been identified and noted on the site plan.
- Street names have been provided which abut the property.
- Traffic flow, parking and driveways have been identified.
- If required buffer strips have been identified
- Other pertinent information as needed to pictorially demonstrate the proposed development/use.

☐ **Proof of ownership** (Copy of deed i.e., Warranty Deed or Quitclaim Deed)

☐ If applicable, notarized proof of **authority to act as agent** for owner (board resolution, etc.) (see page 9)

The City of Gulfport Planning Division Staff will notify, by letter, property owners adjacent to the requested action identified in this application using the Land Roll database from the County Tax Office. If you would like to have additional persons or property owners notified, please provide a list of **additional persons to be notified**.

The City of Gulfport Planning Division Staff will notify, by letter, property owners adjacent to the requested action identified in this application using the Land Roll database from the County Tax Office. If you would like to have additional persons or property owners notified, please provide a list of **additional persons to be notified**.

☐ An **affidavit** stating the request is not in violation of restrictive or protective

☐ **State hardship of why design standards cannot be met** individually and thoroughly as a separate attachment.

☒ I the owner/agent acknowledge this is a complete application

- 2) A shutoff valve is required in the water service line near to where the water service line enters the building.
- 3) A fire sprinkler and fire alarm system may be required if the storage height is at 12' or more. If it is, submit a fire alarm and sprinkler package to an approved third party. This must be done prior to these systems installation. Separate permits are required.
- 4) Return Air is not permitted in the corridor Sheet M1. IBC Section 1020.5.
- 5) Provide a letter from the Design Professional of record that this building will meet 160 mph windload.
- 6) The exterior lighting at the door needs battery backup.

PLANNING:

Required:

1. Overall site plan not provided. Could not determine if required front setback is met.
2. Parking standards for proposed use. Appendix A Sec IV ($7000 / 300 = 23.3$ (24) + 1 handicapped van accessible)
3. Design standards not met, see below: this can be appealable to the Architectural Review Committee

Design:

1. Overall site plan not provided to show placement of proposed building to determine layout and setbacks. (Section IV, E, 3, a, 1, 1.3, i)
2. Trash enclosure not provided. Rollaway cans are acceptable with a notarized letter stating rollaway cans will be used in place of dumpsters. HVAC not provide and will need to be screened. Screening can be landscape or of the same material of the adjacent building. (Section IV, E, 3, a, 1, 1.5,i,ii,iii,iv)
3. Landscaping requirements not met. Must show location and species on site plan. (Section IV, E, 3, a, 1, 1.5, i, ii, iii, iv)
4. Architectural lightning not provided. Photo metrics is required. (Section IV, E, a, 1, 1.8, i, ii, iii)
5. Exterior building materials should not include unfinished or unpainted concrete, metal panels or smooth face concrete block. (Section IV, E, 3, 2, 2.7, ii)
6. Façade colors not provided. (Section IV, E, 3, a, 2, 2.7, iv)
7. Parking should be placed on the side or rear of buildings and screened from public view if feasible, and located to avoid conflict with pedestrian walks and truck loading or service areas. Landscaped islands required on parking rows of more than 10 spaces. Landscaped islands should measure a minimum of eight (8) feet in width and eight (8) in length. (Section IV, E, 3, a, 3, 3.4, i-v)

ENGINEERING:

None

FIRE:

See Building Notes.



URBAN DEVELOPMENT
BUILDING CODE SERVICES

P.O. Box 1780
Gulfport, MS 39502
Phone: 228-868-5790
Fax: 228-868-5816

Wm. H. Hardy Building
1410 24th Ave.
Gulfport, MS 39501

Building Code Plan Review

Note: The following review is based on the 2018 Edition of the International Building Code, International Plumbing Code, International Mechanical Code, International Fire Code, 2014 ICC 600, 2017 NFPA 70 National Electrical Code and the NFPA 101 Life Safety Code, 2018 Edition, or the International Residential Code 2018 Edition for R3.

This review was conducted by Geoff Hittner. I can be reached at 228-868-5790 between the hours of 8:00 am and 5:00 pm Monday through Friday. If our understanding of the project is in error, if you have any questions or if you would like clarification of any comments, please call.

Project Name & Address: Northpark Holdings LLC (Apple Construction)
12111 Dedeaux Rd.

Owner of Building: Northpark Holdings
Design Professional: Dennis Cowart
Phone: (228) 872-1801
FAX: ()

Construction Company: Apple Construction
Phone: (228) 897-1995
FAX:

Contact Person: David Taylor

Date of Review: December 19, 2022 - **Updated February 13, 2023**

Tax Parcel #: 1008M-04-006.000
Permit# 202203414
Valuation: \$280,000.00

Scope of Work: New Construction of an Office and Warehouse

STATUS

Building: Approved with Conditions

Planning: Denied

Engineering: N/A

Fire: Approved with Conditions

SEE CORRECTIONS OR ADDITIONAL INFORMATION NEEDED.

Communication History:

❖ Faxed to ❖

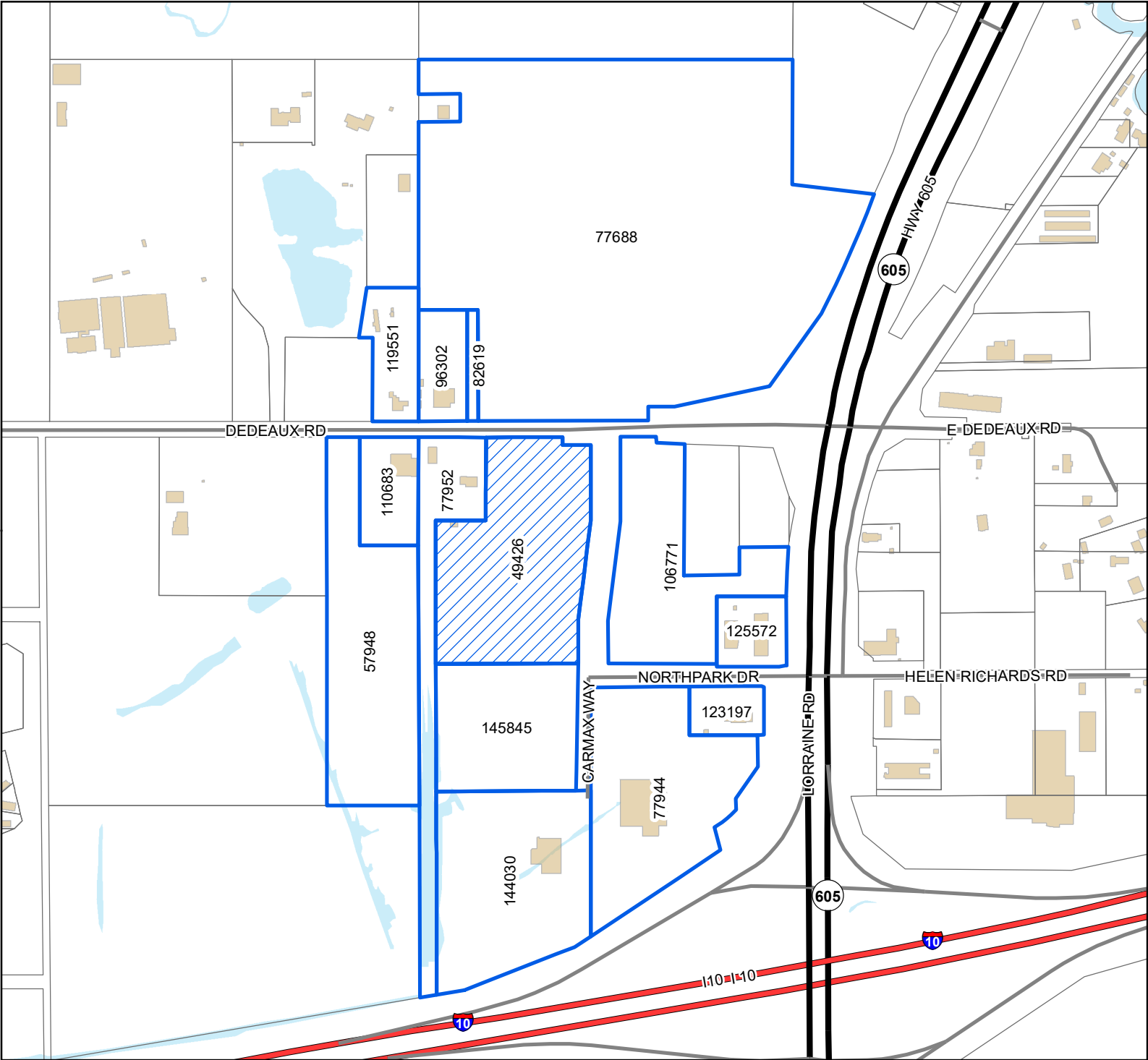
International Building Code 2018 Information & General Data:

- 1) Classification of Occupancy: B Use Class: Office and Warehouse
- 2) Occupation Class: Business
- 3) Group: B
- 4) Occupant Load (load/occ.sf,g or n): 19
- 5) Fire District (App, F) No
- 6) Minimum Type of Construction (Type, protection, sprinkler):
unprotected and sprinkled. IIB
- 7) Height allowed (maximum/actual): 55' / 20'
- 8) Number of stories (maximum/actual): 2 / 1
- 9) Square Footage (maximum/actual): 23,000 / 7,000
- 10) Sprinklers Required?: No (Yes if storage height is 12' or above)
- 11) Alarm System Required? No (Yes if storage height is 12' or above)
- 12) Modifications: None
- 13) F.F.E.: 27'
- 14) Flood Zone (FIRM): X
- 15) Separation distance from property line (real or assumed) & Table 602 requirement
for Bearing/Non Bearing, (distance, hour rate, & % openings) :
 - a) Front (70'): 0 (NL)
 - b) Rear (22.0'): 0 (NL)
 - c) Right (20.0'): 0 (NL)
 - d) Left (24.0'): 0 (NL)

CORRECTIONS OR ADDITIONAL INFORMATION NEEDED:

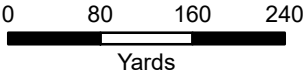
BUILDING:

- 1) Provide a hi / lo drinking fountain.



Legend

- Site
- Adjacent Properties
- Interstate Highway
- US or State Highway
- Street
- Buildings
- Water Features



1 inch = 500 feet



DATA DISCLAIMER: All information that is provided on this map is believed to be correct. However, no liability is assumed by the City of Gulfport for errors in substance or form of any of the materials published on this map. The GIS Division, City of Gulfport, provides the information represented on this map as a service to the community and makes every effort possible to provide quality information. However, no claims, promises, or guarantees about the accuracy, completeness, or adequacy of the information contained on this map are expressed or implied.

Mail	PPIN	Parcel ID	Name	Address	City	State	ZIP
Y			APPLE CONSTRUCTION	P.O. BOX 7503	GULFPORT	MS	39506
Adjacent Property Owners							
96302	1008L-01-003.001		BOYETTE PROPERTIES LLC	11548 DEDEAUX RD	GULFPORT	MS	39503
77952	1008M-04-004.000		GULF SOUTH PIPELINE COMPANY LP	P O BOX 20008	OWENSBORO	KY	42304
77688	1008L-01-002.000		NORTHPARK HOLDINGS LLC	964 EMILY DR	BILOXI	MS	39532
119551	0908I-01-002.004		JOHNSTON JERRY A & REBECCA J	12110 DEDEAUX RD	GULFPORT	MS	39503
57948	0908P-01-001.000		SMITH D C	29400 DESMAL SMITH RD	PERKINSTON	MS	39573
110683	0908P-01-001.001		GULFPORT CITY OF	2309 15TH ST	GULFPORT	MS	39502
77944	1008M-04-003.000		MS INTERSTATE PROPERTIES LLC	P O BOX 6971	METAIRIE	LA	70009
125572	1008M-04-006.002		11207 LORRAINE ROAD LLC	431 PORT TERMINAL CIRCLE	VICKSBURG	MS	39183
123197	1008M-04-006.001		MCDONALD'S REAL ESTATE COMPANY	6520 SUNPLEX DRIVE	OCEAN SPRINGS	MS	39564
144030	1008M-04-006.003		CARMAX AUTO SUPERSTORES INC	12800 TUCKAHOE CREEK PARKWAY	RICHMOND	VA	23238
145845	1008M-04-006.004		2S LLC	211 BEAUVOIR ROAD	BILOXI	MS	39531